



NOTES:

1. Work to be done in accordance with standard specifications, approved drawings, and regulations of the Department of Streets, Philadelphia Water Department, Philadelphia Parks & Recreation Department, and special provisions of the proposal.
 2. Pursuant to the requirements of Pennsylvania Act 287 (1974), and as amended, the Contractor shall contact the Pennsylvania One Call System at 1-800-242-1776, at least 3 working days prior to excavation. Pennsylvania One Call System# 20201950722 and Ward #5.
 3. Utilities shown are taken from public record. The Contractor must verify the exact location and depth.
 4. Horizontal and vertical control, line and grade stakes for curb, paving, etc. will be furnished by the 2ND Survey District of the City of Philadelphia based on Item #4-1040.
- Note: This item, Engineering Services, is a pre-determined amount to be determined by the Surveyor & Regulator and to be included in the contractor's bid.*
5. Permits for bollards, curb, & sidewalk paving will be furnished by the 3RD Highway District of the City of Philadelphia.
 6. The City of Philadelphia shall provide inspection services for paving and related work, to be paid under Item #4-1 041 at a cost of \$345 per day. The Contractor shall contact the Construction Unit of the Division of Surveys, Design & Construction at (215) 686-5539, a minimum of 2 weeks prior to the start of work. This item, Inspection Services shall be included in the contractor's bid.
 7. Street light pole locations are not final. The Streets Department Street Lighting Engineer will determine the exact locations of the street light poles during construction. Contact the Street Lighting Engineer at (215) 686-5517 to coordinate street light pole locations.
 8. Street trees must be permitted by the Philadelphia Department of Parks & Recreation. Contact the Street Tree Management Division at (215) 685-4363.
 9. For projects on State Routes, notice is hereby given that the receipt of a permit from either the Philadelphia Streets Department, or the Pennsylvania Department of Transportation (PennDOT) does not imply a permit from the other. All permits must be obtained prior to the start of construction.

7 STORY MIXED USE BUILDING
79'5" HT
RESIDENTIAL: 42 DWELLING UNITS
RETAIL: 4,086 SF

TOTAL GSF: 30,067 SF

Repaint all pavement marking along the property frontage for the length of the property's frontage on 8th & Chestnut Streets, which includes the following items:

- a. The 6" solid white parking lane line closest to the property
- b. The bicycle shared lane "sharrow"
- c. Crosswalks and Stop Bar at intersection of Chestnut & 8th Street

All work to be performed by the Contractor.

The Contractor must protect all street signs within the limits of work during construction. The Contractor must replace any damaged street signs with new signs, in-kind.

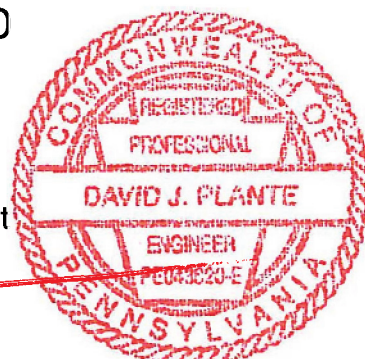


1. Boundary and topographic information is based on a field survey performed by Ruggiero Plante Land Design on July 14, 2020.
2. Boundary dimensions are identified in Philadelphia District Standard feet and other stated dimensions are in U.S. standard feet.
3. The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
4. The bearings shown herein are referenced from 2nd Survey District.
5. Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
6. FEMA FIRN map #42070570184H effective November 18, 2015 designates the site as Zone X, areas outside the 500 yr. floodplain.
7. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
8. Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within Commercial (CMX-5) Zoning District.
9. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
10. Elevations shown on plan are based on City Plan #308 datum. Benchmark is a manhole rim in 8th Street with an elevation of 25.49.
11. All construction shall be in accordance with the Philadelphia Water Department & Streets Department Standards, as well as PA DOT Publication 408 and Publication 72.
12. All proposed storm sewer, sanitary sewer, and water service lines will connect into the utilities located in the surrounding streets.
13. All existing structures are to be demolished. All curbs inside the limit of disturbance shall be removed.
14. All landscaping shall be in accordance with Philadelphia City Planning Commission plant list.
15. A Zoning Permit is required for any proposed changes to lot lines including subdivision or consolidation of existing parcels.
16. Traffic paint and signage to be in conformance with PADOT pub 408 & MUTCD.
17. All private water & sewer infrastructure shall be built to PWD standards.

NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

730-32 CHESTNUT STREET
Philadelphia, PA 19106
5th Ward - OPA#882491210

prepared for:
David Landskroner
Hightop Real Estate and Development
448 N 10th Street, Suite 303
Philadelphia, PA, 19123



DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E



Ruggiero Plante Land Design

5900 Ridge Avenue Philadelphia, PA 19128

phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date:

August 12, 2020

Scale: 1" = 10'-0"

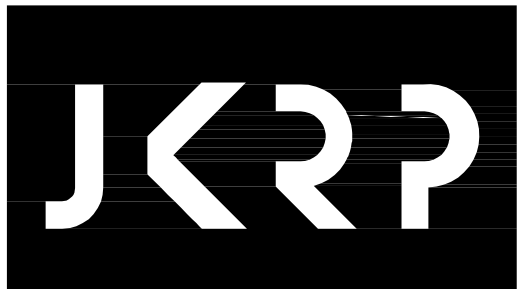


STREETS TECHNICAL SET

Sheet Title:

SITE PLAN

Sheet 2 of 5



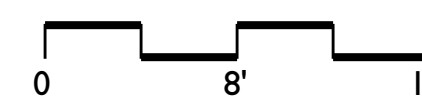
100 EAST PENN SQUARE
SUITE 1080
PHILADELPHIA, PA 19107
215.928.9331
JKRPARCHITECTS.COM



730-32 CHESTNUT STREET
PHILADELPHIA, PA 19106

GROUND FLOOR PLAN
BLACK & WHITE PLAN

DATE: 08.10.2020
DRAWN BY: NM, BH
FILE: K:\02-20-015 730-32 CHESTNUT ST
REVISIONS:
DESCRIPTION DATE
1 L&I/STREETS COMMENTS 10.16.2020
2 ZONING RESUBMISSION 11.19.2020



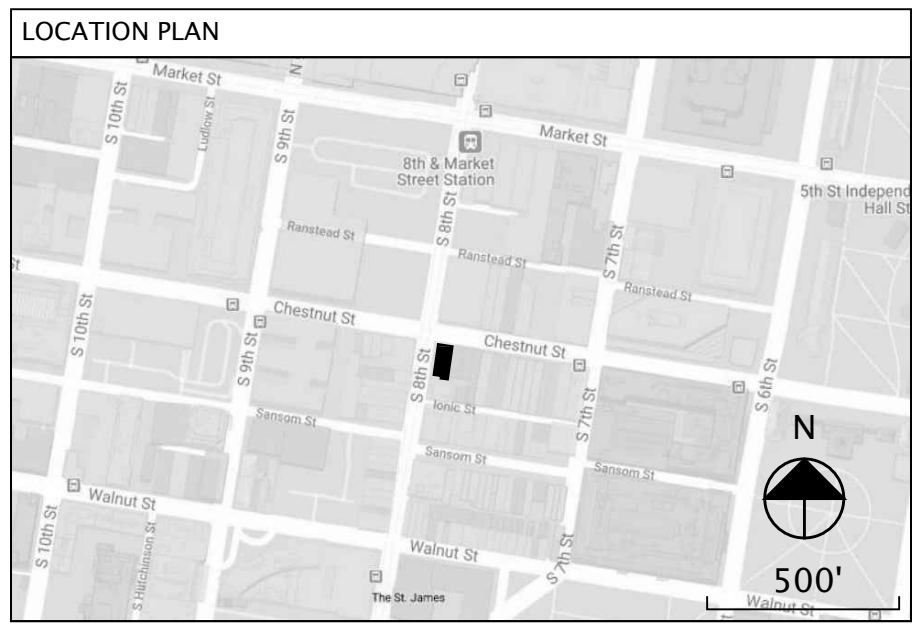
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Z1.0

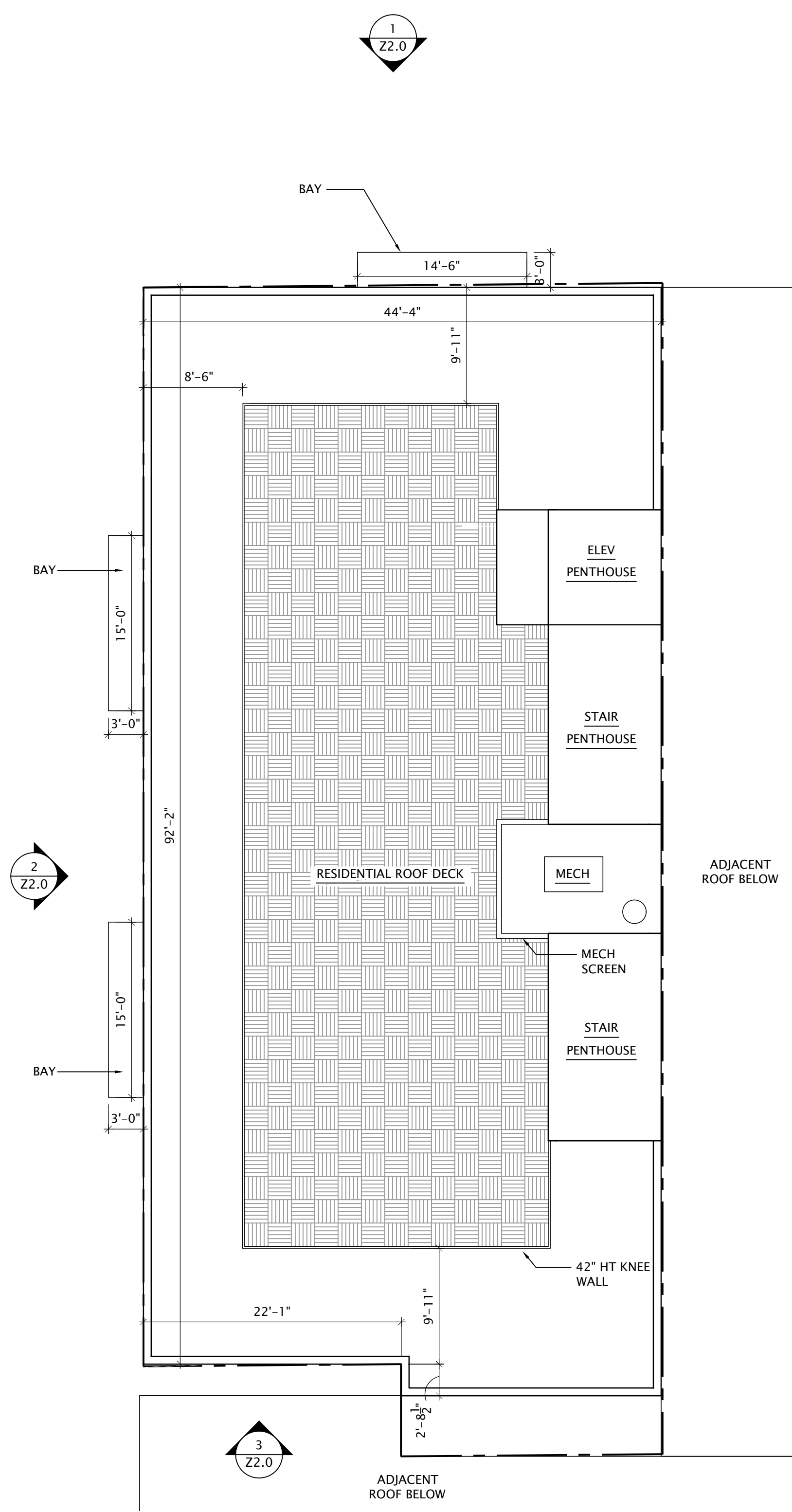
ZONING DATA		
ZONE:	CMX-5, COMMERCIAL MIXED-USE	
USE:		BASEMENT: LEVEL 1: LEVEL 2-7:
		STORAGE VACANT COMMERCIAL SPACE RESIDENTIAL 7 DWELLING UNITS / FLOOR 42 DWELLING UNITS TOTAL RESIDENTIAL ROOF DECK
ROOF:		
LOT AREA:	4,281 SQUARE FEET	

BULK REQ'S	REQUIRED OR MAX	PROPOSED
BUILDING COVERAGE:	100%	95.4%
	4,281 SQUARE FEET	4,086 SQUARE FEET
CMX-4 AND CMX-5 BULK AND MASSING CONTROLS. OPTION A: SKY PLANE CONTROLS	60'-69" WIDE STREETS (INCL. CHESTNUT ST.) 80' HT ABV SIDEWALK 100% LOT COVERAGE	60'-69" WIDE STREETS (INCL. CHESTNUT ST.) 80' HT ABV SIDEWALK 95.4% LOT COVERAGE
FLOOR TO AREA RATIO (F.A.R.):	1200% 51,372 SF	LEVEL 1: 4,086 SF LEVEL 2-6: 4,265 SF LEVEL 7: 4,181 SF ROOF: 475 SF TOTAL: 30,067 SF 702.3%
BUILDING HEIGHT:	UNLIMITED	79'-4.5"
FRONT YARD:	0'-0"	0'-0"
REAR YARD:	0'-0"	0'-0"
SIDE YARD:	8'-0" IF USED	0'-0"

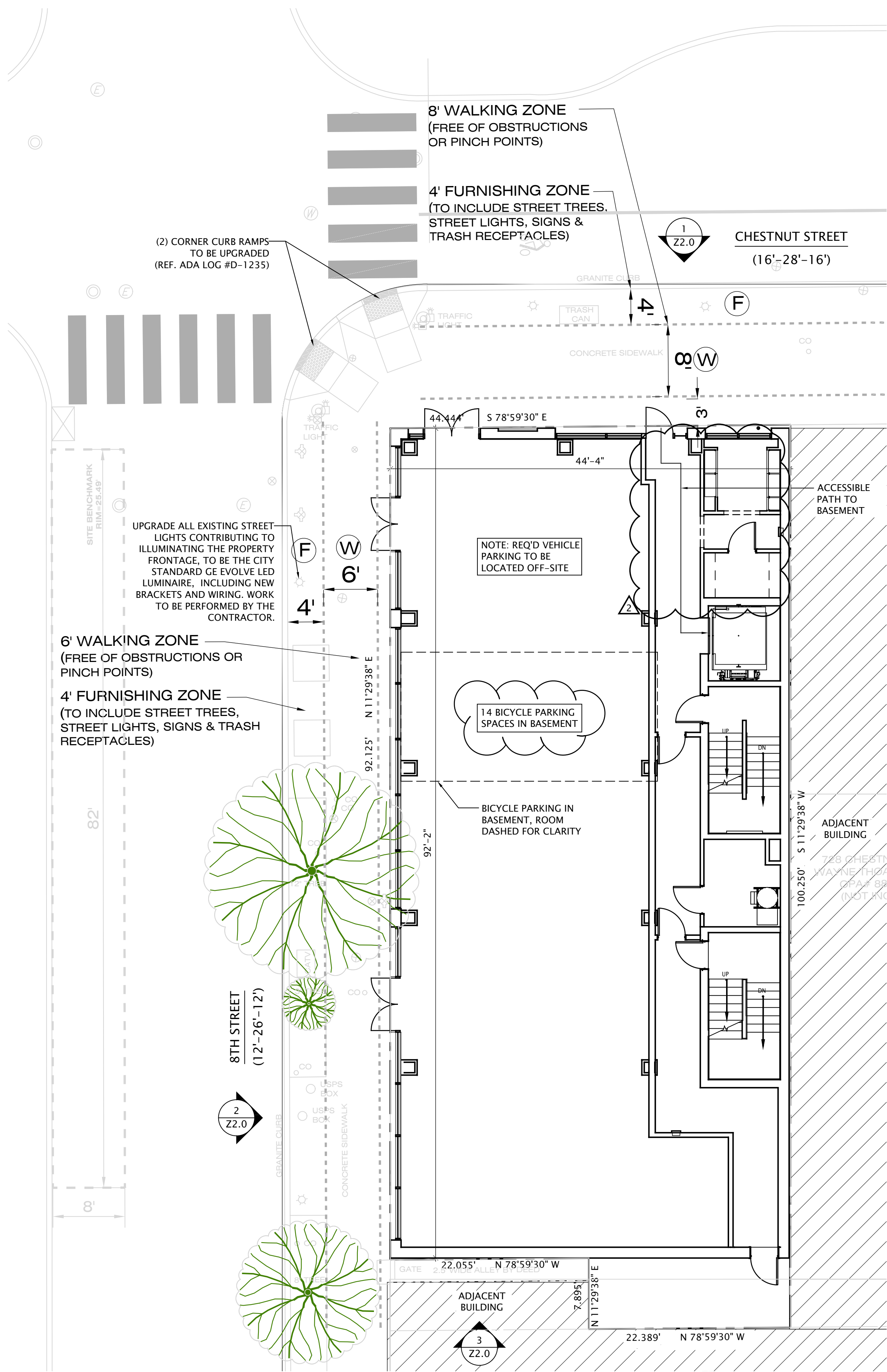
PARKING & LOADING REQUIREMENTS	REQUIRED OR MAX	PROPOSED
PARKING SPOTS	3 PER 10 DWELLINGS 13 SPOTS	3 PER 10 DWELLINGS 13 SPOTS
LESS 10% - BIKE PARK. MOD. PARKING REQ.	-1	-1
ADA PARKING	1	1 (LOCATED OFF-SITE)
BICYCLE PARKING	1 PER 3 DWELLINGS 14 BICYCLES	1 PER 3 DWELLINGS 14 BICYCLES
OFF STREET LOADING	0	0



3 PARKING PATH DIAGRAM
SCALE: 1/32"=1'-0"



2 ROOF PLAN
SCALE: 1/8"=1'-0"

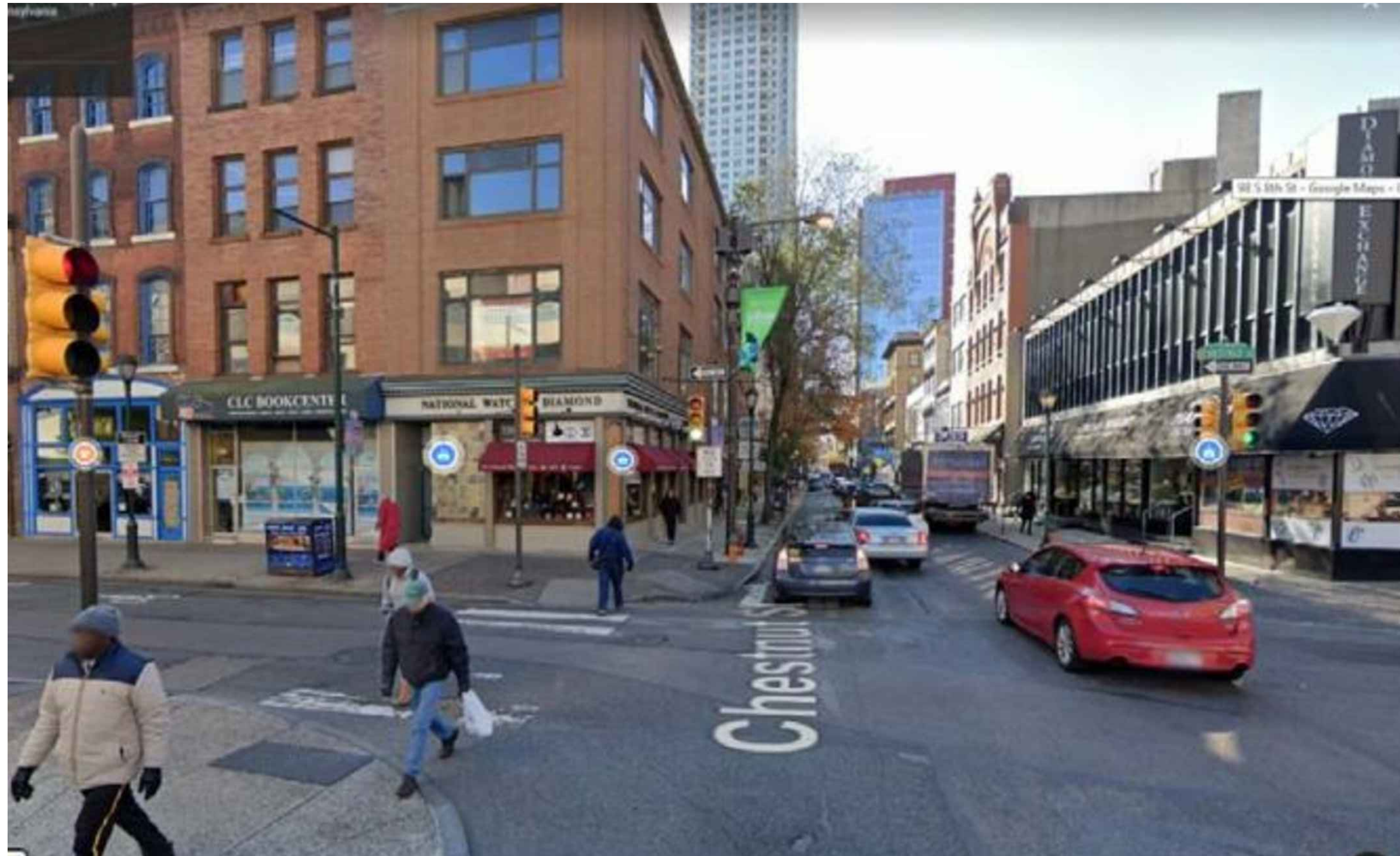


1 GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

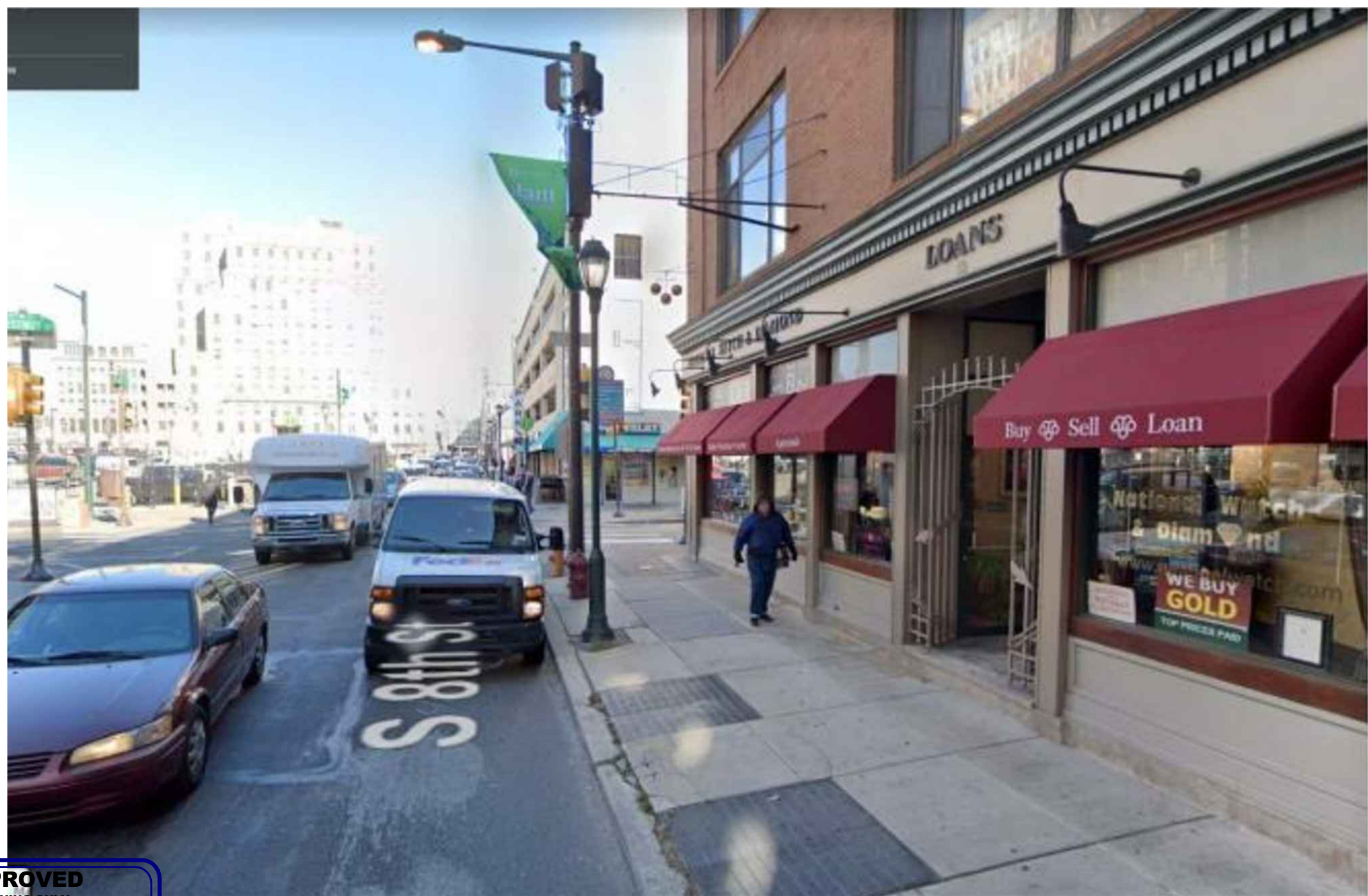
APPROVED
FOR ZONING ONLY
03/01/21

USE FOR ZONING ONLY. THIS DRAWING
IS NOT TO BE USED FOR ANY OTHER
PURPOSE. IT IS THE USER'S RESPONSIBILITY
TO OBTAIN ALL NECESSARY PERMITS AND
COMPLY WITH ALL APPLICABLE CODES AND
REGULATIONS.

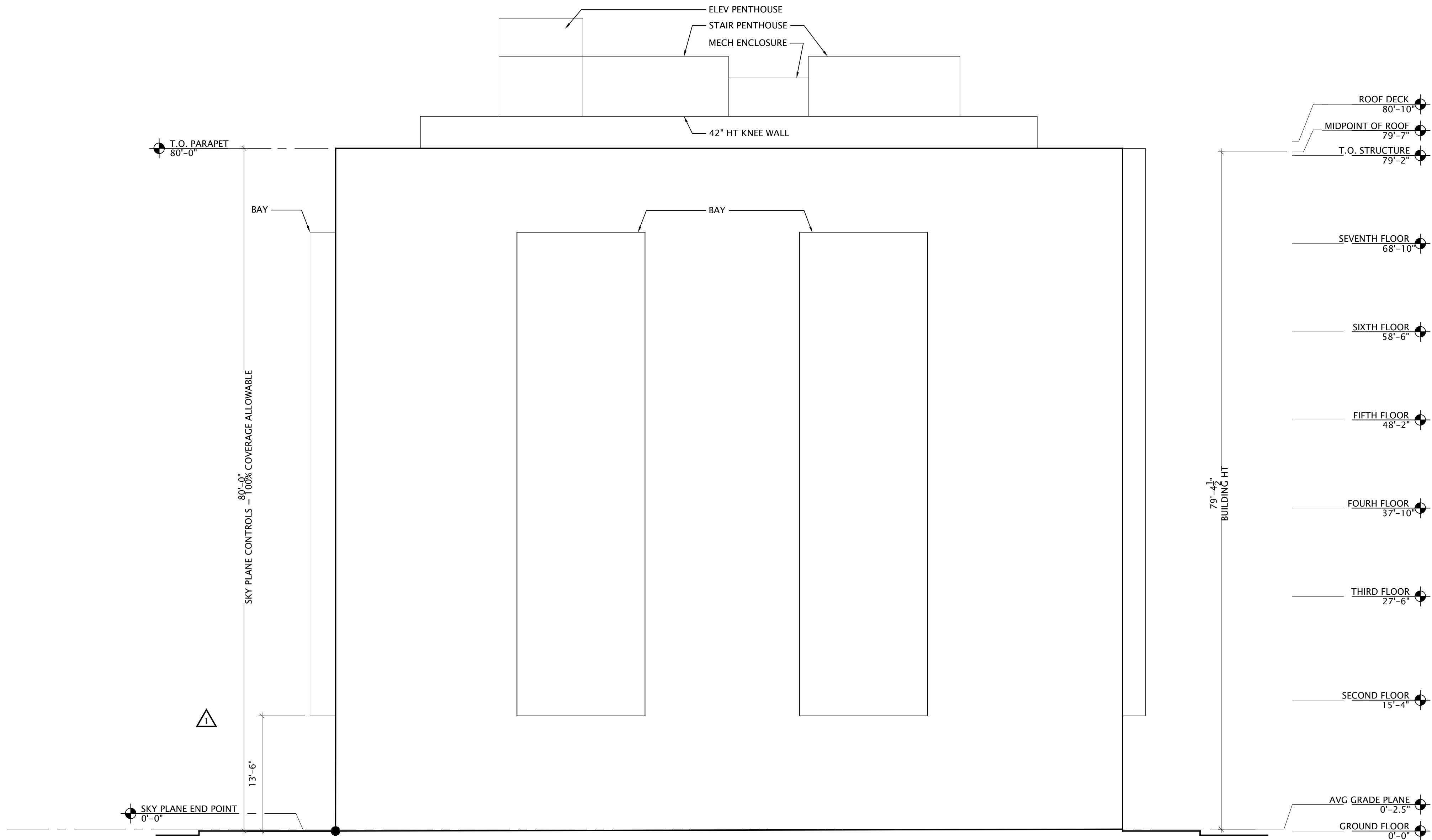
Approved Electronically by L&I User:



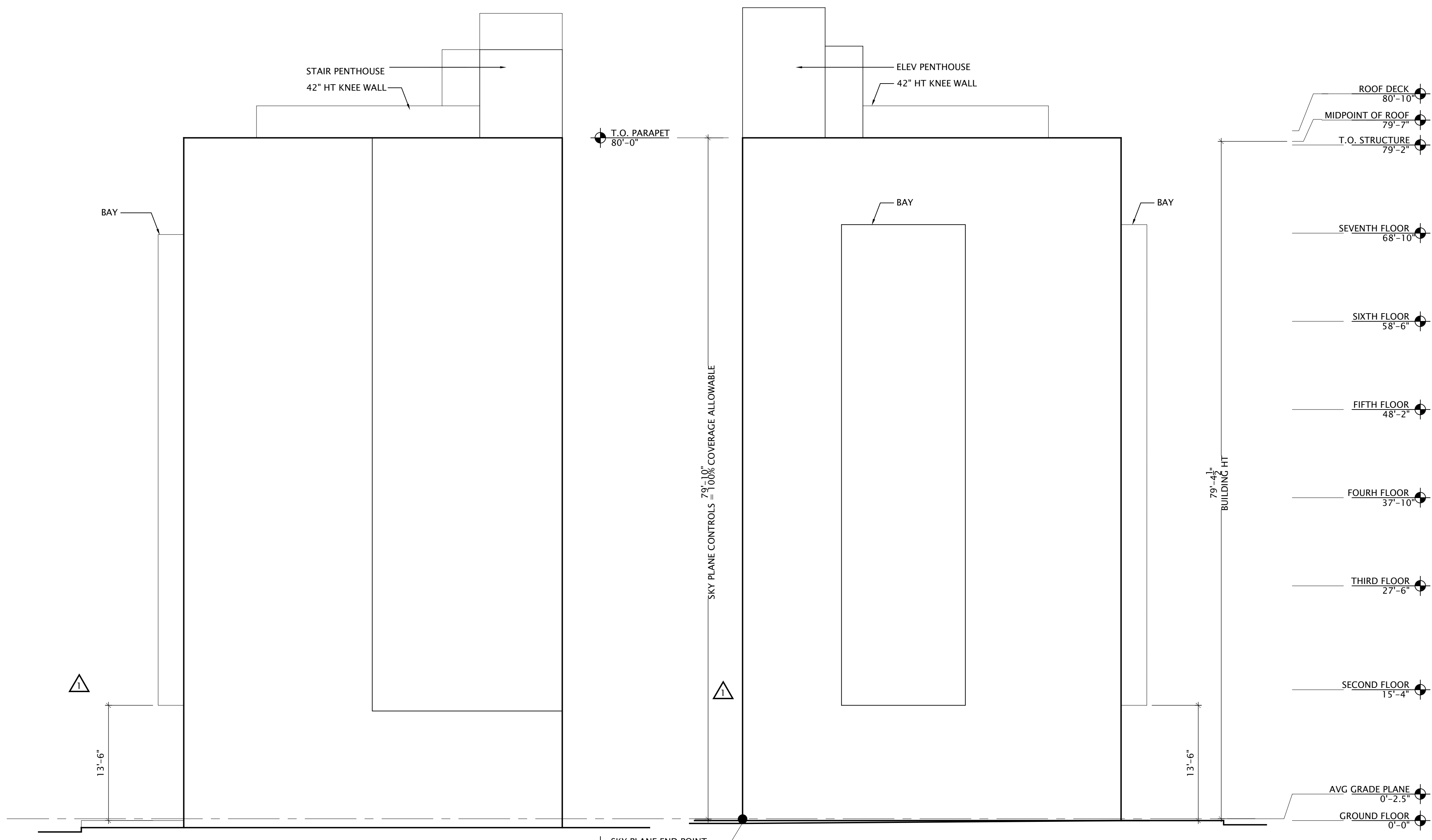
5 EXISTING SITE PHOTO 02
SCALE: N.T.S.



4 EXISTING SITE PHOTO 01
SCALE: N.T.S.



2 WEST ELEVATION - 8TH ST
SCALE: 1/8" = 1'-0"



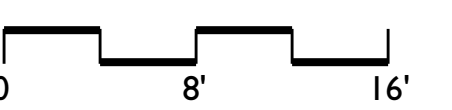
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION - CHESTNUT ST
SCALE: 1/8" = 1'-0"

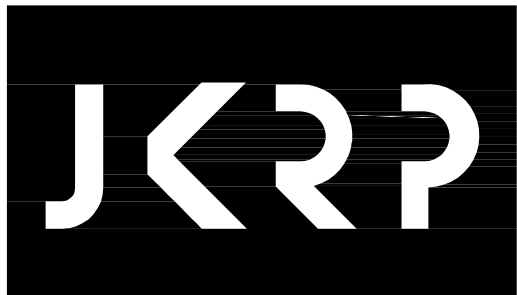


EXTERIOR
ELEVATIONS

DATE: 08.10.2020
DRAWN BY: NM, BH
FILE: K:\02-20-015 730-32 CHESTNUT ST
REVISIONS:
DESCRIPTION DATE
1 L&I/STREETS COMMENTS 10.16.202



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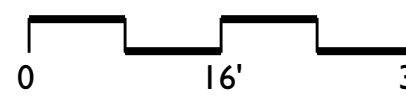
100 EAST PENN SQUARE
S U I T E 1 0 8 0
PHILADELPHIA, PA 19107
2 1 5 . 9 2 8 . 9 3 3 1
JKRPARCHITECTS.COM



730-32 CHESTNUT STREET
PHILADELPHIA, PA 19106

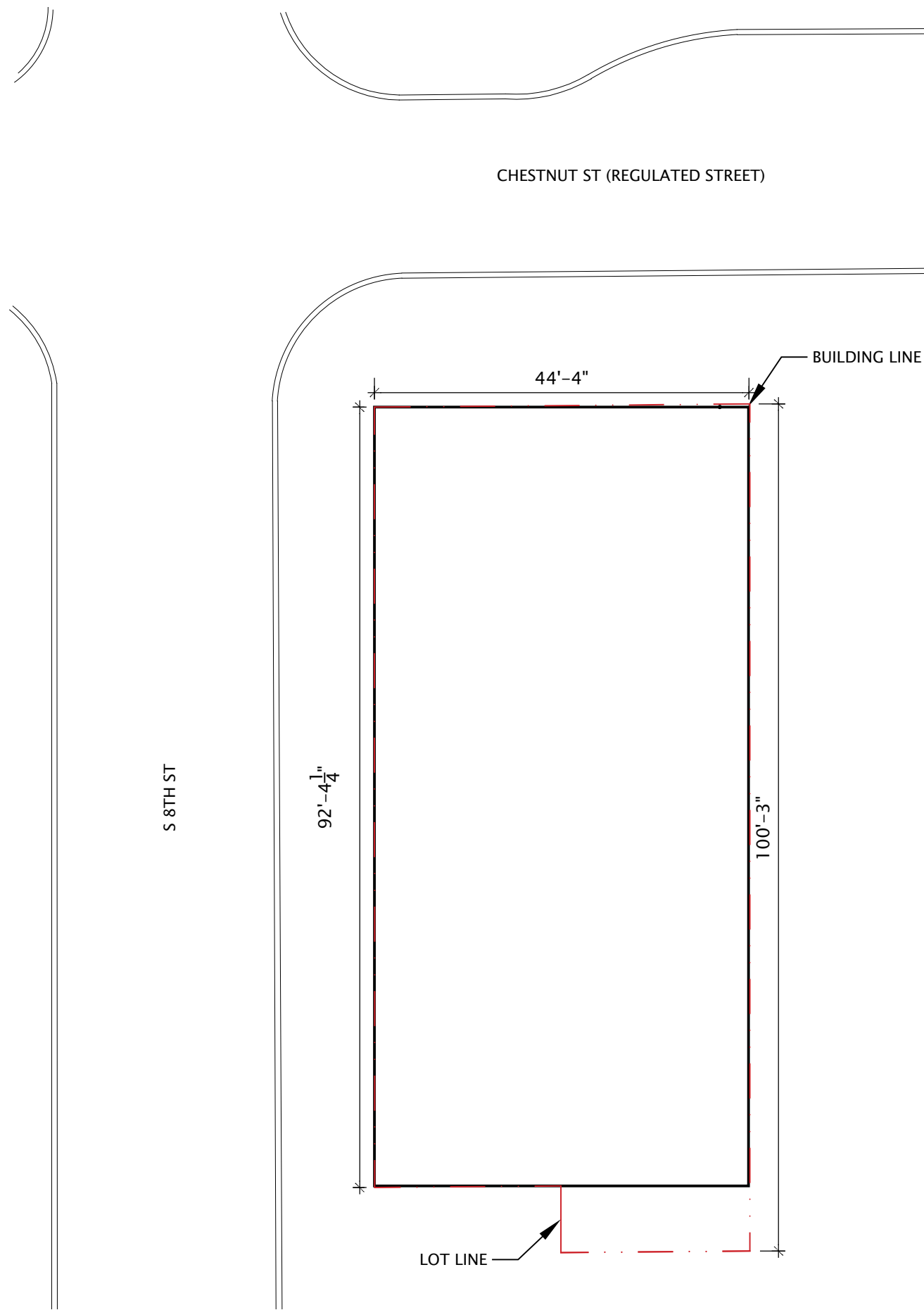
SKY PLANE
DIAGRAMS

DATE: 12.01.2020
DRAWN BY: SP
FILE: K:\02-20-015 730-32 CHESTNUT ST
REVISIONS:
DESCRIPTION DATE

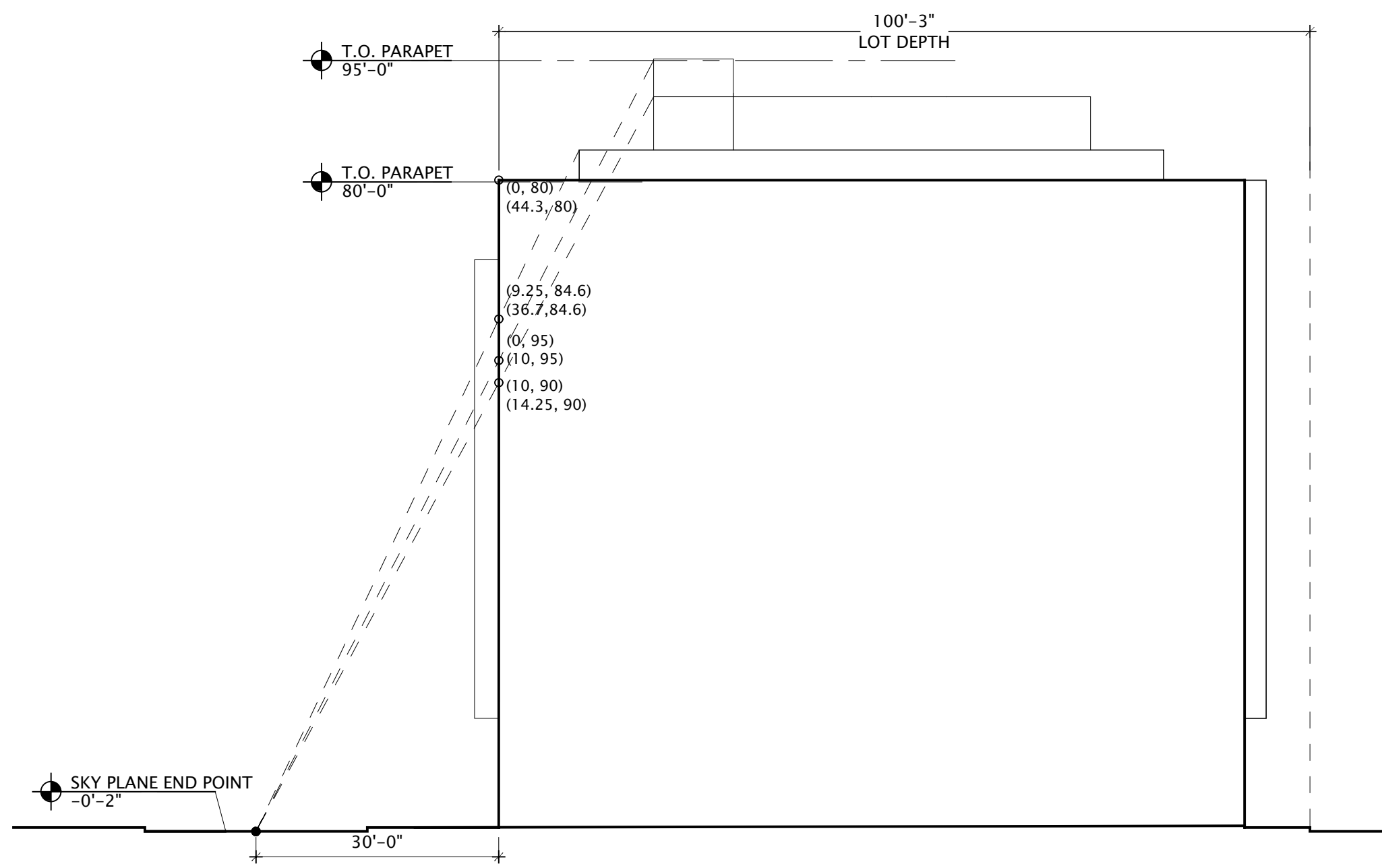


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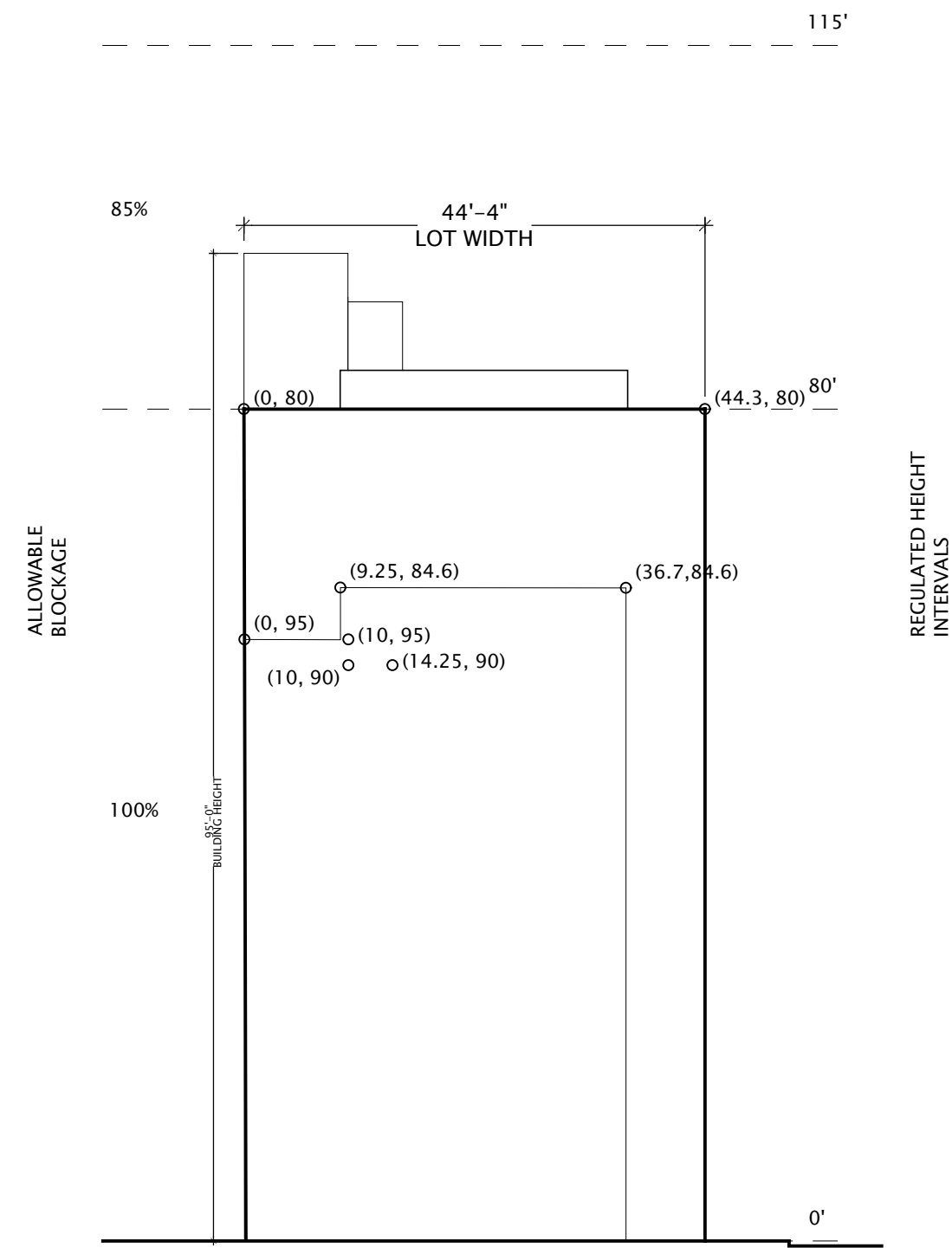
Z3.0



1 PLAN VIEW DIAGRAM
SCALE: 1/16" = 1'-0"



2 PROFILE DIAGRAM
SCALE: 1/16" = 1'-0"



3 PLOTTING PLANE DIAGRAM
SCALE: 1/16" = 1'-0"

APPROVED December 3, 2020

In accordance with the terms and provisions of the Philadelphia Code, this submission satisfies the requirements for the following regulatory review(s):

- ☒ Sky Plane, 14-701(5)
- ☐ Garage Facade, 14-803(4)
- ☐ Public Open Space Bonus, 14-702(6)

Applied Electronically by: **Ian Litwin**

PHILADELPHIA CITY PLANNING COMMISSION

APPROVED
FOR ZONING ONLY
03/01/21
This is an official stamp of the City of Philadelphia. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.

Applied Electronically by L&L User.

Zoning Permit

Permit Number ZP-2020-006206

LOCATION OF WORK 730 CHESTNUT ST, Philadelphia, PA 19106-3256	PERMIT FEE \$672.00	DATE ISSUED 3/2/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX5	

PERMIT HOLDER TRISTATE EXCHANGE LLC	106 S 7TH ST PHILADELPHIA PA 19106
--	------------------------------------

APPLICANT Michael Phillips DBA: OBERMAYER/REBMANN/MAXWELL/HIP Centre Square West, 1500 Market Street Suite 3400 Philadelphia

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE COMPLETE DEMOLITION OF EXISTING BUILDING AND FOR THE ERECTION OF AN ATTACHED BUILDING WITH A ROOF DECK AND TWO (2) ROOF DECK ACCESS STRUCTURES AND ELEVATOR PENTHOUSE ABOVE SEVENTH FLOOR (SIZE AND LOCATION AS SHOWN ON PLANS)

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--

 CONDITIONS AND LIMITATIONS: - Permits, including Zoning Permits not involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, six (6) months from the date of issuance with the following exceptions: 30-days or 10-days for Permits related to Unsafe or Imminently Dangerous properties respectively. 3-years from issuance or date of decision by ZBA for Zoning Permits involving development. 60-days for Plumbing, Electrical or Fire Suppression Rough-In Approvals. - Any Permit issued for construction or demolition is valid for no more than five (5) years. - All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.

 Post a copy of this permit in a conspicuous location along each frontage. Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-006206

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

730 CHESTNUT ST, Philadelphia, PA 19106-3256

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS MULTI-FAMILY (42 UNITS) HOUSEHOLD LIVING AND VACANT COMMERCIAL USE (AS PERMITTED IN CTR-CHESTNUT AND WALNUT STREET AREA, WEST OVERLAY, SEPARATE USE PERMIT REQUIRED PRIOR TO OCCUPANCY) ON GROUND FLOOR; TO INCLUDE FOURTEEN (14) ACCESSORY BICYCLE PARKING SPACES, AND TWELVE (12) OFF-SITE PARKING (INCLUDING ONE (1) ADA ACCESSIBLE PARKING SPACE) AT 724-26 LUDLOW ST.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.