

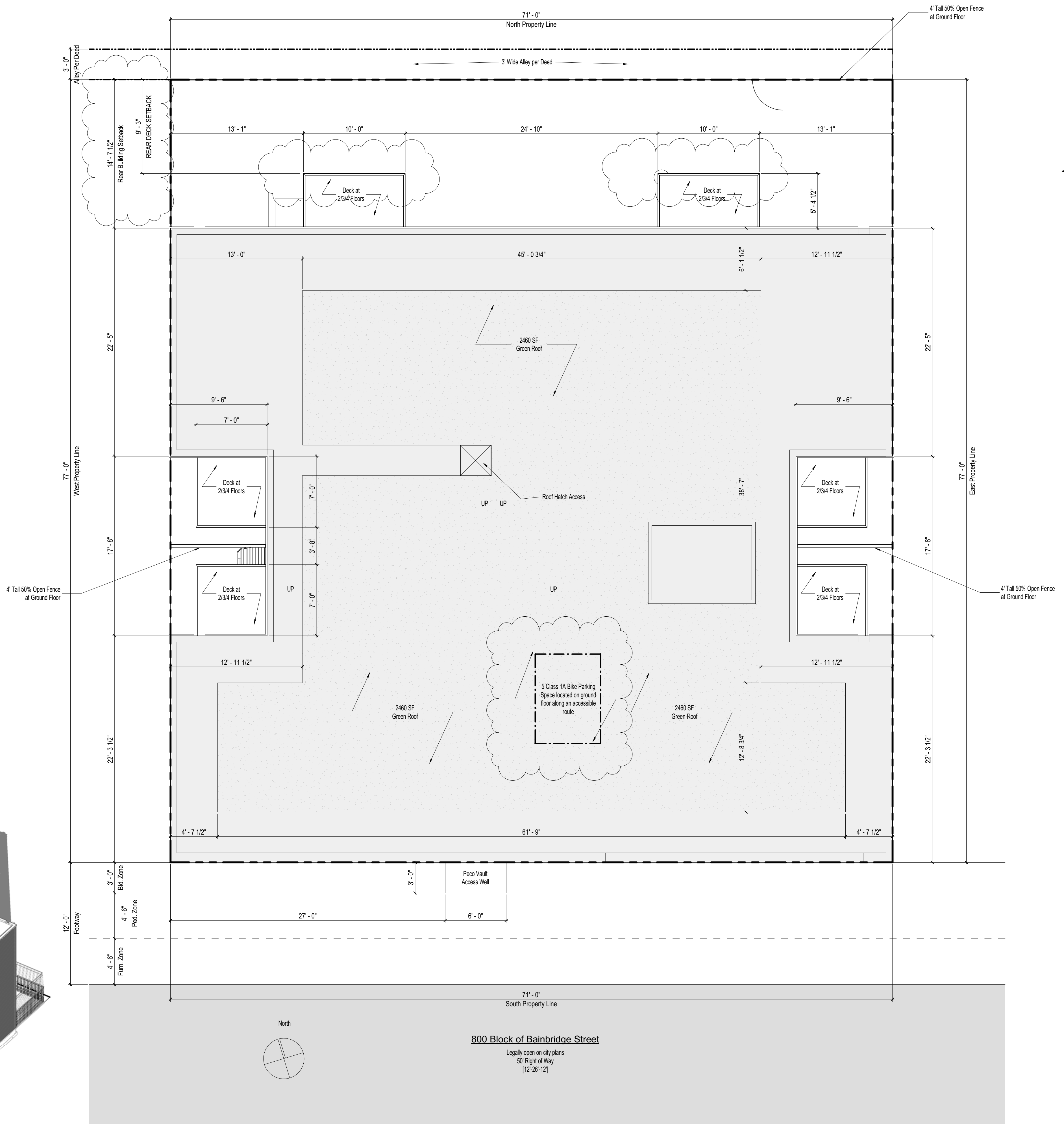
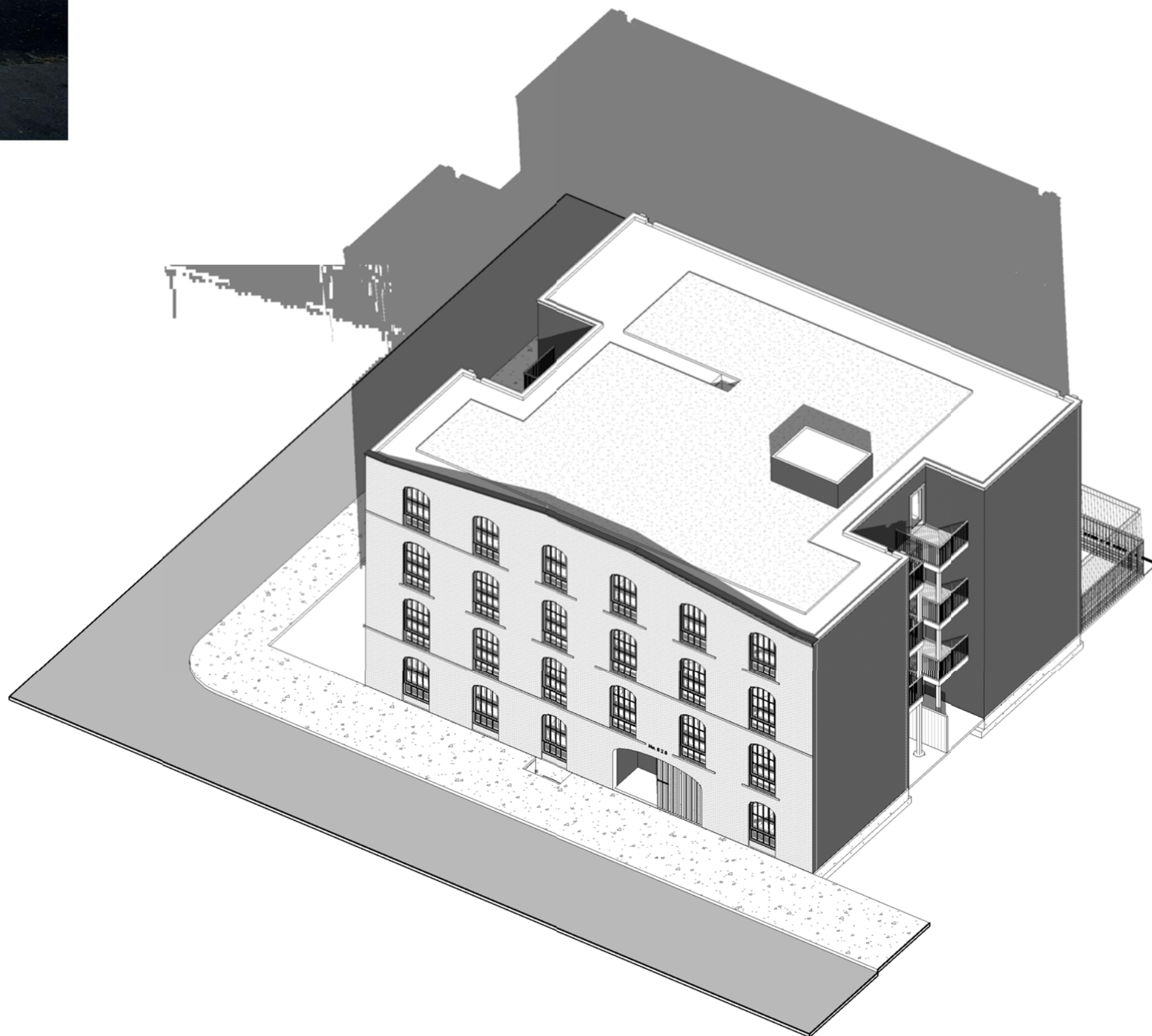
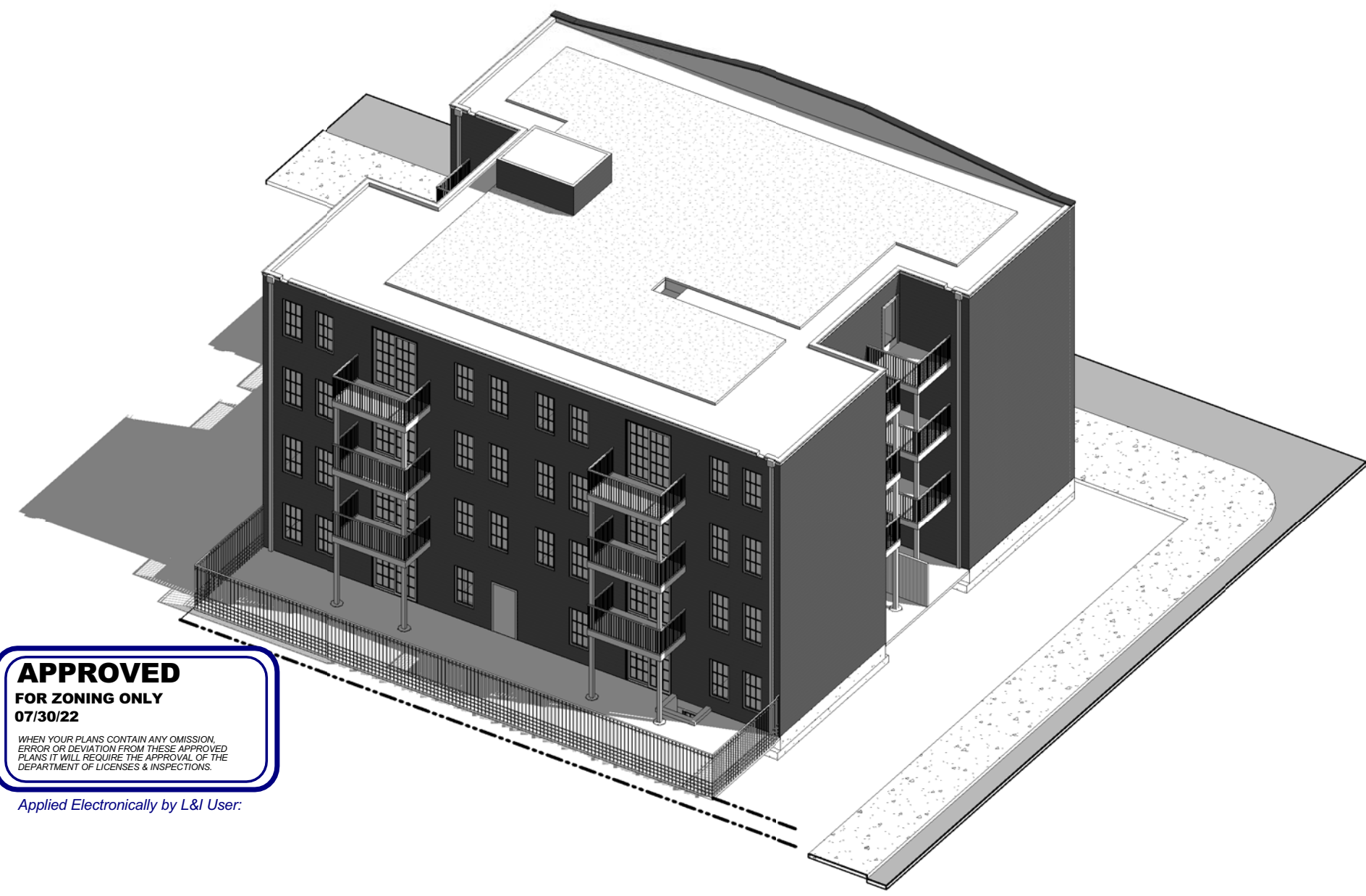
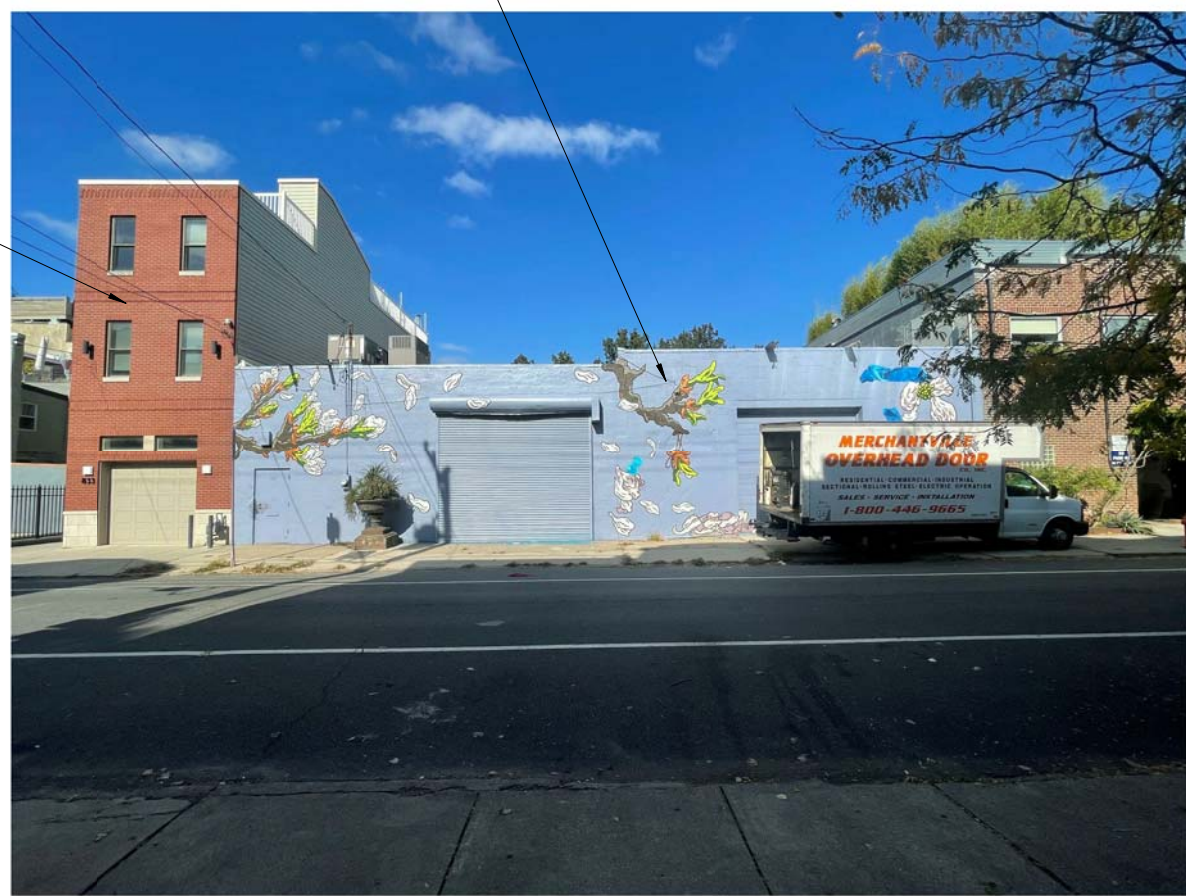
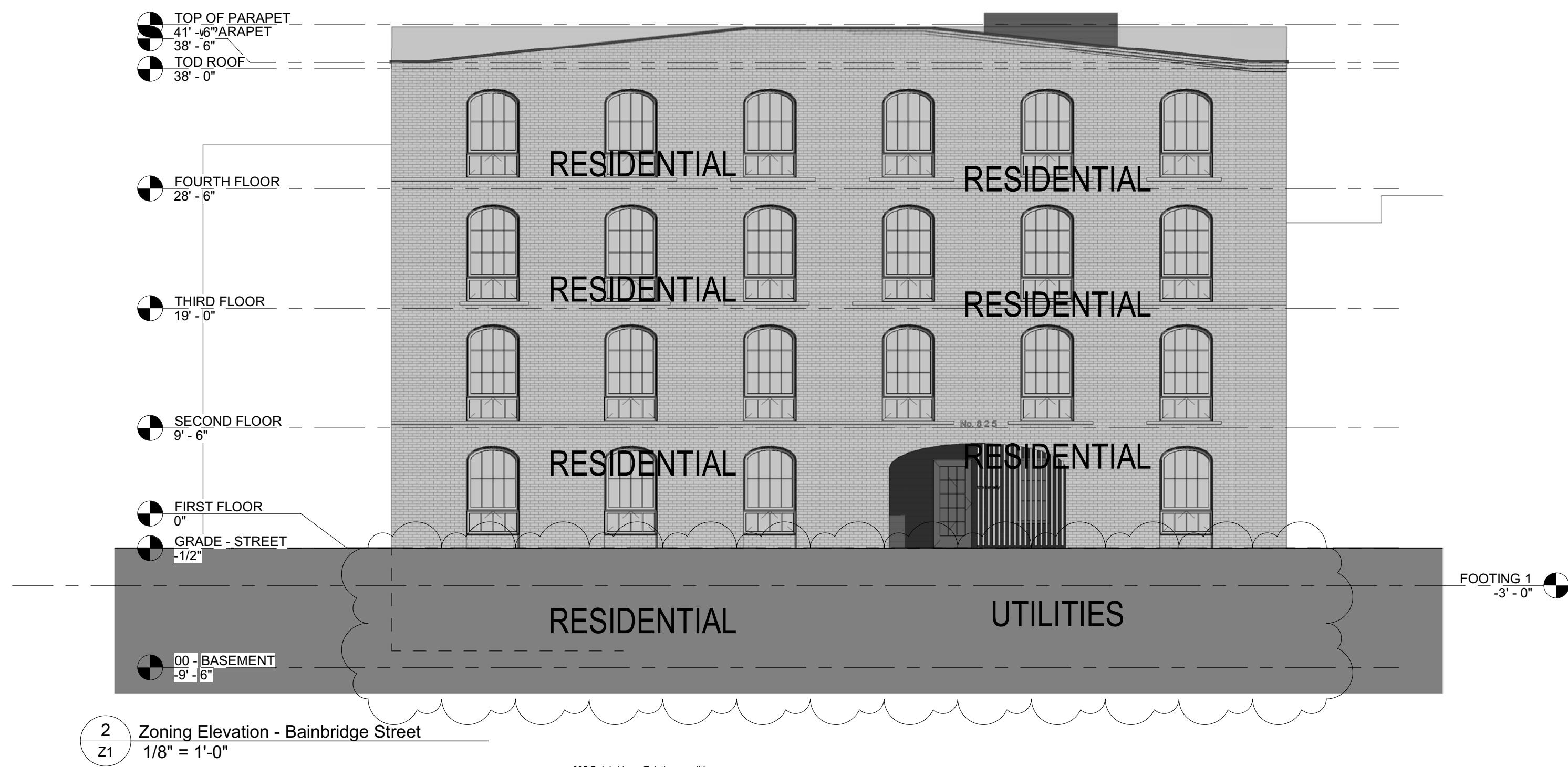


The Beverly

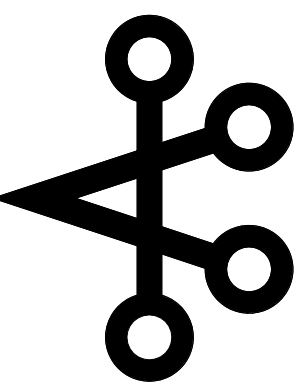
Multifamily Building:

825 Bainbridge Street
Philadelphia, PA 19147 Philadelphia, PA 19147

PROJECT SUMMARY: 825 Bainbridge Street		
ZONING: RM-1 LOT AREA: 5467 SF		
USE: RESIDENTIAL BUILDING (Gross SF = 17,471) BASEMENT - UTILITIES / RESIDENTIAL GROUND FLOOR - RESIDENTIAL AND RESIDENTIAL ENTRY 2ND FLOOR - RESIDENTIAL 3RD FLOOR - RESIDENTIAL 4TH FLOOR - RESIDENTIAL		
DWELLING UNITS	ALLOWED 12 x 1.25 (Green Roof Bonus per 14-702.16 (j), 7) =	PROPOSED 15
DIMENSIONAL STANDARDS		
OCCUPIED AREA	75.00%	4,100.25 SF (75.00%)
FRONT (BAINBRIDGE ST) SETBACK	0'-0"	0'-0"
SIDE (WEST) SETBACK	0'-0"	0'-0"
SIDE (EAST) SETBACK	0'-0"	0'-0"
REAR YARD	5' MIN	14'-1 1/2" to proposed building / 9'-3" to proposed decks
HEIGHT	-	38'-0"
TOP OF PARAPET	-	41'-6"



412 SOUTH 2nd STREET
PHILADELPHIA, PA 19147
267.909.0004
WWW.AMBITARCHITECTURE.COM



AMBIT
ARCHITECTURE

DATE	REVISION
6/17/22	Zoning Rev. 3

Multifamily Building:
825 Bainbridge Street
Philadelphia, PA 19147

Z1

Zoning Permit

Permit Number ZP-2022-009047

LOCATION OF WORK 825-27 BAINBRIDGE ST T-A-224946, Philadelphia, PA 19147-2009	PERMIT FEE \$672.00	DATE ISSUED 7/30/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED STRUCTURE; DECK AT 2ND, 3RD AND 4TH FLOORS WITH GREEN ROOF (14-702(16) AND WITH FIVE(5) 1A CLASS BICYCLE SPACES .
SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-009047

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

825-27 BAINBRIDGE ST T-A-224946, Philadelphia, PA 19147-2009

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

MULTI-FAMILY HOUSEHOLD LIVING (15 DWELLING UNITS) (USING GREEN ROOF BONUS FOR AN ADDITIONAL THREE(3) DWELLING UNITS) ON LOT

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.