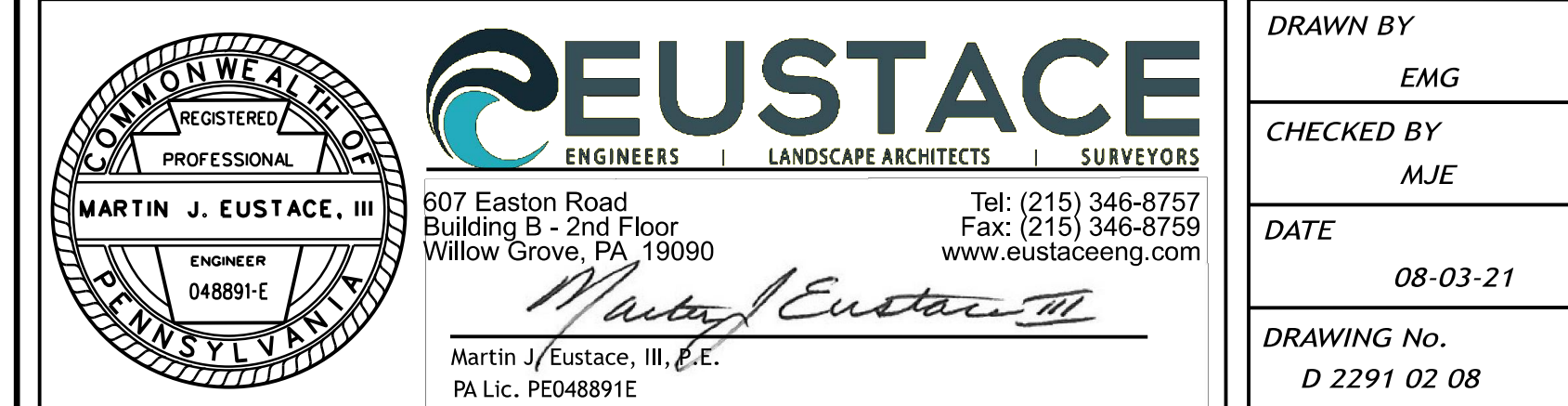
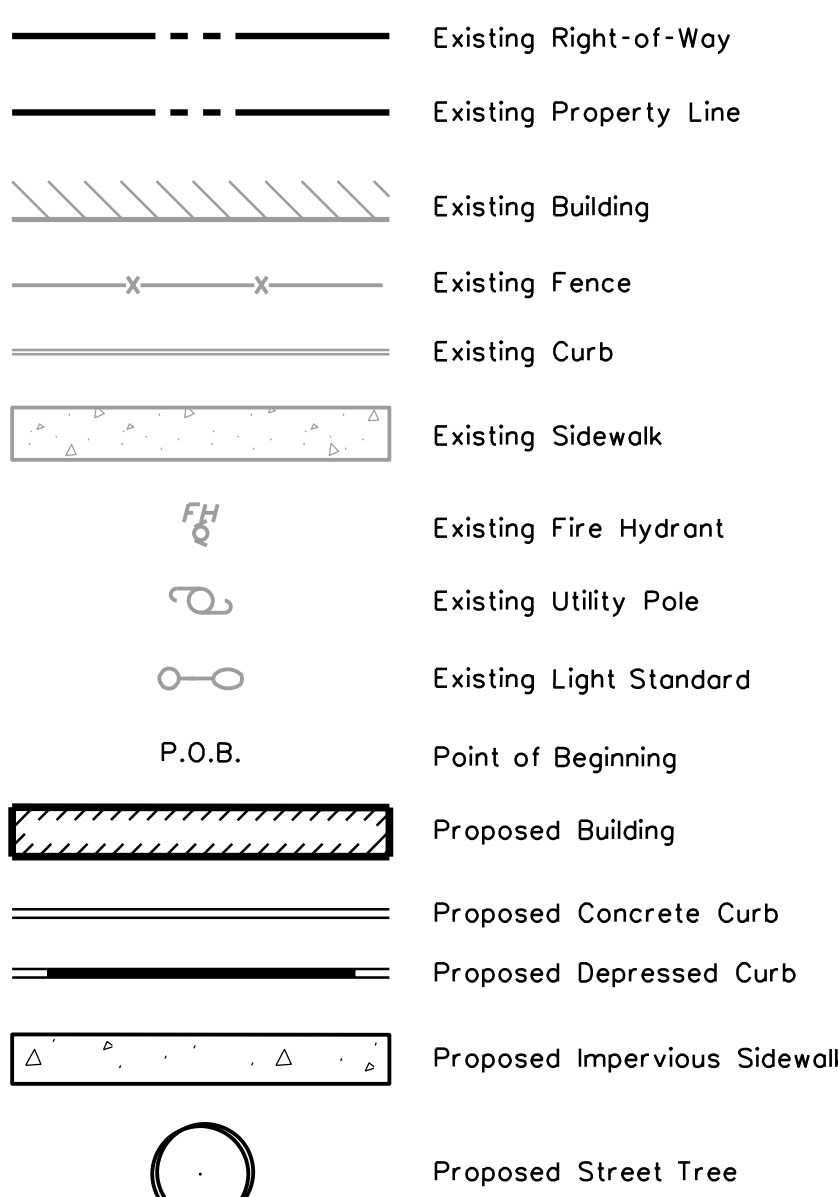
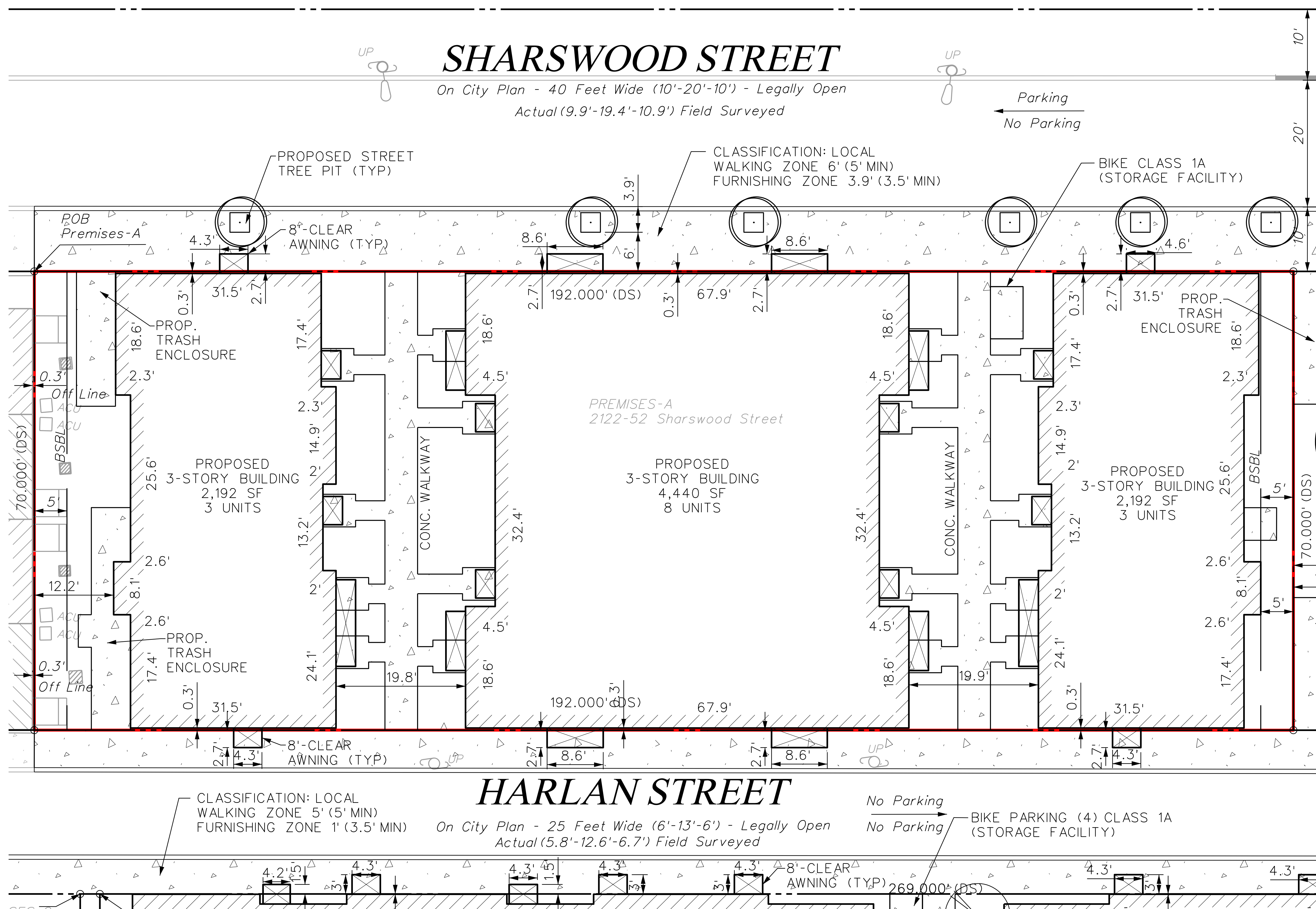
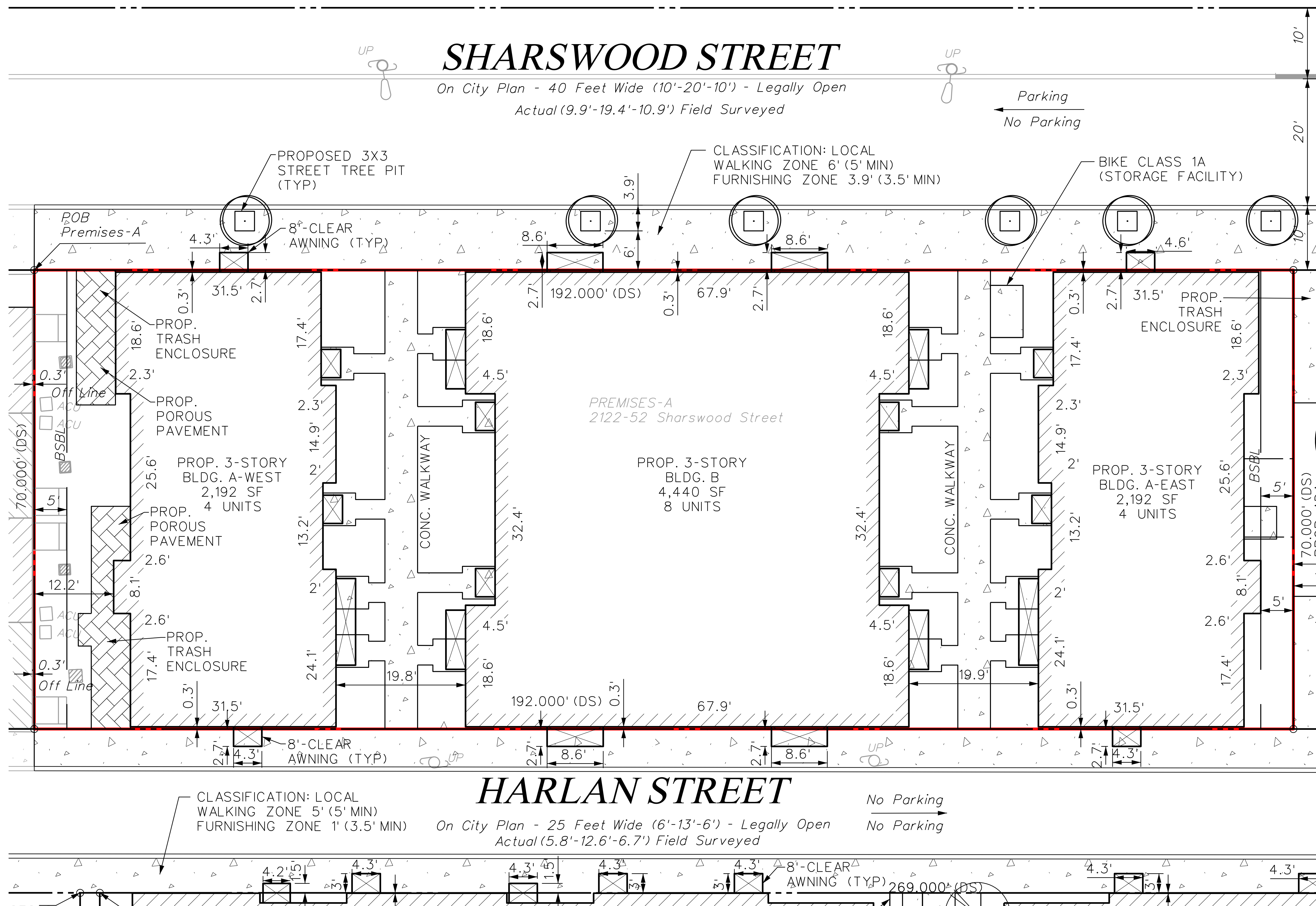
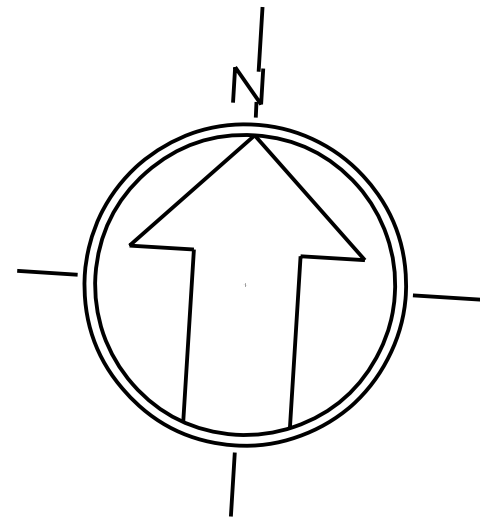






Location Map

Scale: 1" = 1000'

Legend

- Existing Right-of-Way
- Existing Property Line
- Existing Building
- Existing Fence
- Existing Curb
- Existing Sidewalk
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Light Standard
- P.O.B. Point of Beginning
- Proposed Building
- Proposed Concrete Curb
- Proposed Depressed Curb
- Proposed Impervious Sidewalk
- Proposed Street Tree

NOTE:

Refer to "Property Consolidation Plan" prepared by Eustace Engineering, dated 07-24-16 for consolidation information.

Existing Tax Parcel Numbers and Site Data:

Address: 2122-52 Sharswood Street, Lot Area: 13,400 SF or 0.308 Ac., P.O.B. Location: 48' from N. 22nd St.

Applicant:

The Michaels Organization
2 Cooper Street
Comden, NJ 08102

Owner:

Sharswood Associates LP
Michael Development
PO Box 994
5 East Stow Road
Morlton, NJ 08053

ZONING DATA TABLE FOR DISTRICT RM-1

DESCRIPTION	REQUIRED	PROVIDED
CITY OF PHILADELPHIA	ZONING DISTRICT - RM-1	2122-52 SHARSWOOD STREET
ZONING DISTRICT AND USE DESCRIPTION	RESIDENTIAL MULTI-FAMILY 1	MULTI-FAMILY RESIDENTIAL
MINIMUM LOT AREA	1,440 SF	13,567 SF
MINIMUM STREET FRONTAGE	16 FT	193 FT (SHARSWOOD ST) 193 FT (HARLAN ST)
BUILDING SETBACKS	(5) (6)	0.3 FT
FRONT YARD	2/5 FT EACH	5 FT/12.2 FT
SIDE YARD	9 FT	N/A
MULTI-FAMILY DETACHED	144 SF	N/A
REAR YARD		
REAR YARD MINIMUM AREA		
MAXIMUM BUILDING HEIGHT	38 FT	LESS THAN 38 FT
MAXIMUM OCCUPIED AREA	INTERMEDIATE: 75%	50.5%
BICYCLE PARKING	6 SPACES (1 PER EVERY 3 DWELLING UNITS OR FRACTION THEREOF)	6 SPACES

NOTE: ALL MEASUREMENTS LISTED ABOVE ARE IN US STANDARDS.

Zoning Table Notes:

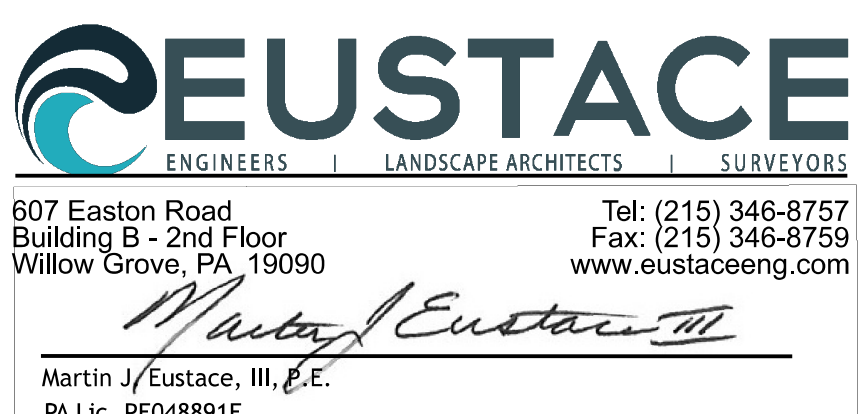
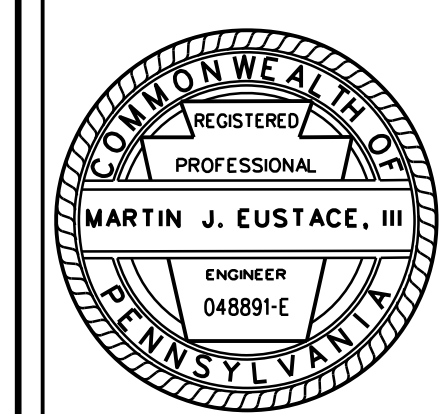
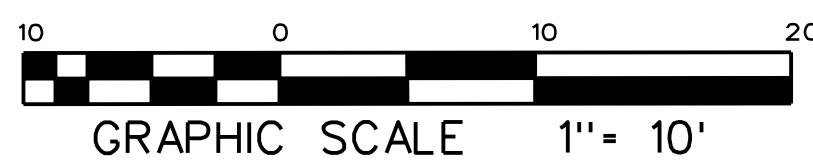
- (5) If abutting lots on both sides of an attached building contain only two stories of enclosed area, stories above the second story of the attached house shall be set back on additional eight ft. from the minimum setback shown in this table; except this requirement shall not apply to corner lots.
- (6) In the RM-1 district, front setbacks shall comply with the following:
(a) On any given street, the front setback shall be no deeper than the front setback of the principal building on the immediately adjacent lot on such street with the deepest front setback and shall be no shallower than the front setback of the principal building on the immediately adjacent lot on such street with the shallowest front setback.
(b) On any given street, if there is no principal building on an immediately adjacent lot, then the front setback shall match the front setback on the closest building to the subject property that is on the same blockface. If there is no such building, the minimum front setback shall be zero.
(c) If the property is bounded by two or more streets, only the primary frontages as designated in 14-701(1)(d)(4) (Primary Frontage) shall be subject to the front setback requirements of (a) and (b) above.



Serial Number: 20161720323

Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



DRAWN BY
EMG
CHECKED BY
MJE
DATE
08-03-21
DRAWING No.
D 2291 02 08

NORTH 22ND. STREET

On City Plan - 60 Feet Wide (13'-34'-13') - Legally Open
Actual (13.4'-33.5'-13.3') Field Surveyed

SHARSWOOD STREET

On City Plan - 40 Feet Wide (10'-20'-10') - Legally Open
Actual (9.9'-19.4'-10.9') Field Surveyed

S 78° 39'00" E

10'
20'

13' 34' 13'

N 22ND STREET
CONSIDERED
DESIGNATE FRONTAGE

Existing 2-Story
2,448 SF Building

ONE BUILDING WITH
FOUR RESIDENTIAL UNITS

PROPOSED 3X3
STREET TREE PIT
(TYP)

PROPOSED 3X3
STREET TREE PIT
(TYP)

CLASSIFICATION: LOCAL
WALKING ZONE 6' (5' MIN)
FURNISHING ZONE 3.9' (3.5' MIN)

BIKE CLASS 1A
(STORAGE FACILITY)

PREMISES-3
2122-52 Sharswood Street

PROPOSED 3-STORY
BLDG. B
4,406 SF
8 UNITS

93% OF LOT
ZONED RM-1

PROPOSED 12"
STORMWATER
EASEMENT

PROPOSED 3-STORY
BLDG. A-EAST
2,163 SF
4 UNITS

PROPOSED ADA
RAMP. LOG D-1616

CLASSIFICATION: LOCAL
WALKING ZONE 5' (5' MIN)
FURNISHING ZONE 1' (3.5' MIN)

HARLAN STREET

On City Plan - 25 Feet Wide (6'-13'-6') - Legally Open
Actual (5.8'-12.6'-6.7') Field Surveyed

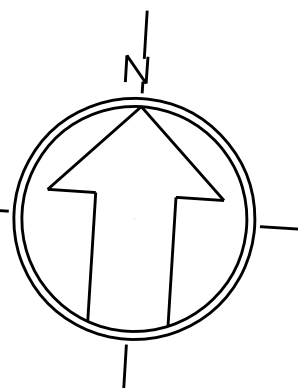
No Parking
No Parking



Serial Number: 20161720323

Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON
ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT
287 AS AMENDED BY PENNSYLVANIA ACT 189 OF 2004 ENTITLED "UNDERGROUND
UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE
TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD
BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE
COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.



Legend

- Existing Right-of-Way
- Existing Property Line
- Existing Building
- Existing Fence
- Existing Curb
- Existing Sidewalk
- Existing Fire Hydrant
- Existing Utility Pole
- Existing Light Standard
- Proposed Building
- Proposed Concrete Curb
- Proposed Depressed Curb
- Proposed Impervious Sidewalk
- Proposed Street Tree

ZONING DATA TABLE FOR DISTRICT RM-1 & CMX-2

DESCRIPTION	REQUIRED	REQUIRED	EXISTING	PROPOSED
CITY OF PHILADELPHIA	ZONING DISTRICT - RM-1 93% OF LOT	ZONING DISTRICT - CMX-2 7% OF LOT	2122-52 SHARSWOOD STREET	2122-52 SHARSWOOD STREET
ZONING DISTRICT AND USE DESCRIPTION	RESIDENTIAL MULTI-FAMILY 1	COMMERCIAL MIXED - USE 2	RM-1 & CMX-2	MULTI-FAMILY RESIDENTIAL
MINIMUM LOT AREA	1,440 SF 16 FT	N/A N/A	16,957 SF 70 FT (N 22ND ST) 241 FT (SHARSWOOD ST) 241 FT (HARLAN ST)	NO CHANGE NO CHANGE
MINIMUM STREET FRONTAGE	(5) (6)	N/A	2.0 FT, 5.7 FT, 0.1 FT	2.0 FT, 0.2 FT, 0.1 FT
BUILDING SETBACKS				
FRONT YARD	8 FT	5 FT IF USED THE GREATER OF 9 FT OR 10% OF LOT DEPTH	N/A	N/A
SIDE YARD	9 FT	N/A	193 FT	10.5 FT
REAR YARD	144 SF	N/A	13,586 SF	856 SF
REAR YARD MINIMUM AREA				
MAXIMUM BUILDING HEIGHT	38 FT	38 FT	LESS THAN 38 FT	33'-1"
MAXIMUM OCCUPIED AREA	CORNER: 80X	CORNER: 80X	14.4X (2,448 SF)	66.5X (11,271 SF)
BICYCLE PARKING (12 OR MORE DWELLING UNITS)	7 SPACES (1 PER EVERY 3 DWELLING UNITS OR FRACTION THEREOF)	0 SPACE	0 SPACE	7 SPACES

NOTE: ALL MEASUREMENTS LISTED ABOVE ARE IN US STANDARDS.

Zoning Table Notes:

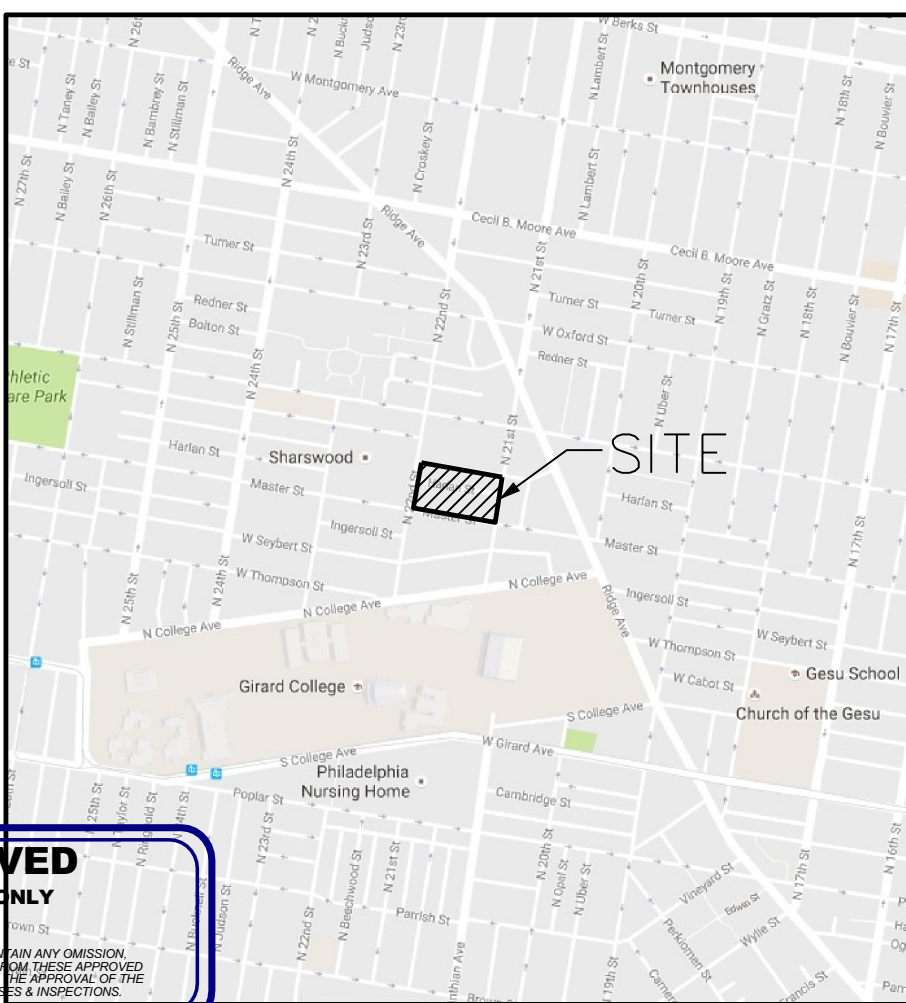
- [5] If abutting lots on both sides of an attached building contain only two stories of enclosed area, stories above the second story of the attached house shall set back an additional eight ft. from the minimum setback shown in this table except this requirement shall not apply to corner lots.
- [6] In the RM-1 district, front setbacks shall comply with the following:
(a) On any given street, the front setback shall be no deeper than the front setback of the principal building on the immediately adjacent lot on such street with the deepest front setback and shall be no shallower than the front setback of the principal building on the immediately adjacent lot on such street with the shallowest front setback.
(b) On any given street, if there is no principal building on an immediately adjacent lot, then the front setback shall match the front setback on the closest building to the subject property that is on the same blockface. If there is no such building, the minimum front setback shall be zero.
(c) If the property is bounded by two or more streets, only the primary frontages as designated in 14-701(d)(4) (Primary Frontage) shall be subject to the front setback requirements of (a) and (b) above.

Existing Tax Parcel Numbers and Site Data:

Address 2122-52 Sharswood Street Lot Area 16,800 SF, or 0.39 Ac. P.O.B. Location Intersection Corner
OPA Account Number: 886903000

Owner/Applicant:

Sharswood III LLC
2 Cooper Street
P.O. Box 90708
Comden, NJ 08101



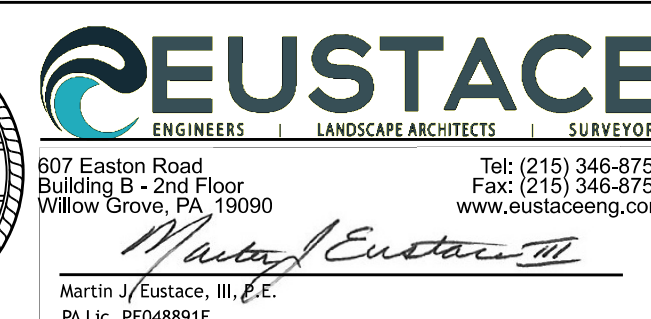
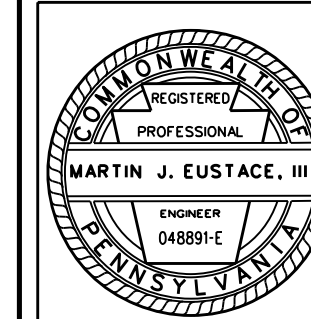
Location Map
Scale: 1" = 1000'

GRAPHIC SCALE 1" = 10'

12-16-22 EMG DESIGN UPDATES

Zoning Plan - Premises 3
Harlan Street Redevelopment

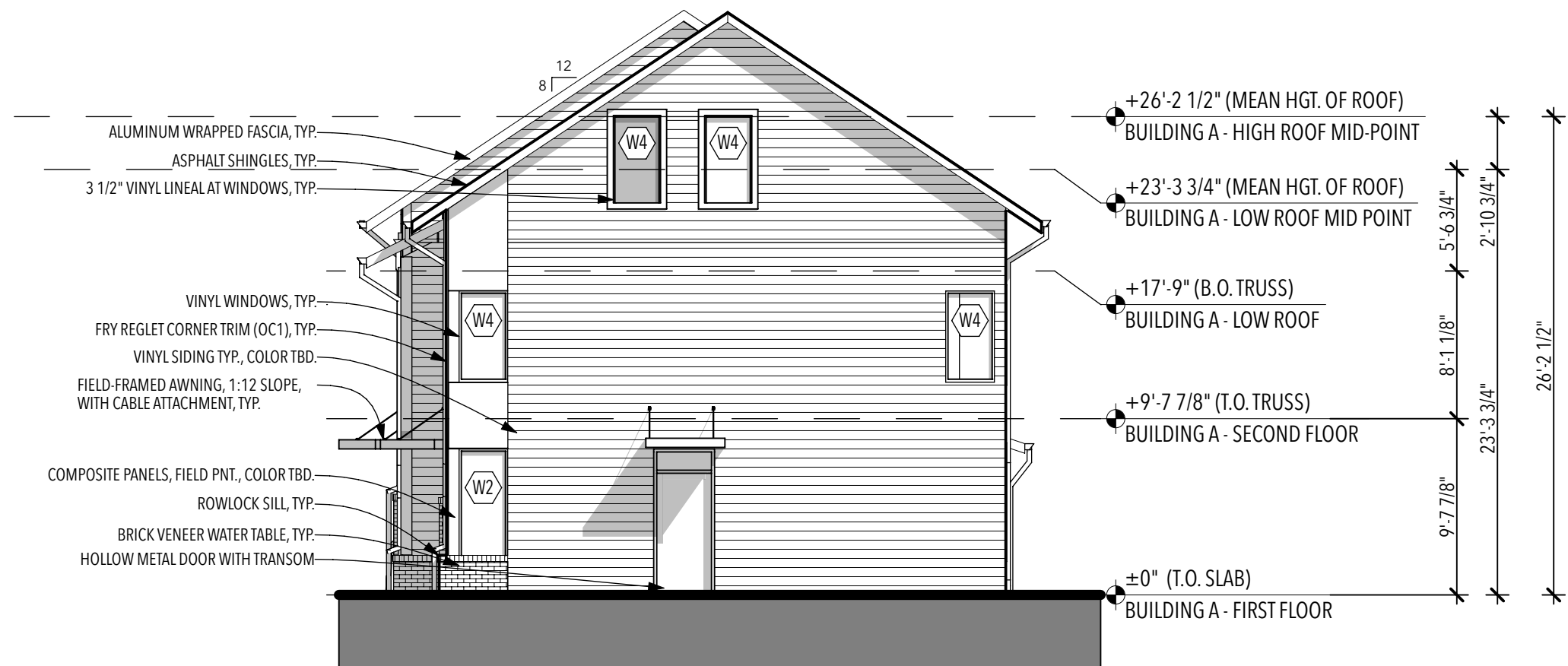
2122-52 Sharswood Street
29th Ward, City of Philadelphia, Pennsylvania 19121



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EMG
CHECKED BY
MJE
DATE
12-15-22
DRAWING No.
D 2291 02 37



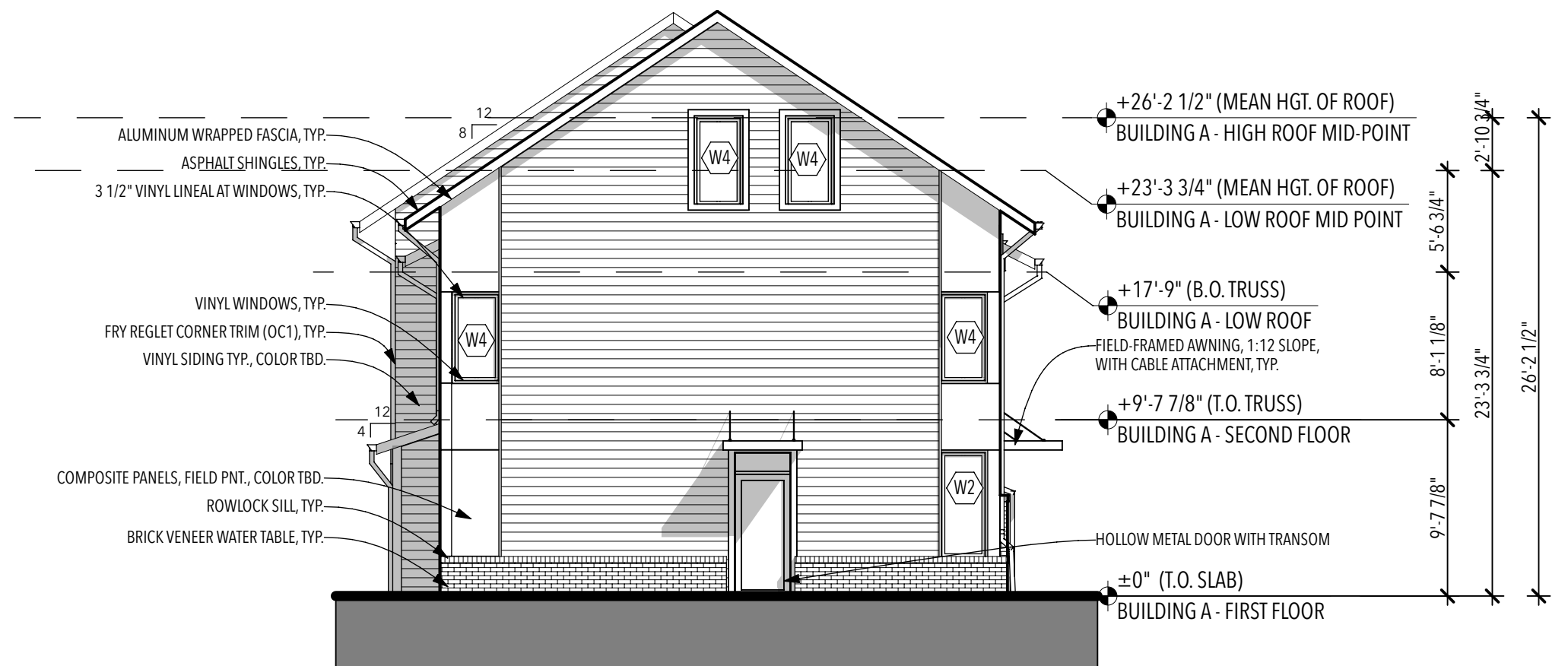
1 BLDG A FRONT ELEVATION
ZE-1 SCALE: 1/8" = 1'-0"



3 BLDG A RIGHT ELEVATION
ZE-1 SCALE: 1/8" = 1'-0"



2 BLDG A REAR ELEVATION
ZE-1 SCALE: 1/8" = 1'-0"

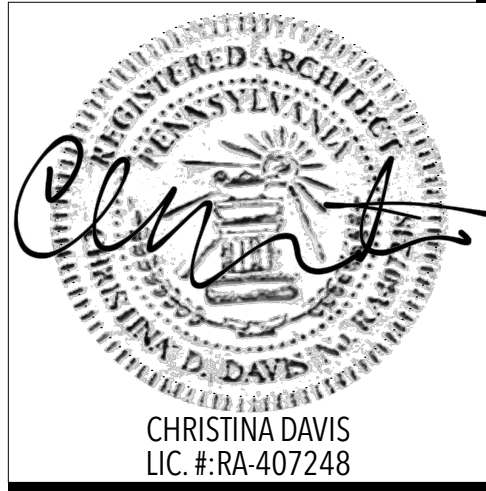


4 BLDG A LEFT ELEVATION
ZE-1 SCALE: 1/8" = 1'-0"

**APPROVED
FOR ZONING ONLY
10/24/22**

WHEN YOUR PLANS CONTAIN ANY OVERSIGHT,
ERROR OR AMBIGUITY FROM THESE APPROVED
PLANS IT WILL REQUIRE THE APPROVAL OF THE
DEPARTMENT OF LICENSING & INSPECTIONS.

Applied Electronically by L&I User



**SHARSWOOD REHABILITATION & HARLAN STREET
REDEVELOPMENT**

PHFA NO. TC2021-152
Sharpswood, Harlan and Masters Streets
Philadelphia, PA 19121

11/23/21 ZONING SUBMISSION
10/20/21 90% PHFA SUBMISSION

Title **BLDG A EXTERIOR
ELEVATIONS**
Project No. 20076 Date 10/29/2021

Drawing No.

ZE-1

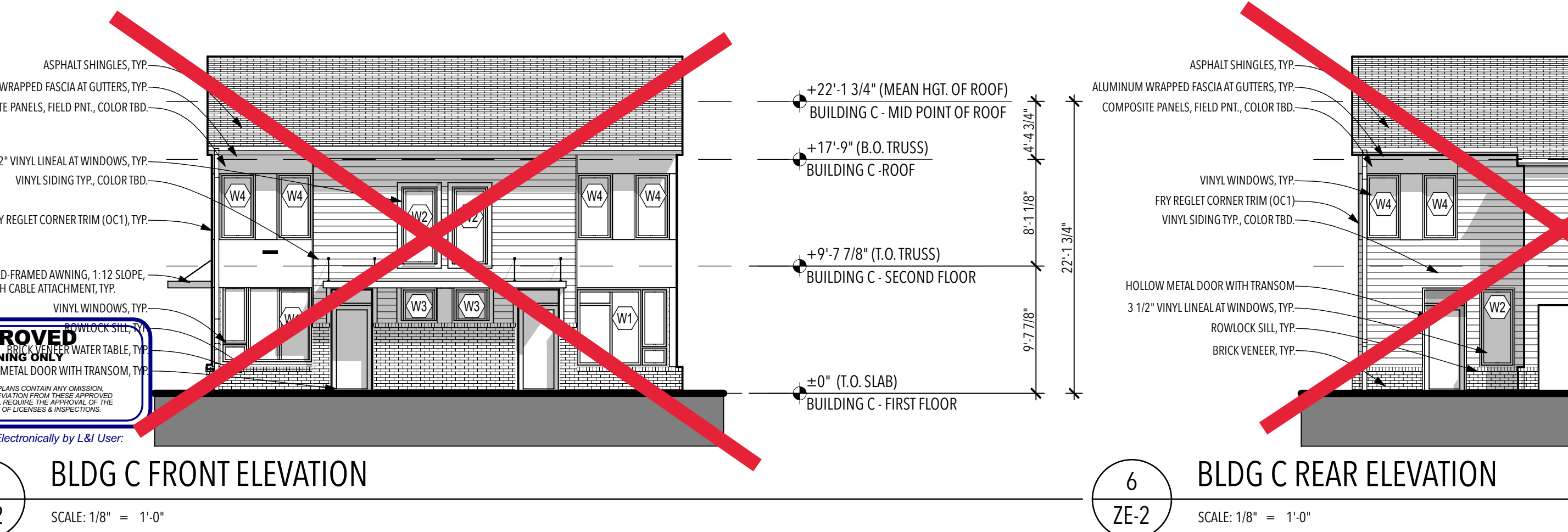




1 BLDG B FRONT ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"



2 BLDG B REAR ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"



3 BLDG B RIGHT ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"



5 BLDG C FRONT ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"

6 BLDG C REAR ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"

8 BLDG C LEFT ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"

7 BLDG C RIGHT ELEVATION
ZE-2 SCALE: 1/8" = 1'-0"

Zoning Permit

Permit Number ZP-2022-001280

LOCATION OF WORK 2122-52 SHARSWOOD ST, Philadelphia, PA 19121-3914 Premise A: 2122-52 Sharswood St. (OPA: 886903000)	PERMIT FEE \$1,822.00	DATE ISSUED 4/13/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1 CMX2	

PERMIT HOLDER SHARSWOOD ASSOCIATES L P	3 E STOW RD PO BOX 994 MARLTON NJ 08053
--	---

OWNER CONTACT 1 Andrew Davenport, Vice President, Development	The Michaels Organization, 2 Cooper Street, Camden, NJ 0810
---	---

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change

APPROVED DEVELOPMENT FOR THE ERECTION OF THREE(3) STRUCTURES ON LOT WITH SIX(6) 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUT. SIZE AND LOCATION AS SHOWN IN THE APPLICATION
--

APPROVED USE(S) Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-001280

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2122-52 SHARSWOOD ST, Philadelphia, PA 19121-3914

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A MULTI-FAMILY HOUSEHOLD LIVING (14 DWELLING UNITS) *AMENDED PERMIT*FOR A MULTI-FAMILY HOUSEHOLD LIVING (16) FAMILY DWELLING ON LOT AS PREVIOUSLY APPROVED STRUCTURE.AMENDED PERMIT : PREVIOUSLY APPROVED PERMIT DID NOT INCLUDE EXISTING STRUCTURE AND USES. FOR A MULTI-FAMILY HOUSEHOLD LIVING (FOUR (4) DWELLING UNITS) IN AN EXISTING STRUCTURE (TOTAL TWENTY(20) DWELLING UNITS IN FOUR(4) STRUCTURES) SIZE AND LOCATION AS SHOWN IN AN AMENDED APPLICATION.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.