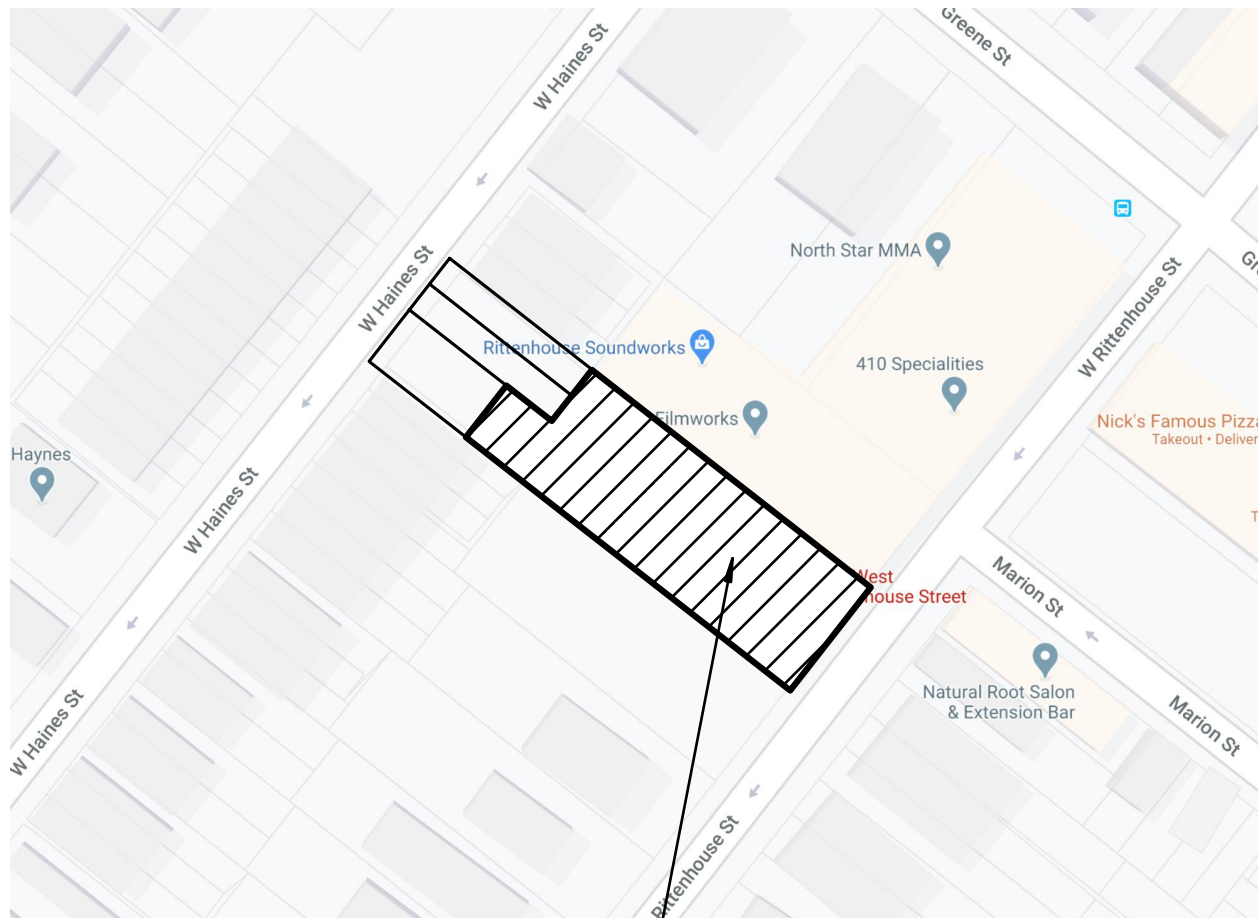




PROJECT LOCATION

4 VICINITY MAP



PROJECT LOCATION

5 ZONING MAP

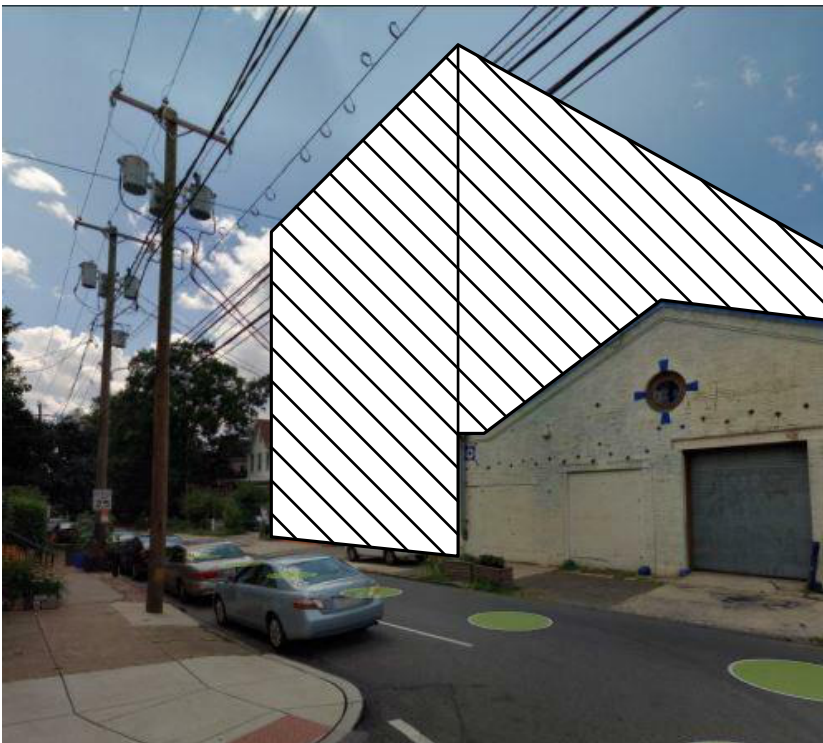


6 PERSPECTIVE VIEW

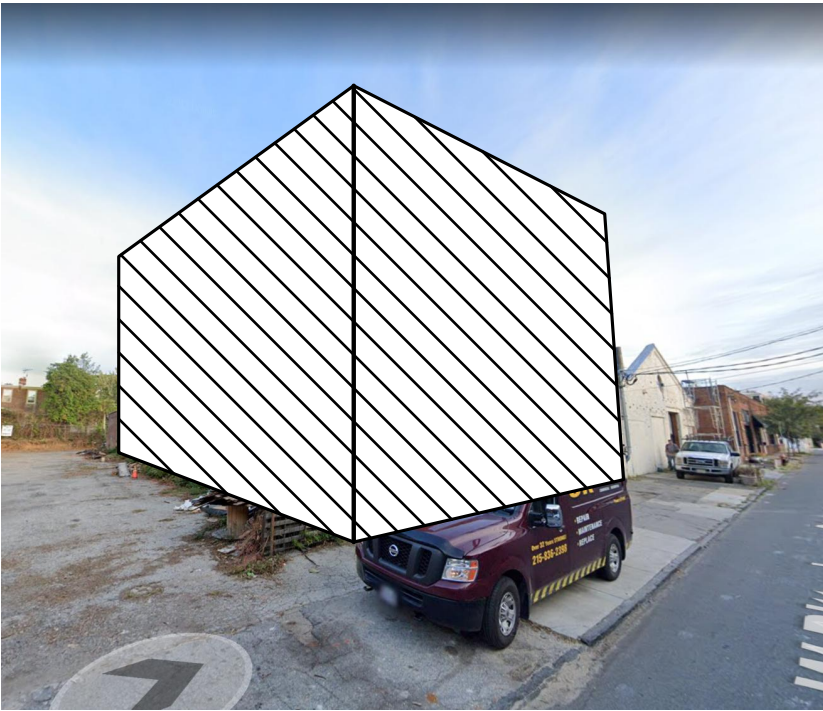
ZONING REGULATIONS	PROPOSED CONDITIONS	VARIANCE REQUIRED
MAX OCCUPIED AREA: INTERMEDIATE: 75%, CORNER: 80%	OPEN AREA: 2,699.37 REQ / 2,998.25 PROVIDED	NO
MINIMUM FRONT YARD DEPTH: NA	FRONT YARD DEPTH: 0'-0"	NO
MINIMUM SIDE YARD WIDTH: 5'-0" IF USED	SIDE YARD WIDTH: 0'-0"	NO
MINIMUM REAR YARD DEPTH: THE GREATER OF 9'-0" OR 10% OF LOT DEPTH	REAR YARD DEPTH: 16'-8"	NO
MAXIMUM HEIGHT: 55'-0"	HEIGHT: 55'-0"	NO
MINIMUM SET BACK OF STORIES ABOVE THE SECOND STORY: 0'-0"	SET BACK: N/A	NO
MINIMUM ROOF DECK SET BACK FROM FRONT BUILDING LINE: 0'-0"	SET BACK: 5'-0"	NO
PARKING: 0 REQUIRED	8 SPACES	NO
BIKE PARKING: 0 REQUIRED	12 SPACES	NO
STREET TREES: 0 REQUIRED	1	NO

PERMITTED USE TYPE -
HOUSEHOLD LIVING; PASSIVE RECREATION; FAMILY DAY CARE; GROUP DAY CARE; DAY CARE CENTER; EDUCATIONAL FACILITIES; HOSPITAL; LIBRARIES AND CULTURAL EXHIBITS; SAFETY SERVICES; BUILDING OR TOWER MOUNTED ANTENNA; BUSINESS AND PROFESSIONAL; PROFESSIONAL OFFICE; MEDICAL; DENTAL; HEALTH SOLE PRACTITIONER; GOVERNMENT OFFICE; BUILDING SUPPLIES AND EQUIPMENT; MEDICAL MARIJUANA DISPENSARY; FOOD, BEVERAGES, AND GROCERIES; PETS AND PET SUPPLIES; SUNDRIES, PHARMACEUTICALS, AND CONVENIENCE SALES; WEARING APPAREL AND ACCESSORIES; SIT DOWN RESTAURANT; FUNERAL AND MORTUARY SERVICES; PERSONAL SERVICES; VEHICLE EQUIPMENT AND SUPPLIES SALES AND RENTAL; ARTIST STUDIOS; RESEARCH AND DEVELOPMENT; COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM.

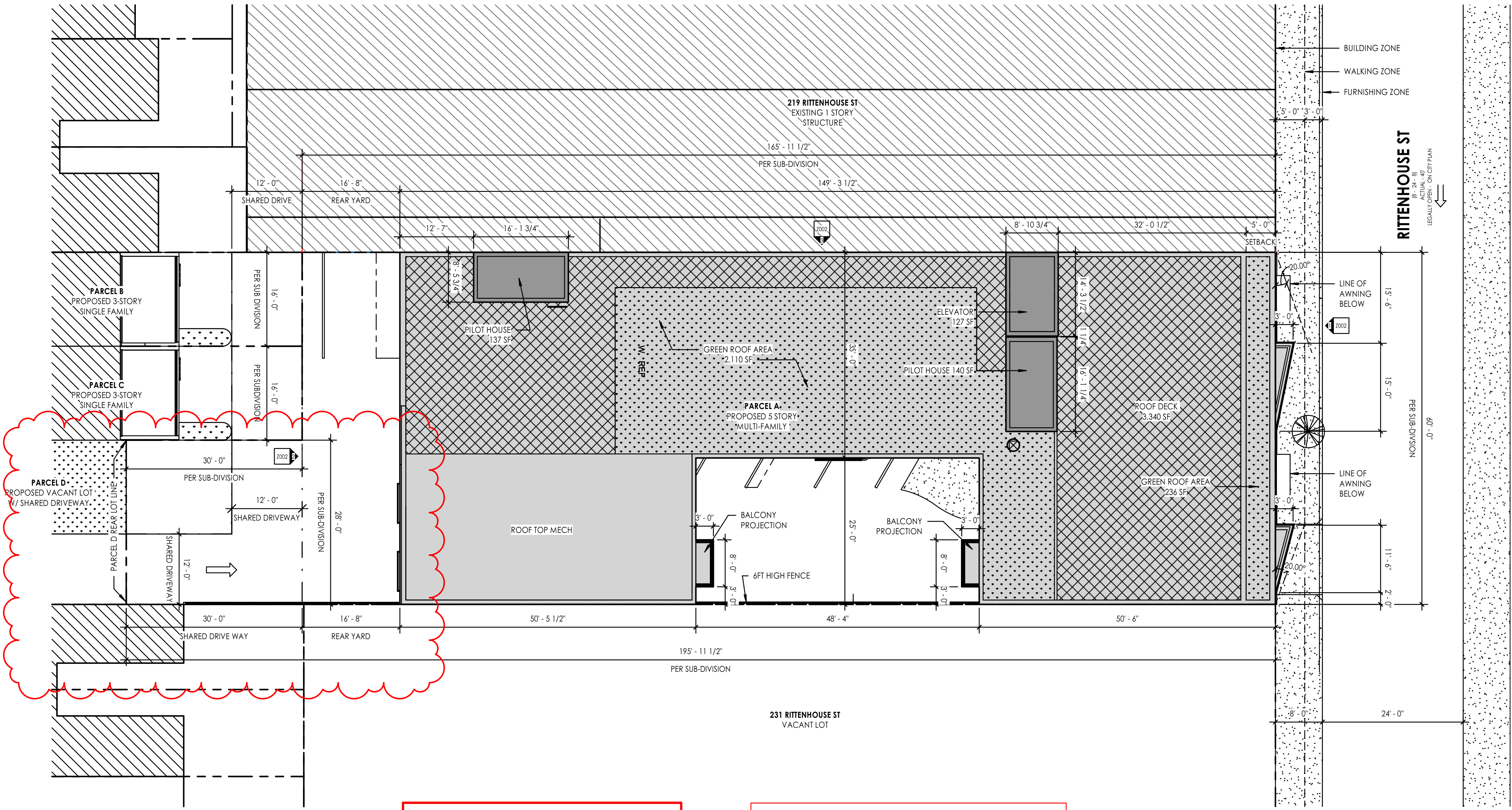
DESCRIPTION -
PROPOSED NEW CONSTRUCTION OF 5 STORY MULTI-FAMILY BUILDING CONTAINING 37 DWELLING UNITS, 8 PARKING SPACES AND GROUND FLOOR COMMERCIAL SPACE. ADDITIONAL SUPPORT AREAS INCLUDE PARTIAL BASEMENT AND ACCESSIBLE ROOF DECK. ALL EXISTING STRUCTURES TO BE DEMOLISHED.



3 SITE PHOTO

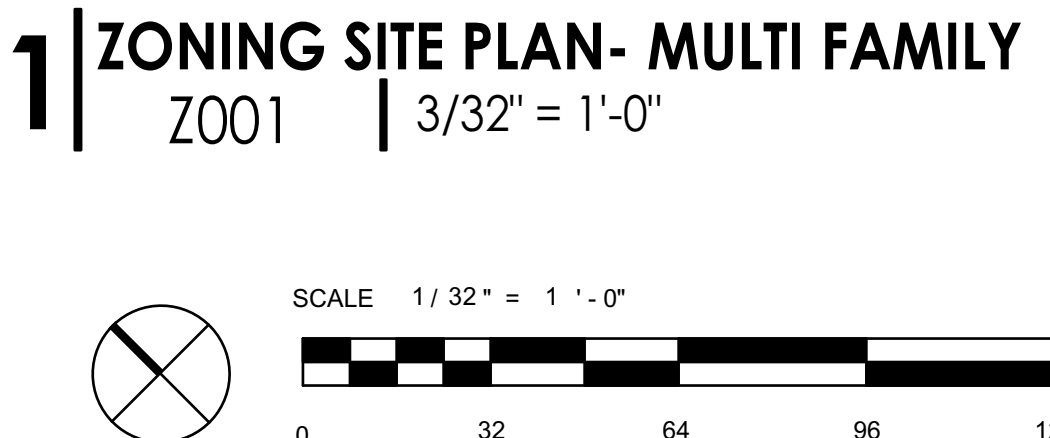


2 SITE PHOTO



PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
APPROVAL FOR ZONING ONLY
NO BUILDING PERMIT IS TO BE ISSUED WITHOUT STAMPED PLANS BY THE
DEPARTMENT OF STREETS FOR FINAL APPROVAL OF SITE PLANS
THE APPLICANT IS REQUIRED TO SECURE THE APPROVAL OF THE ZONING AUTHORITIES,
AND SUBMIT PLANS FOR ADDITIONAL REVIEW BY THE STREETS DEPARTMENT
ENCROACHMENT ORDINANCE REQUIRED FOR:
COMMITTEE OF HIGHWAY SUPERVISORS (APPLICATION NO. _____)
DETAILED REVIEW FOR MINOR SITE PLAN
COORDINATED REVIEW FOR MAJOR SITE PLAN:
CITY PLAN ACTION
OTHER:
APPLIED ELECTRONICALLY BY STREETS STAFF:
BENJAMIN BARON
ON: August 6, 2020
FOR CHIEF HIGHWAY ENGINEER

In accordance with the terms and provisions of Section
14-510 of the Philadelphia Code pertaining to:
WISSAHICKON WATERSHED OVERLAY DISTRICT
☒ APPROVED
☐ DISAPPROVED
Applied Electronically by: SARAH CHIU
August 6, 2020
PHILADELPHIA CITY PLANNING COMMISSION

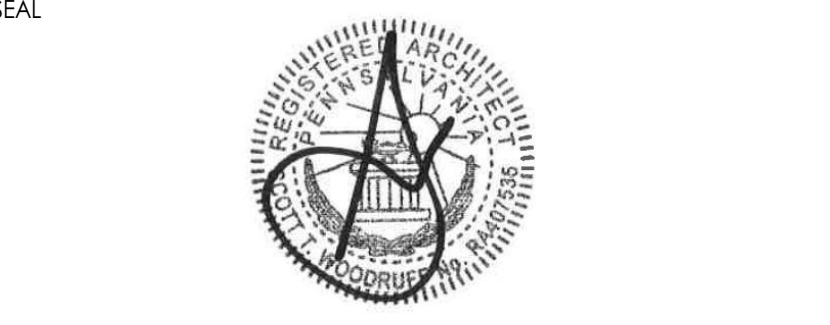


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MONTCLAIR, NJ 17 CHURCH ST MONTCLAIR, NJ 07042 T | 973.299.1777

CLIENT
KABB HOLDINGS, LLC

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PROJECT ADDRESS
225 RITTENHOUSE ST

ADDITIONAL INFO	JH	CC	2020.08.05
ADDITIONAL INFO	JH	CC	2020.07.24
ADDITIONAL INFO	CC	CC	2020.07.10
ADDITIONAL INFO	CC	CC	2020.06.25
ISSUE FOR ZONING	CC	CC	2020.05.05
SUBMISSIONS & REVISIONS	BY	APPD	YYYY.MM.DD

PROJECT
225 W RITTENHOUSE ST

SHEET TITLE
ZONING PLAN - MULTI FAMILY

PROJECT NO DRAWING NO
Project Number

REVISION
Z001

SCALE
As indicated

ZONING INFORMATION	RSA-5	PARCEL B & C
ZONING REGULATIONS	PROPOSED CONDITIONS	VARIANCE REQUIRED
MINIMUM LOT WIDTH: 16'-0"	LOT WIDTH: 16'-0"	NO
MINIMUM LOT AREA: 1,440 SQ. FT.	LOT AREA: 1,440 SF	NO
MINIMUM OPEN AREA: INTERMEDIATE: 25%; CORNER LOT 20%	OPEN AREA: 448 SF (31%)	NO
MINIMUM FRONT YARD DEPTH: BASED ON SETBACKS OF ABUTTING LOTS	FRONT YARD DEPTH: 15'-0"	NO
MINIMUM SIDE YARD WIDTH (PERMITTED RESIDENTIAL USE): 5'-0" PER YARD	SIDE YARD WIDTH: 0'-0"	NO
MINIMUM REAR YARD DEPTH: 9'-0"	REAR YARD DEPTH: 9'-0"	NO
MAXIMUM HEIGHT: 38'-0"	HEIGHT: 38'-0"	NO
MINIMUM SET BACK OF STORIES ABOVE THE SECOND STORY: 8'-0"	SET BACK: 0'-0"	NO
MINIMUM ROOF DECK SET BACK FROM FRONT BUILDING LINE: 5'-0"	SET BACK: 5'-0"	NO
PARKING: 0 REQUIRED	1	NO
BIKE PARKING: 0 REQUIRED	0	NO
STREET TREES: 0 REQUIRED	1 (ACROSS ALL 3 PROPERTIES)	NO

PERMITTED BUILDING TYPE -
DETACHED, SEMI-DETACHED, ATTACHED

DESCRIPTION -
(2) PROPOSED NEW CONSTRUCTION OF THREE-STORY SINGLE FAMILY HOME WITH BASEMENT AND ROOF DECK

PERMITTED USE TYPE -
SINGLE FAMILY; PASSIVE RECREATION; FAMILY DAY CARE; RELIGIOUS ASSEMBLY; SAFETY SERVICES; TRANSIT STATION; COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM

ZONING INFORMATION	RSA-5	PARCEL D
ZONING REGULATIONS	PROPOSED CONDITIONS	VARIANCE REQUIRED
MINIMUM LOT WIDTH: 16'-0"	LOT WIDTH: 28'-0"	NO
MINIMUM LOT AREA: 1,440 SQ. FT.	LOT AREA: 1,680 SF	NO
MINIMUM OPEN AREA: INTERMEDIATE: 25%; CORNER LOT 20%	OPEN AREA: 1,680 SF (100%)	NO
MINIMUM FRONT YARD DEPTH: BASED ON SETBACKS OF ABUTTING LOTS	FRONT YARD DEPTH: N/A	NO
MINIMUM SIDE YARD WIDTH (PERMITTED RESIDENTIAL USE): 5'-0" PER YARD	SIDE YARD WIDTH: N/A	NO
MINIMUM REAR YARD DEPTH: 9'-0"	REAR YARD DEPTH: N/A	NO
MAXIMUM HEIGHT: 38'-0"	HEIGHT: N/A	NO
MINIMUM SET BACK OF STORIES ABOVE THE SECOND STORY: 8'-0"	SET BACK: 0'-0"	NO
MINIMUM ROOF DECK SET BACK FROM FRONT BUILDING LINE: 5'-0"	SET BACK: N/A	NO
PARKING: 0 REQUIRED	0	NO
BIKE PARKING: 0 REQUIRED	0	NO
STREET TREES: 0 REQUIRED	1 (ACROSS ALL 3 PROPERTIES)	NO

PERMITTED BUILDING TYPE -
DETACHED, SEMI-DETACHED, ATTACHED

DESCRIPTION -
(1) PROPOSED VACANT LOT WITH SHARED DRIVEWAY

PERMITTED USE TYPE -
SINGLE FAMILY; PASSIVE RECREATION; FAMILY DAY CARE; RELIGIOUS ASSEMBLY; SAFETY SERVICES; TRANSIT STATION; COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM



VIEW FROM W HAINES ST

4| SITE PHOTO



5| PERSPECTIVE VIEW



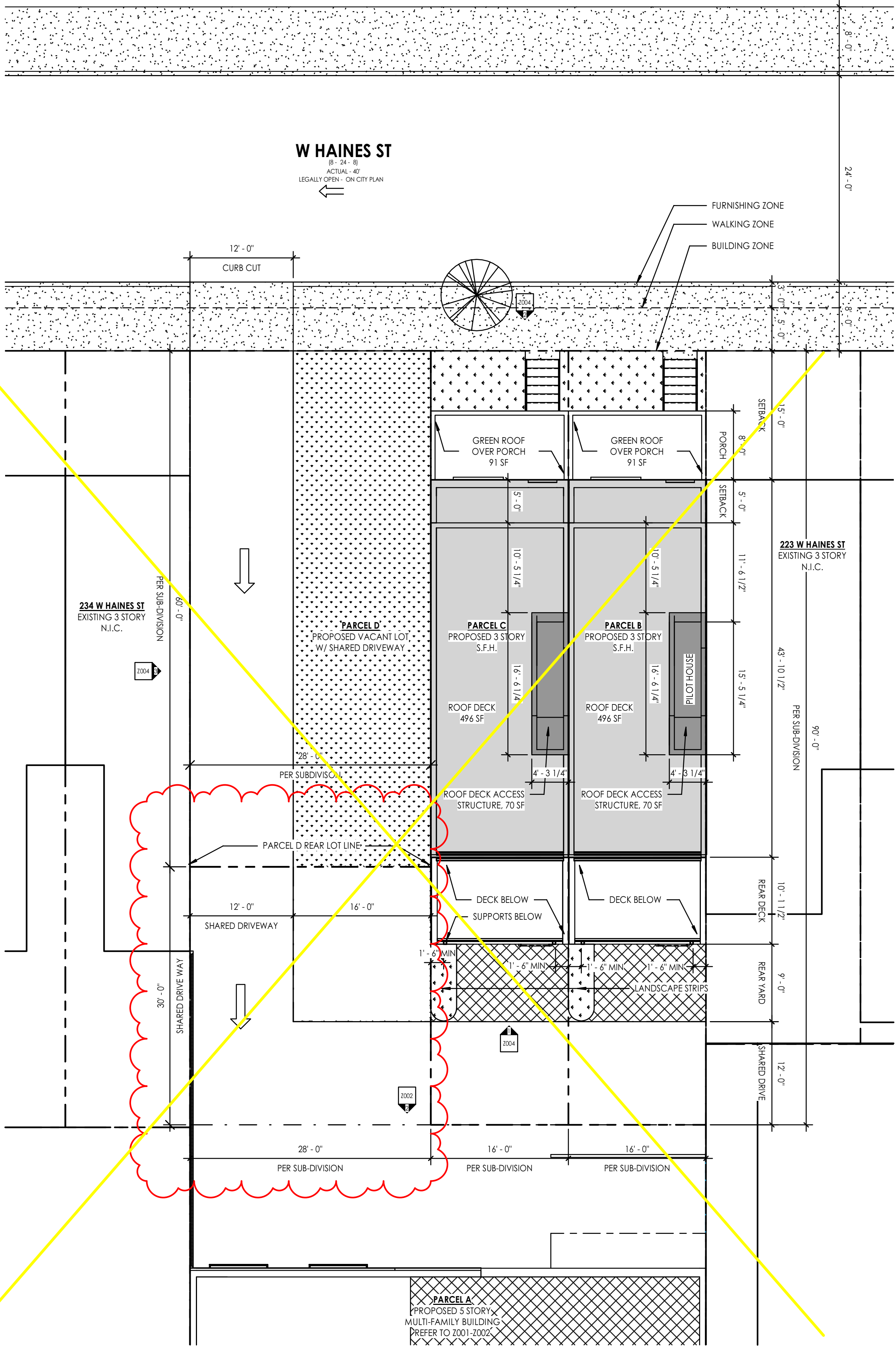
PROJECT LOCATION

3| VICINITY MAP



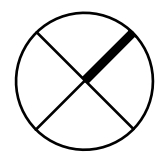
PROJECT LOCATION

2| ZONING MAP

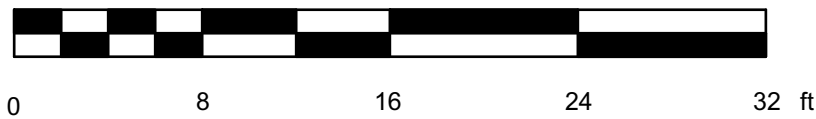


1| SITE PLAN

2003 | 1/8" = 1'-0"



SCALE 1/8" = 1'-0"



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T| 215.995.0228

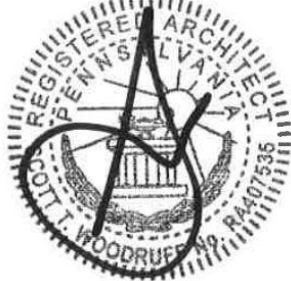
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17 CHURCH ST
MONTCLAIR, NJ 07042
T| 973.299.1777

CLIENT
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SEAL



PROJECT ADDRESS

225 RITTENHOUSE ST

ADDITIONAL INFO	JH	CC	2020.08.05
ADDITIONAL INFO	JH	CC	2020.07.24
ADDITIONAL INFO	CC	CC	2020.07.10
ADDITIONAL INFO	CC	CC	2020.06.25
ISSUE FOR ZONING	CC	CC	2020.05.05
SUBMISSIONS & REVISIONS	BY	APPD	YYYY.MM.DD

PROJECT

225 W RITTENHOUSE ST

SHEET TITLE

ZONING PLAN - SINGLE FAMILY HOMES

PROJECT NO

DRAWING NO

Project Number

REVISION

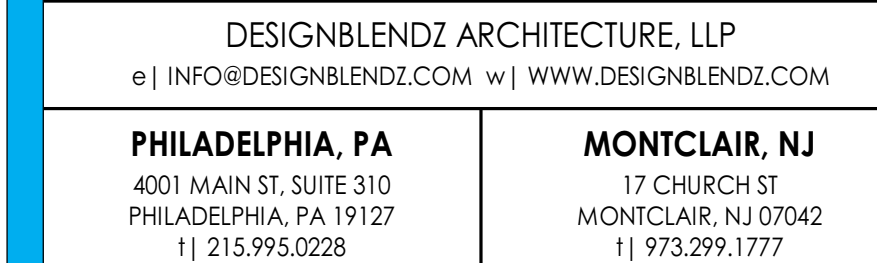
SCALE

As indicated

APPROVED
FOR ZONING ONLY
08/13/20

WHEN YOUR PLANS CONTAIN ANY DISCREPANCY
BETWEEN THE PLANS AND THE FIELD, THE FIELD SHALL
CONTROL. DISCREPANCIES SHALL BE REPORTED TO THE
DEPARTMENT OF LICENSING & INSPECTION.

Applied Electronically by L&I User:



STRUCTURAL ENGINEERING CONSULTANT

ALFA ENGINEERING
1444 S. 13TH STREET
PHILADELPHIA, PA 19147

CIVIL ENGINEERING CONSULTANT

CORNERSTONE CONSULTING ENGINEERS, INC
213 WEST MAIN STREET
LANSDALE, PA 19446
215.362.2600

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SEAL

The seal of the Registrar General of the Republic of the Philippines is a circular emblem. It features a central shield with a sunburst at the top and a gear at the bottom. The shield is flanked by two figures. The outer ring of the seal contains the text "REGISTRAR GENERAL OF THE PHILIPPINES" at the top and "REPUBLIC OF THE PHILIPPINES" at the bottom. The seal is stamped in black ink on the document.

PROJECT ADDRESS

225 W RITTENHOUSE ST
PHILADELPHIA, PA 19144

ADDITIONAL INFO	CC	CC	2021.04.15
ADDITIONAL INFO	JH	CC	2020.08.03
ADDITIONAL INFO	JH	CC	2020.07.21
ADDITIONAL INFO	CC	CC	2020.07.15
ADDITIONAL INFO	CC	CC	2020.06.29
ISSUE FOR ZONING	CC	CC	2020.05.05
SUBMISSIONS & REVISIONS	BY	APPD	YYYY.MM.DD

PROJECT
225 W RITTENHOUSE ST

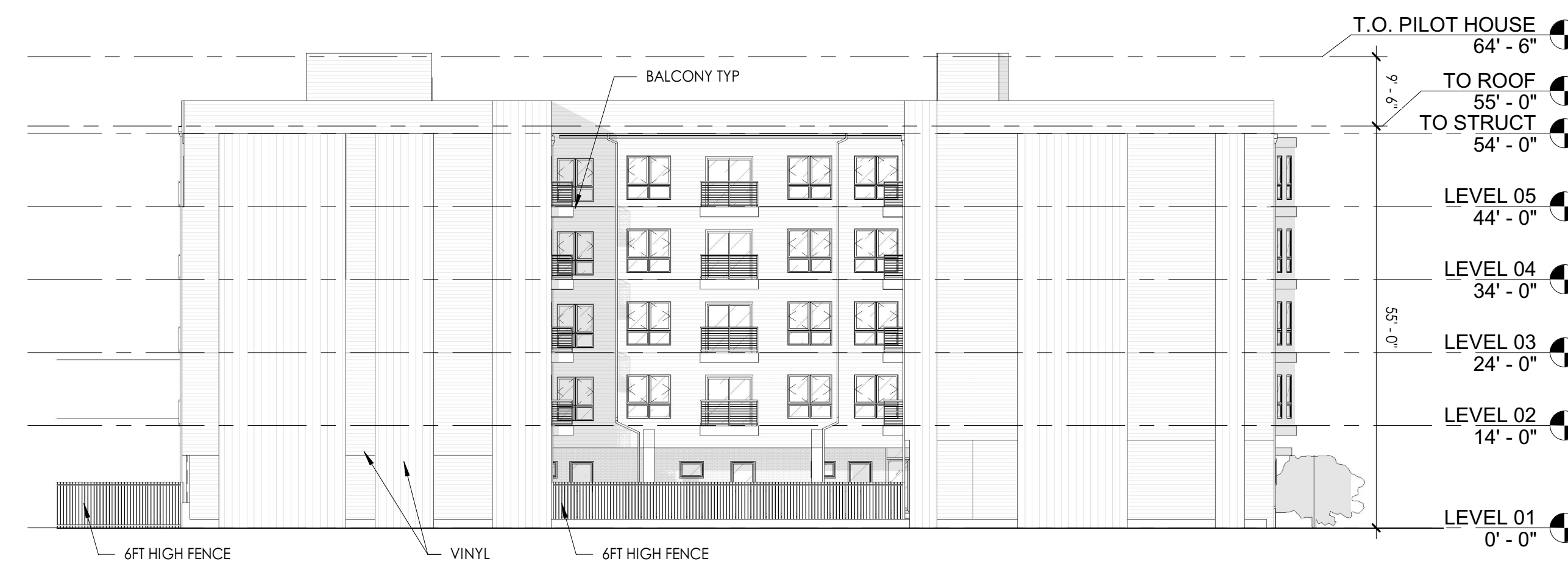
SHEET TITLE

ZONING ELEVATIONS - MULTI FAMILY

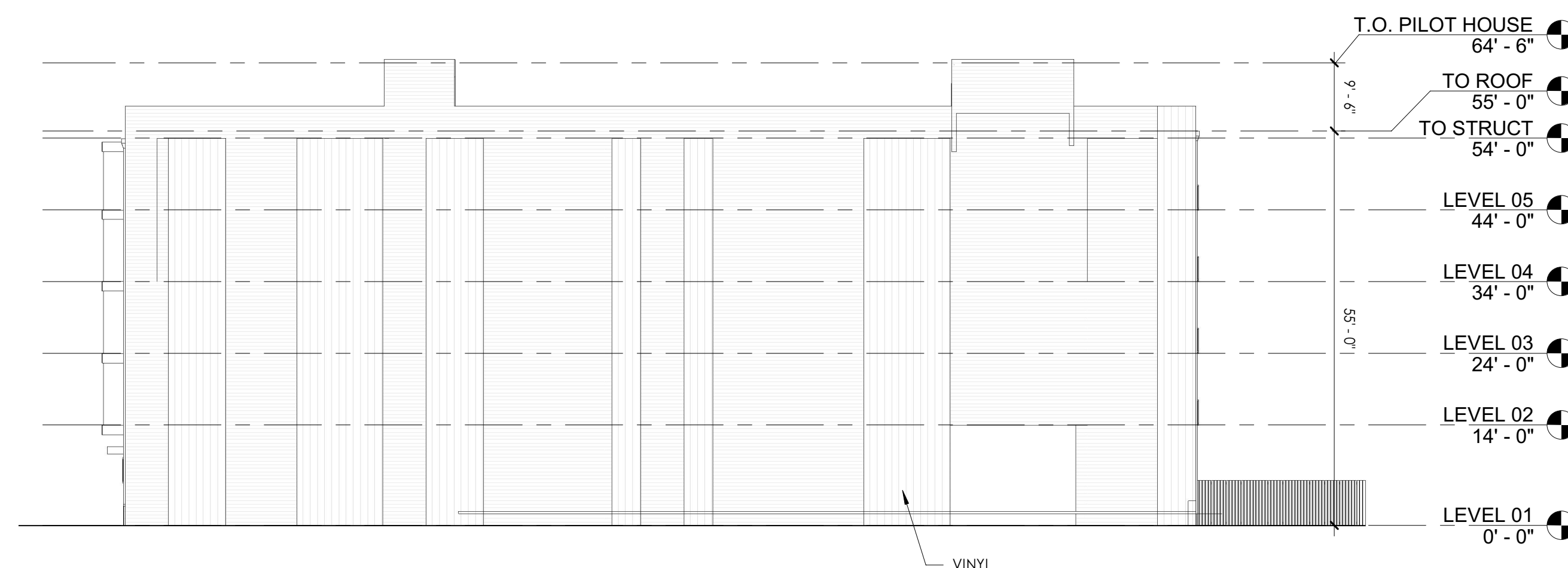
PROJECT NO	DRAWING NO
19146105	

REVISION _____

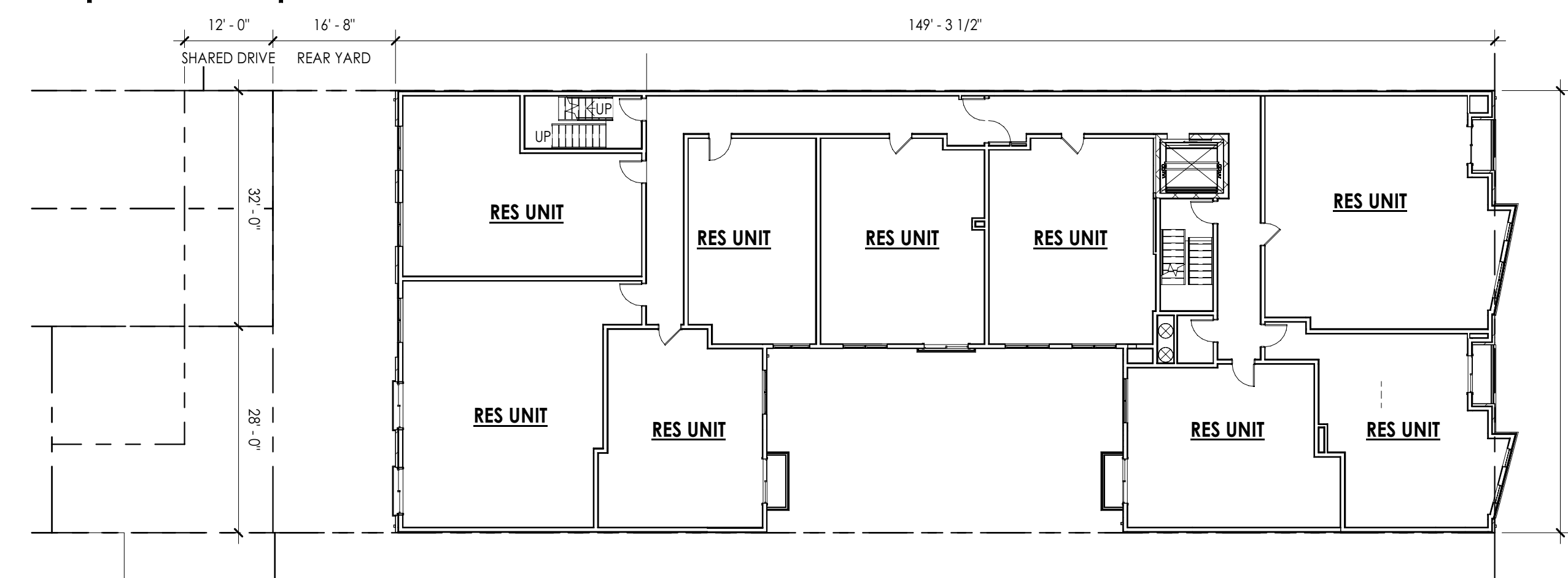
SCALE $1/16" = 1'-0"$



4 | EAST ELEVATION
2006 | 1/16" = 1'-0"



3 | WEST ELEVATION



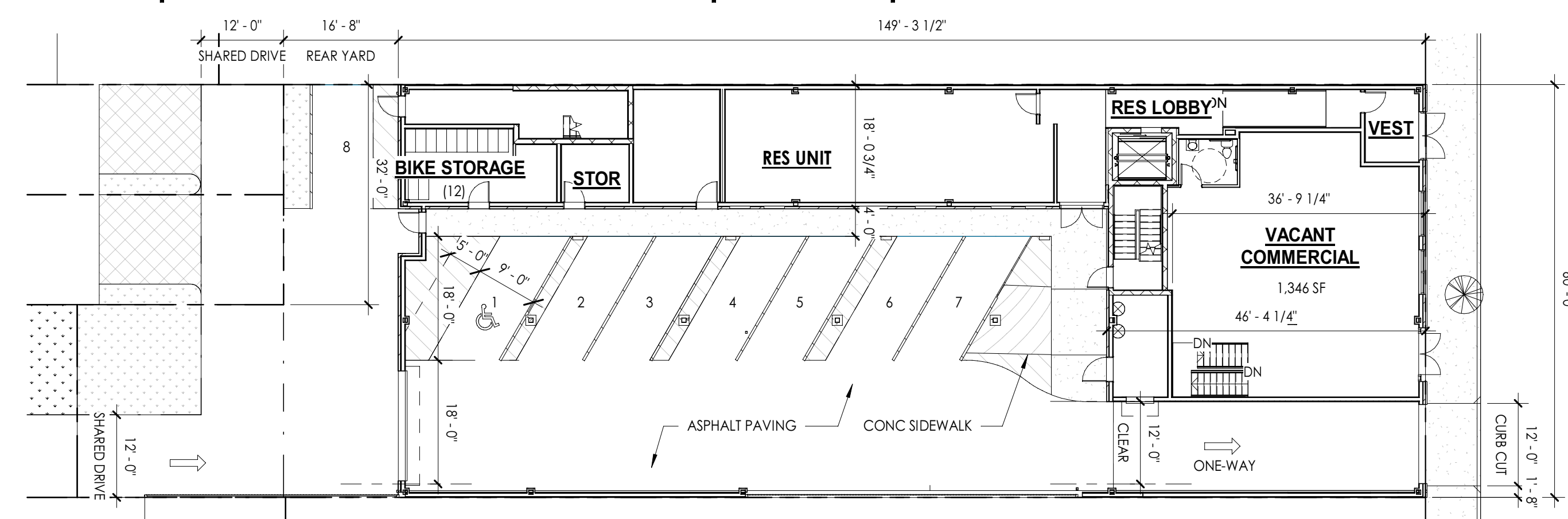
8 | LEVEL 02-05 TYPICAL FLOOR PLAN
Z006 | 1/16" = 1'-0"



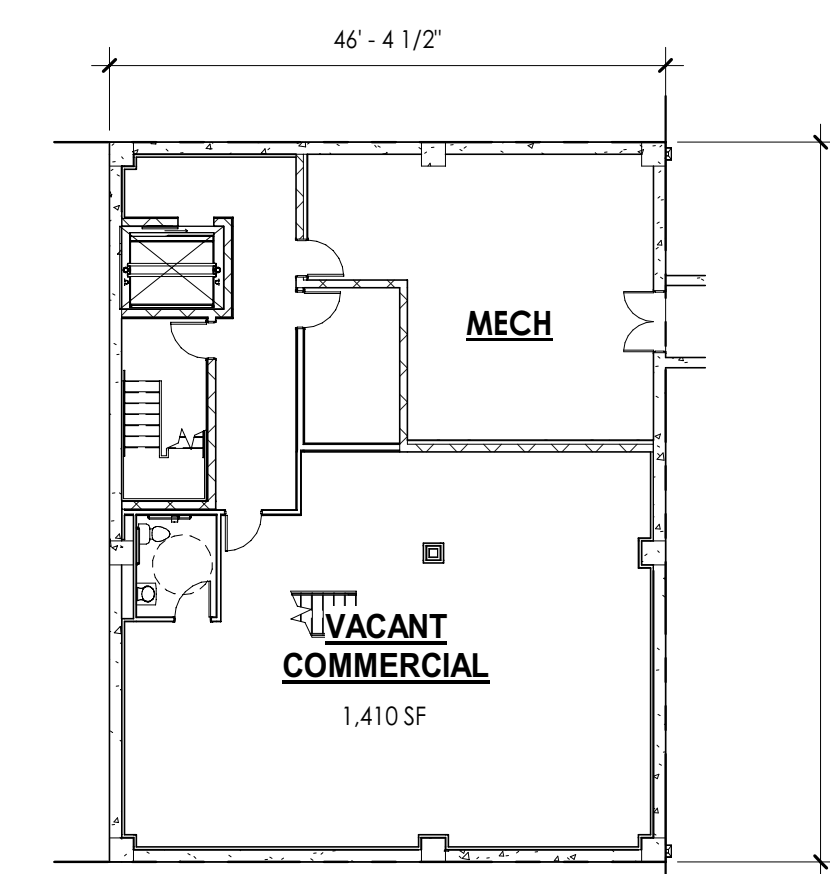
2 | REAR ELEVATION
2006 | 1/16" = 1'-0"



1 FRONT ELEVATION
2006 | 1/16" = 1'-0"



7 | FIRST FLOOR PLAN
2006 | 1/16" = 1'-0"



5 | BASEMENT PLAN
Z006 | 1/16" = 1'-0"





REFERENCES:

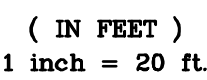
- ## LEGEND & ABBREVIATIONS

PROJECT LOCATION

PRESENTED BY:

PROJ. #	20-0278	DATE	4/24/2020
CAD ID.	20-0278	DRN BY	DB
SCALE	AS NOTED	C K BY	JBA

REVISION 0



PHILADELPHIA CITY PLANNING COMMISSION

Applied Electronically by L&I User:

Zoning Permit

Permit Number ZP-2020-005059

LOCATION OF WORK 225 W RITTENHOUSE ST Parcel A, Philadelphia, PA 19144-3311	PERMIT FEE \$872.00	DATE ISSUED 8/13/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX 2.5/ RSA 5	

PERMIT HOLDER

APPLICANT
Alexa Ahrem DBA: WeWork c/o Philadelphia Zoning 1010 N Hancock St Philadelphia, PA 19123USA

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
*** 06/11/2021*** FOR REVISION OF ORIGINAL APPROVAL FOR THE REMOVAL OF GREEN ROOF FROM ROOF TOP, TO INCLUDE ROOF-MOUNTED SOLAR COLLECTOR, AND CHANGE IN AREA OF ROOF DECK AND THREE (3) ROOF DECK ACCESS STRUCTURES WITH AN ELEVATOR.

FOR THE COMPLETE DEMOLITION OF ALL STRUCTURES AND FOR THE ERECTION OF AN ATTACHED BUILDING WITH A ROOF DECK ACCESSED BY AN ELEVATOR, TWO PILOT HOUSES FOR ROOF MAINTENANCE ONLY, WITH A GREEN ROOF(SIZE AND LOCATION AS SHOWN ON PLANS)

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)

 **CONDITIONS AND LIMITATIONS:**

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.

 **Post a copy of this permit in a conspicuous location along each frontage.**

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-005059

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

225 W RITTENHOUSE ST Parcel A, Philadelphia, PA 19144-3311

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS VACANT NON-RESIDENTIAL USE ON GROUND FLOOR (USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) AND MULTI-FAMILY (37 UNITS) HOUSEHOLD LIVING; TO INCLUDE EIGHT (8) ACCESSORY PARKING SPACES INCLUDING 1 ADA PARKING SPACE AND TWELVE (12) ACCESSORY BICYCLE PARKING SPACES

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.