

Notice of: ☒ **Refusal** ☐ **Referral**

Application Number: ZP-2022-011844	Zoning District(s): RSA2 RSA5	Date of Refusal: 4/21/2023
Address/Location: 1510 W ALLEGHENY AVE, Philadelphia, PA 19132-1729 Parcel (PWD Record)		Page Number Page 1 of 2
Applicant Name: Christopher Johnson DBA: Expediter	Applicant Address: 2713 W. Sedgley Avenue Philadelphia, PA 19121 USA	Civic Design Review? N

Application for:

FOR NO CHANGE OF OCCUPIED AREA OR HEIGHT OF EXISTING DETACHED STRUCTURE "BUILDING A". FOR THE ERECTION OF A SEMI-DETACHED STRUCTURE, ROOF DECK AND TWO ROOF DECK ACCESS STRUCTURES "BUILDING B". FOR USE AS MULTI-FAMILY HOUSEHOLD LIVING WITH A COMBINED 93 DWELLING UNITS. FOR 18 ACCESSORY OFF-STREET PARKING SPACES, INCLUDING FOUR (4) ACCESSIBLE PARKING SPACES. FOR 32 CLASS 1A BICYCLE PARKING SPACES. SIZE AND LOCATION AS SHOWN IN THE APPLICATION/PLANS.

The permit for the above location cannot be issued because the proposal does not comply with the following provisions of the Philadelphia Zoning Code. (Codes can be accessed at www.phila.gov.)

Code Section(s):	Code Section Title(s):	Reason for Refusal:
Section 14-401(4)(b)	Multiple Principal Uses and Buildings	Whereas no more than one principal building is allowed per lot in RSA zoning district and two (2) principal buildings are proposed.
Table 14-602-1	Uses Allowed in Residential Districts	Whereas the proposed use, multi-family household living (93 dwelling units) is expressly prohibited in the RSA2 & RSA5 residential zoning districts.
Table 14-701-1	Dimensional Standards for Lower Density Residential Districts	Whereas the maximum occupied area in the RSA2 residential zoning district is 40% (12,800 SF) and 49.3% (15,768 SF) is proposed, and Whereas the minimum side yard is 8 feet and 5 feet is proposed, and Whereas the minimum rear yard depth in the RSA2 residential district is 20 feet and 0 & 5 feet are proposed. Whereas the maximum building height in the RSA2/RSA5 residential zoning district is 38 feet and 49 feet is proposed (and noting the rearmost roof deck access structure not meeting requirements of Section 14-604(5)(c)(.4)).
Table 14-802-1	Required Parking in Residential Districts	Whereas 93 accessory off-street parking spaces are required in the RSA2 residential zoning district and 18 spaces are proposed (including 4 accessible parking spaces).



Harry P. Wilson
PLANS EXAMINER

4/21/2023
DATE SIGNED

Notice to Applicant: An appeal from this decision may be made to the Zoning Board of Adjustment, One Parkway Building, 1515 Arch St., 18th Fl., Phila., PA 19102 within thirty (30) days of date of Refusal / Referral. Please see appeal instructions for more information.

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THREE (3) USE REFUSALS
FOUR (4) ZONING REFUSALS

Fee to File Appeal: \$ 300

NOTES TO THE ZBA:

STRUCTURE/LOT HAS BEEN VACANT IN EXCESS OF THREE (3) YEARS.

MOST RESTRICTIVE REQUIREMENT OF EACH ZONING DISTRICT USED PER 14-107(2)(b)(.1).

REF: CAK X-1583 (10-26-1964) REFUSING REPARTITION AND ALTERATIONS FOR DOCTOR'S OFFICES ON 2ND FLOOR.

REF: CAL W-470 (6-13-1963) AUTHORIZING A MULTI-FAMILY DWELLING (46 FAMILIES) WITH 46 OFF STREET PARKING SPACES.

REF: CAL W-167 (2-25-1963) REFUSING ERECTION OF A THREE-STORY STRUCTURE FOR 53 FAMILIES & 37 OFF STREET PARKING SPACES

Parcel Owner:

1510 WEST ALLEGHENY AVE LLC



Harry P Wilson
PLANS EXAMINER

4/21/2023
DATE SIGNED

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ZONING BOARD OF ADJUSTMENT

REVISED PROVISO PLANS FORM

PROPERTY ADDRESS:

1510 West Allegheny Avenue

ZONING PERMIT NUMBER (ZP-):

ZP-2022-011844

CALENDAR NUMBER (MI-):

MI-2023-002651

OWNER/OWNER'S REPRESENTATIVE (APPELLANT, ATTORNEY, DESIGN PROFESSIONAL): Alan Nochumson, Esquire

PROPOSED CHANGES:

ALL CHANGES TO THE APPLICATION REVIEWED BY THE DEPARTMENT OF LICENSES AND INSPECTIONS MUST BE LISTED (USE ADDITIONAL SHEETS IF NECESSARY) AND HIGHLIGHTED ON REVISED PLAN:

- Added an 8-foot setback to proposed Building "B".

APPROVED

Revised plans, 1 page, stamped by ZBA
on September 20, 2023.

Hilary J. Emerson

Hilary J. Emerson, Esq.
Counsel for ZBA

INSTRUCTIONS AND PLAN REQUIREMENTS:

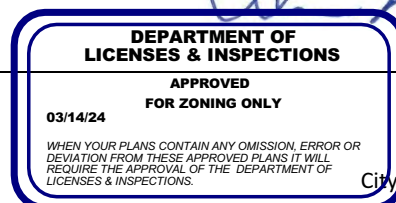
1. THE SITE PLAN MUST BE DRAWN TO ONE OF THE FOLLOWING SCALES:
 - ENGINEER: 1' = 10'; 20'; 30'; 40'; 50'; 60'; 100'
 - ARCHITECT: 1/16; 1/8; 1/4; 3/16
2. THE SITE PLAN AND ELEVATION DRAWINGS MUST BE ON A MINIMUM 11" X 17" SIZED SHEET
3. THE SITE PLAN MUST INCLUDE THE FOLLOWING:
 - IDENTIFICATION OF NORTH POINT;
 - EXISTING LOT LINES AND DIMENSIONS AS RECORDED IN THE PROPERTY DEED OR ASSOCIATED LOT ADJUSTMENT PLAN;
 - ALL STRUCTURES WITH EXTERIOR DIMENSIONS, BUILDING HEIGHTS, AND NUMBER OF STORIES;
 - THE LENGTH AND WIDTH OF ALL FRONT, SIDE, AND REAR YARDS, AND DIMENSIONS OF ALL OTHER OPEN AREAS; STREETS, ALLEYS, AND/OR DRIVEWAYS BORDERING THE PROPERTY;
 - LOCATION AND DIMENSIONS OF ALL OFF-STREET PARKING, BICYCLE SPACES, AND LOADING SPACES, INCLUDING AISLES AND DRIVEWAYS, AND THE DISTANCES FROM THE LOT LINES;
 - NEW LANDSCAPING, STREET TREES, AND HERITAGE TREES WHERE APPLICABLE; AND
 - THE EXACT LOCATION, SIZES, AND TYPES AND ILLUMINATION OF ALL EXISTING AND PROPOSED SIGNS, IF APPLICABLE.

I CERTIFY THAT ALL SIGNIFICANT CHANGES TO THE APPLICATION HAVE BEEN FULLY AND ACCURATELY DOCUMENTED.

SIGNATURE OF OWNER/OWNER'S REPRESENTATIVE:

Alan Nochumson

9/15/2023



City of Philadelphia | Zoning Board of Adjustment | 04-12-2023

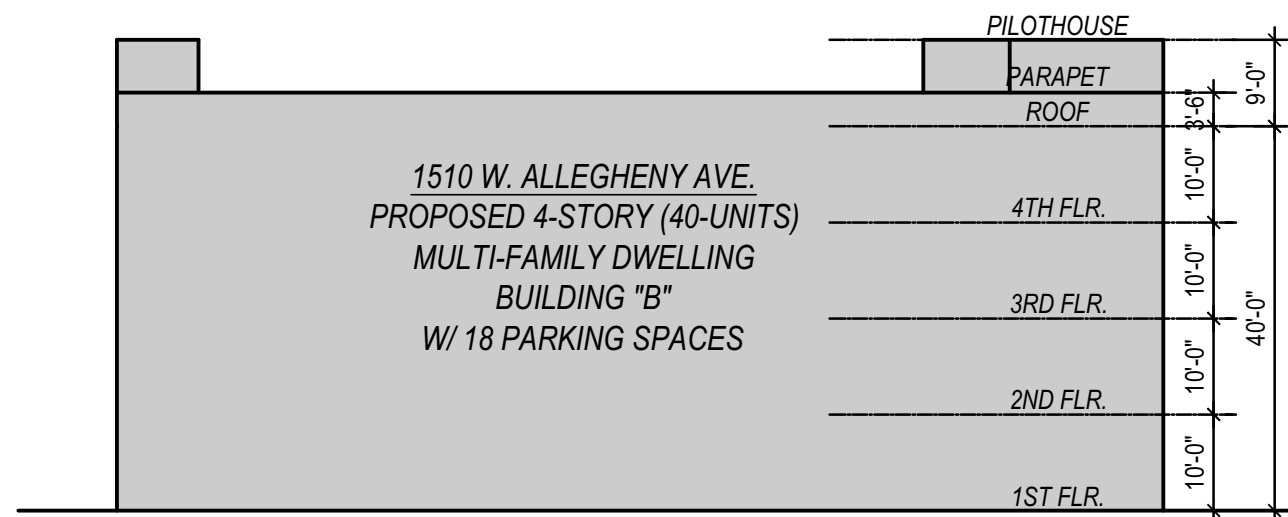
Applied by L&I: Harry Wilson



3
Z1.0
EXISTING CONDITIONS (FRONT)
Scale: N.T.S.



4
Z1.0
LOCATION MAP
Scale: N.T.S.



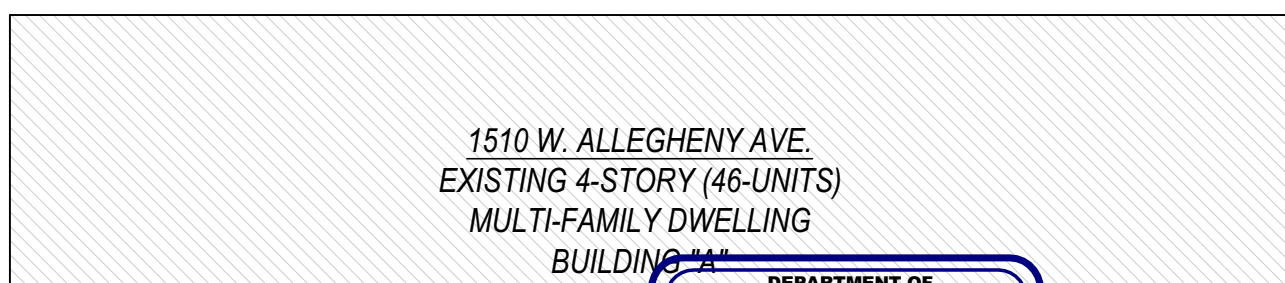
2
Z1.0
ZONING SECTION
Scale: 1"=20'-0"

APPROVED

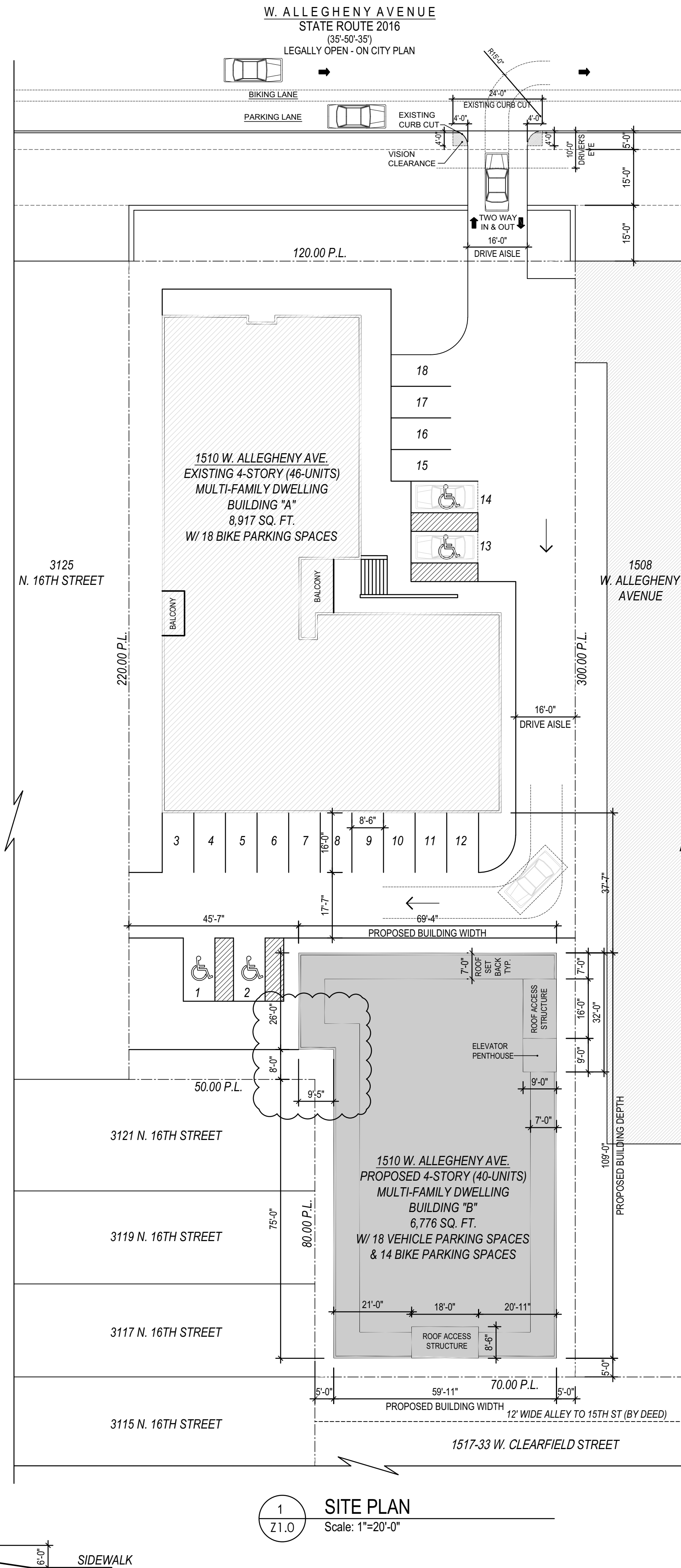
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on September 20, 2023.

Hilary J. Emerson

Hilary J. Emerson, Esq.
Counsel for ZBA



Applied by L&I: Harry Wilson



1
Z1.0
SITE PLAN
Scale: 1"=20'-0"

STREET DEPARTMENT NOTES:

- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSAL.
- PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION. PENNSYLVANIA ONE CALL SYSTEM #20221141104-000 AND WARD #15.
- UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH.
- HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. SHALL BE FURNISHED BY THE SURVEY DISTRICT OF PHILADELPHIA BASED ON ITEM #4-1040.
- PERMITS FOR BOLLARDS, CURB, & SIDEWALK PAVING SHALL BE FURNISHED BY THE HIGHWAY DISTRICT OF THE CITY OF PHILADELPHIA.
- THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES

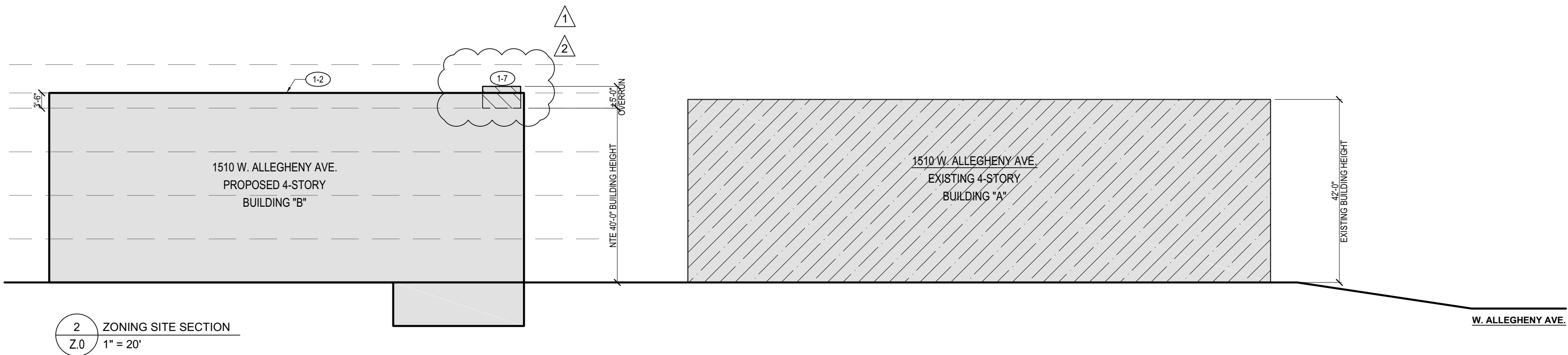
PROJECT SUMMARY: 1510 W. ALLEGHENY AVE ZONING: RSA-2 / RSA-5 ABUTTING ZONING DISTRICT: RSA-2 / RSA-3 / RSA-5 / CMX-2 ZONING DISTRICT ACROSS STREET: RSA-3 LOT AREA: 32,000 SF USE: (2) MULTIFAMILY STRUCTURES (BLDG A & BLDG B) & ACCESSORY PARKING			
DWELLING UNITS	ALLOWED 1	EXISTING 46	PROPOSED (46*7) + 40 = 93 TOTAL UNITS
DIMENSIONAL STANDARDS			
OPEN AREA	REQ'D / ALLOWED 19,200 SF (60%)	EXISTING 23,000 SF (72%)	PROPOSED 16,256 SF (50.8%)
OCCUPIED AREA	12,800 SF (40%)	9,000 SF (26%)	15,732 SF (49.2%)
FRONT YARD SETBACK	15'-0"	15'-0"	NO CHANGE
SIDE YARD	8'-0"	9'-0"	5'-0"
REAR YARD	20'-0"	-	0'-0" / 5'-0"
HEIGHT	38'-0"	-	NTE 40'-0"
TOTAL GFA	NA	±36,000 SF	+27,141 = 63,141 GSF

ZONING NOTES:			
1. PILOT HOUSES ARE TO CONTAIN STAIRS AND LANDINGS ONLY.			
2. PROPOSED ROOF DECKS ARE TO BE SETBACK MIN. 5'-0" FROM RIGHT OF WAYS.			
3. GUARD RAILS/TYPICAL PARAPETS ARE 42" AFF			
4. 6' TALL FENCE PROPOSED AT REAR AND SIDE YARDS WHERE APPLICABLE			

PARKING SUMMARY			
AUTO PARKING	REQUIRED 93 SP	EXISTING 46 SP (0) ADA	PROPOSED 18 SP (4) ADA
BICYCLE PARKING	14 (BLDG B)	0	14 CLASS 1A

TYPICAL ENCROACHMENTS INTO RIGHT OF WAYS:			
PEDESTRIAN ZONE	15'-0"		
FURNISHING ZONE	5'-0"		
BUILDING ZONE	15'-0"		

STREETS DEPARTMENT NOTES:			
1. PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION. - PENNSYLVANIA ONE CALL SYSTEM #2023 356 1749 WARD #36			
2. UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD.			
3. "CALL BEFORE YOU DIG" PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974) AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.			
4. SEE PA ONE CALL NUMBER IN STREETS DEPARTMENT NOTES, THIS PAGE: HARMAN DEUTSCH OHLER SHALL NOT BE RESPONSIBLE FOR ANY FINDINGS BY PA ONE CALL THAT MAY DIFFER FROM THE PLANS.			



Zoning Permit

Permit Number ZP-2022-011844

LOCATION OF WORK 1510 W ALLEGHENY AVE, Philadelphia, PA 19132-1729	PERMIT FEE \$1,772.00	DATE ISSUED 9/20/2023
	ZBA CALENDAR MI-2023-002651	ZBA DECISION DATE 9/20/2023
	ZONING DISTRICTS RSA2 RSA5	

PERMIT HOLDER 1510 WEST ALLEGHENY AVE LLC	740 CROPSY AVENUE SUITE 9G BROOKLYN NY 11214
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OWNER CONTACT 1 DMITRY GORIDETSKY	1510 WEST ALLEGHENY AVE
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR NO CHANGE OF OCCUPIED AREA OR HEIGHT OF EXISTING DETACHED STRUCTURE "BUILDING A" . FOR THE ERECTION OF A DETACHED STRUCTURE, ROOF DECK AND ROOF DECK ACCESS STRUCTURE "BUILDING B". SIZE AND LOCATION AS SHOWN IN THE APPLICATION/PLANS. **AMENDMENT / ADMINISTRATIVE REVIEW (2-6-2025) FOR THE RELOCATION & ELIMINATION OF ROOF DECK ACCESS STRUCTURES (ONE (1) TO REMAIN) AND THE ELIMINATION OF THE ROOF DECK. NO OTHER CHANGES FROM PRIOR

APPROVED USE(S) Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA) Revised plans, 1 page, stamped by ZBA on September 20, 2023.

 CONDITIONS AND LIMITATIONS: - Permits, including Zoning Permits not involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, six (6) months from the date of issuance with the following exceptions: 30-days or 10-days for Permits related to Unsafe or Imminently Dangerous properties respectively. 3-years from issuance or date of decision by ZBA for Zoning Permits involving development. 60-days for Plumbing, Electrical or Fire Suppression Rough-In Approvals. - Any Permit issued for construction or demolition is valid for no more than five (5) years. - All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code. - The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.
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Zoning Permit

Permit Number ZP-2022-011844

APPROVALS AS PER THE ZBA PROVISIO PLAN DATED 9-23-2023.



APPROVED USE(S)

Residential - Household Living - Multi-Family

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Zoning Permit

Permit Number ZP-2022-011844

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1510 W ALLEGHENY AVE, Philadelphia, PA 19132-1729

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR USE AS MULTI-FAMILY HOUSEHOLD LIVING WITH A COMBINED 93 DWELLING UNITS. FOR 18 ACCESSORY OFF-STREET PARKING SPACES, INCLUDING FOUR (4) ACCESSIBLE PARKING SPACES. FOR 32 CLASS 1A BICYCLE PARKING SPACES.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.