

Zoning Permit

Permit Number ZP-2021-009158

LOCATION OF WORK 737 WALNUT ST, Philadelphia, PA 19106-3208	PERMIT FEE \$1,722.00	DATE ISSUED 9/9/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX5	

PERMIT HOLDER SARAH INVESTMENT LLC	1000 W GIRARD AVE PHILADELPHIA PA 19123
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APPLICANT Stuart Rosenberg DBA: STUART ROSENBERG ARCHITECTS	230 S BROAD STREET STE M30 PHILADELPHIA, PA 19102 USA
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH MEZZANINE. (SEE APPLICATION# 1011419 OF PREVIOUSLY APPROVED STRUCTURE) SIZE AND LOCATION AS SHOWN IN THE APPLICATION.
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APPROVED USE(S) Vacant; Visitor Accommodations

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.



The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements. Permit must be posted within 5 days of issuance.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

737 WALNUT ST, Philadelphia, PA 19106-3208

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A VACANT COMMERCIAL SPACE AT FIRST FLOOR FRONT (USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) WITH VISITOR ACCOMMODATIONS FROM FIRST FLOOR REAR THROUGH FIFTH(5TH) FLOOR WITH TWO(2) BICYCLE SPACES AT BASEMENT. SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

This permit is subject to the following specific conditions.

CONDITIONS

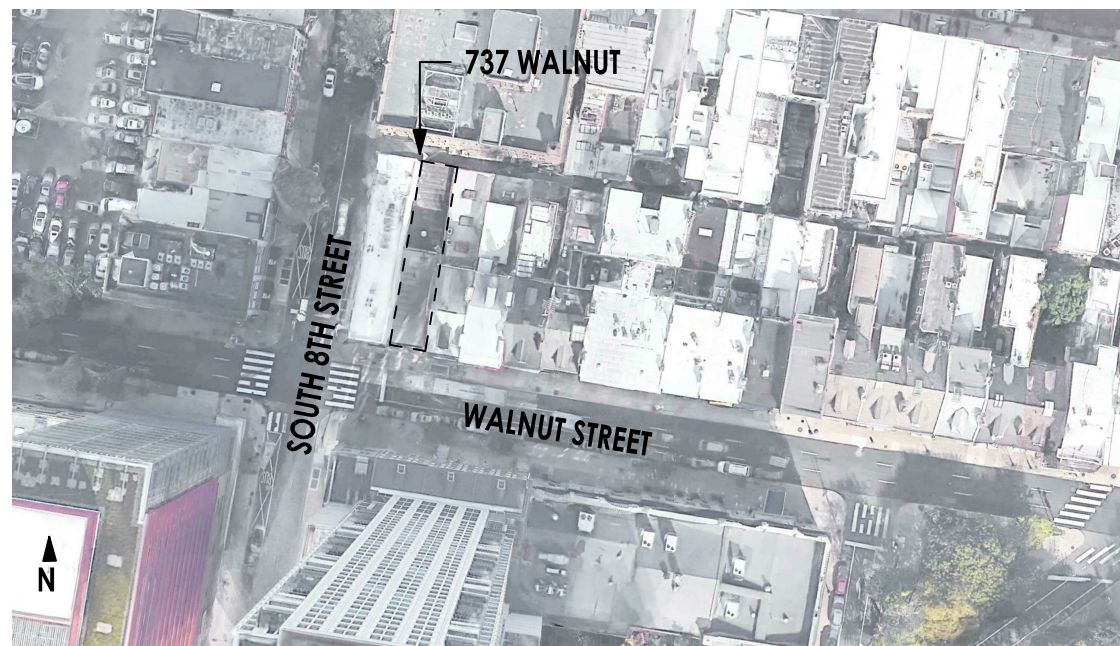
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



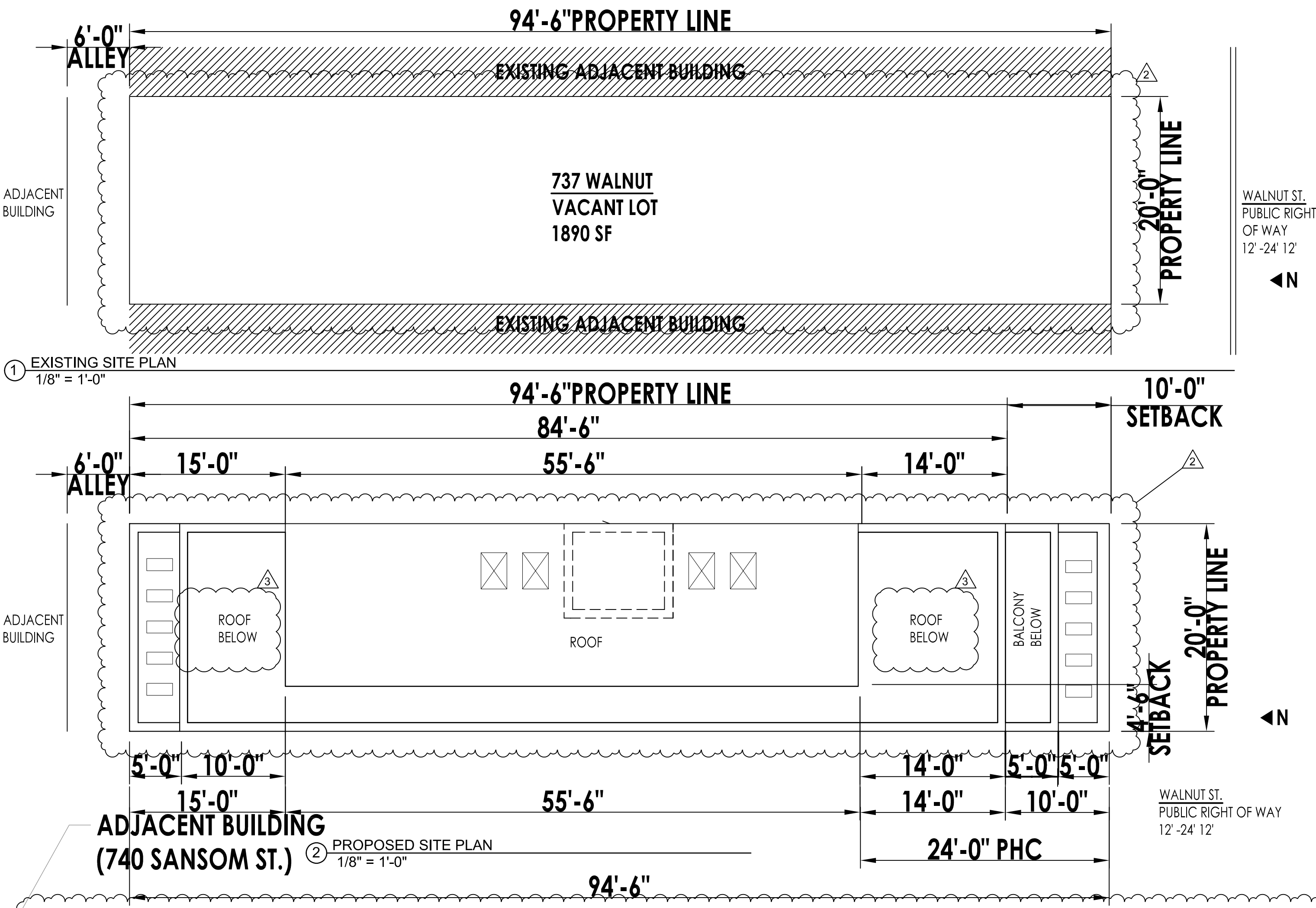
Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



SITE AERIAL PHOTO



EXISTING CONDITIONS PHOTO FROM WALNUT STREET



ZONING TABULATION CHART			
ZONING DISTRICT: CMX-5 COMMERCIAL MIXED-USE 5	REQUIRED/ ALLOWABLE	EXISTING	PROPOSED
LOT WIDTH	N/A	20' - 0"	20' - 0"
LOT LENGTH	N/A	94' - 6"	94' - 6"
LOT AREA	N/A	1,890 SF	1,890 SF
OCCUPIED AREA	100% MAX UP TO 65 FT	100%	100%
SKYPLANE OPTION B	75% MAX 65 FT TO 300 FT	1,890 SF	1,890 SF
OPEN AREA	0% MIN	0%	0%
FRONT YARD SETBACK:	N/A	0'-0"	0'-0"
SIDE YARD SETBACK:	N/A	0'-0"	0'-0"
REAR YARD SETBACK:	N/A	0'-0"	0'-0"
ROOF DECK SETBACK:	5 FT MIN	N/A	24' - 0"
TOTAL GROSS FLOOR AREA	N/A	1,890 SF	10,194 SF
MAX. BUILDING HEIGHT:	N/A	1 STORY (15'-0")	5 STORIES + MEZZANINE (65'-0")
BLOCKAGE OF SKYPLANE	0-65': 100% MAX 65'-90': 85% MAX	100%	0-65': 100% 65'-90': 85%
FLOOR AREA RATIO	1200% MAX	100%	640%
COMMERCIAL SPACE	N/A	1,890 SF	270 SF
VISITOR ACCOMMODATION UNITS	N/A	0 UNITS	9 UNITS
MIN. NUMBER OF PARKING SPACES:	0 REQUIRED §14-601 (7)(i) TABLE 14-602-2 & 14-802-2	0 PARKING SPACES	0 PARKING SPACES
MIN. NUMBER OF BICYCLE SPACES:	2 REQUIRED	0 BICYCLE SPACES	2 BICYCLE SPACES

EXISTING AND PROPOSED FLOOR AREA:			
FLOOR LEVEL	EXISTING USE	PROPOSED USE	AREA
CELLAR	N/A	UTILITIES/VISITOR ACCOMMODATION	1,890 SF (100% LOT AREA)
FIRST FLOOR	COMMERCIAL	COMMERCIAL/VISITOR ACCOMMODATION	1,890 SF (100% LOT AREA)
SECOND FLOOR:	COMMERCIAL	VISITOR ACCOMMODATION	1,890 SF (100% LOT AREA)
THIRD FLOOR:	N/A	VISITOR ACCOMMODATION	1,890 SF (100% LOT AREA)
FOURTH FLOOR:	N/A	VISITOR ACCOMMODATION	1,890 SF (100% LOT AREA)
FIFTH FLOOR:	N/A	VISITOR ACCOMMODATION	1,890 SF (100% LOT AREA)
MEZZANINE:	N/A	VISITOR ACCOMMODATION	944 SF (50% LOT AREA)
TOTAL GROSS FLOOR AREA:			10,194 SF (EXCLUDING CELLAR)

