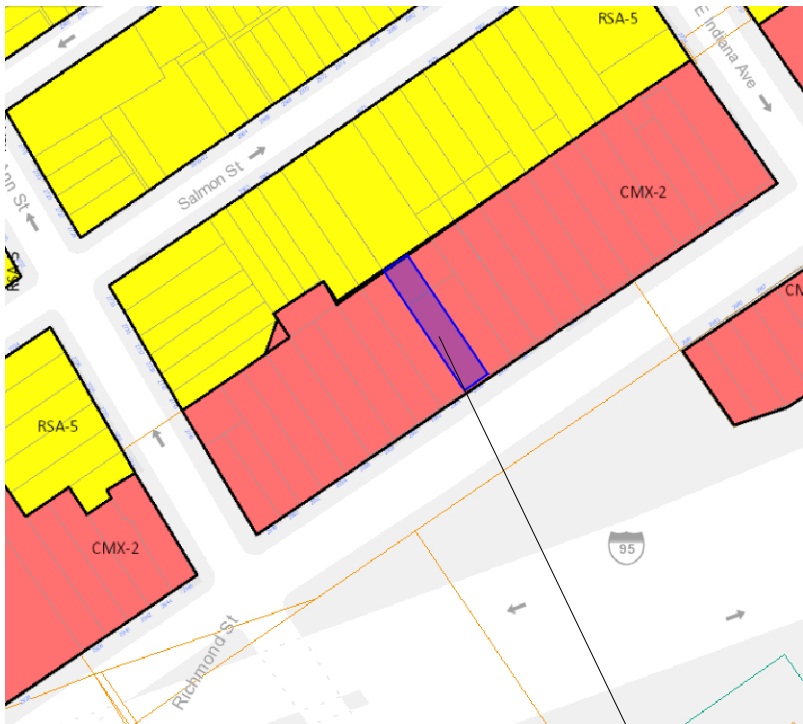




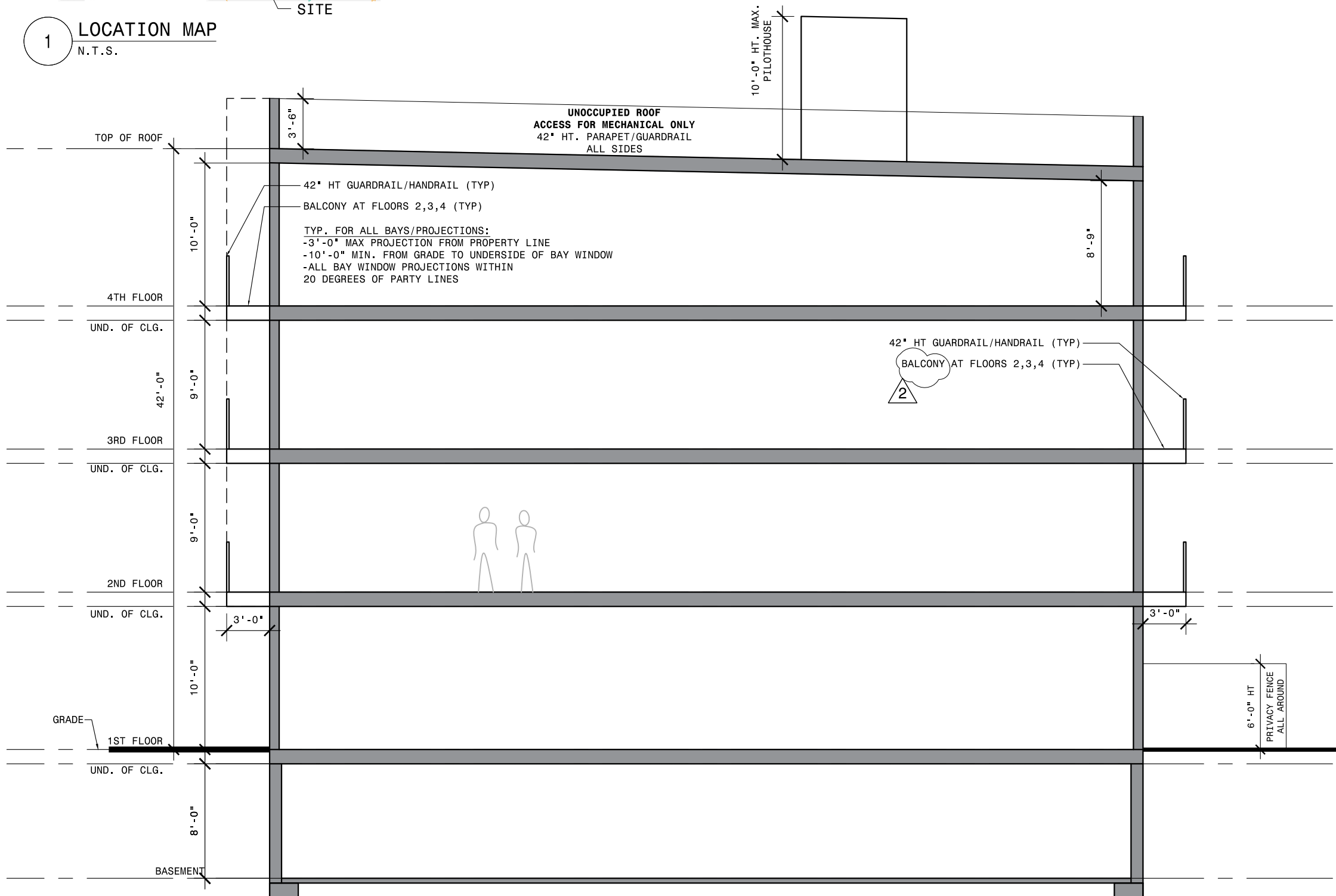
1 LOCATION MAP
N.T.S.

ZONING DATA		
CMX-2		
CMX-2	REQ'D/ALLOWED	PROPOSED
LOT AREA	---	2840 SF
OCCUPIED AREA	75% (OR 80%) MAX*	2440 SF (85.9%)
FRONT YARD DEPTH	0' MIN	0'
SIDE YARD DEPTH	5' IF USED	NOT USED
REAR YARD DEPTH	9' OR 10%	10' -0"
BUILDING HEIGHT	38' MAX	42'
STREET PROJECTIONS	PER STREETS DEPT	NONE

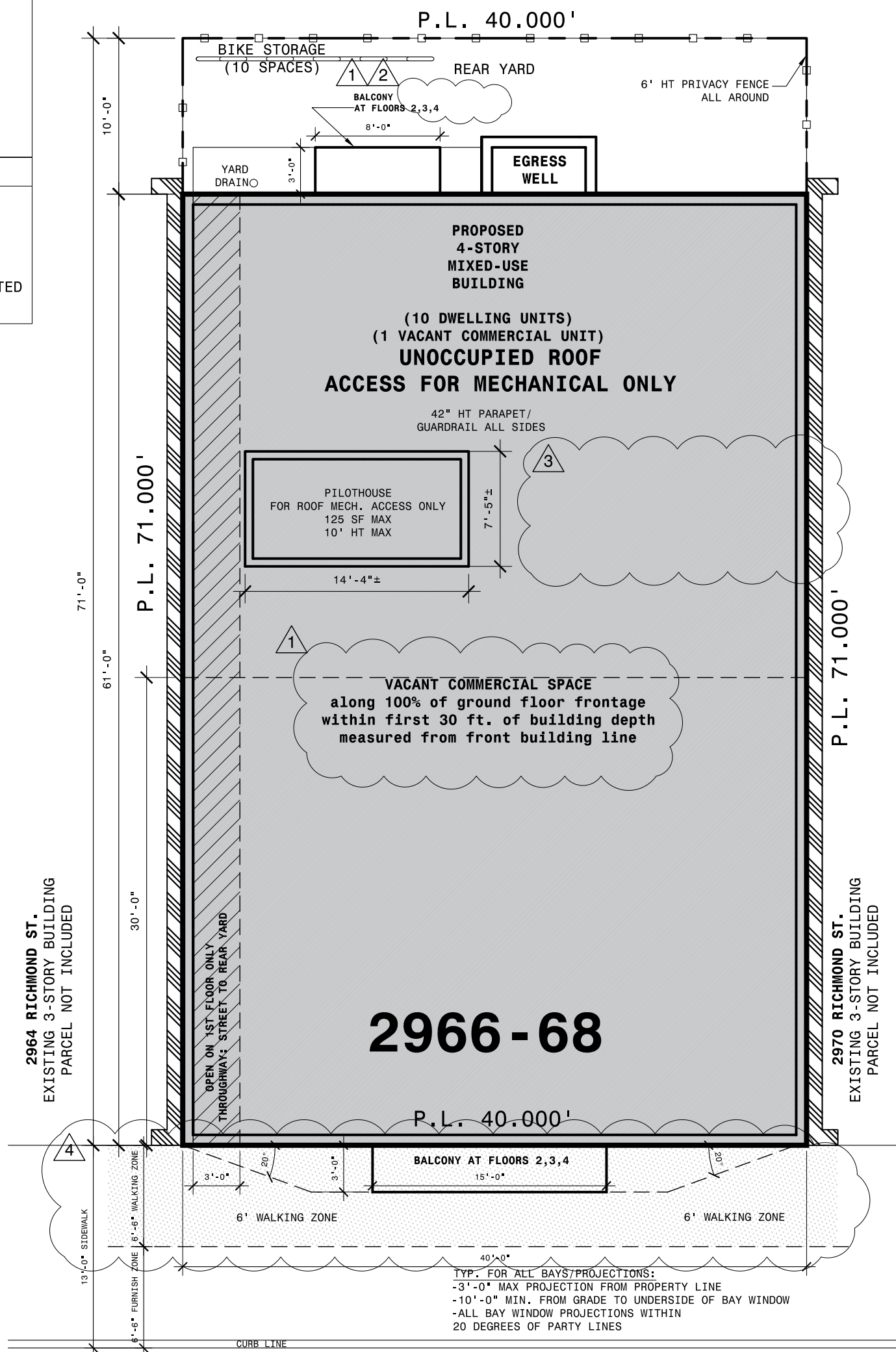
* - MAX OCCUPIED AREA FOR CORNER LOTS IS 80%

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 BUSINESS DAYS BEFORE YOU DIG!
1-800-242-1776 OR 8-1-1
POCS SERIAL NO.: 2019 311 1880
DATE: 11 / 07 / 2019

LEGEND	
	EXISTING CONSTRUCTION
	OCCUPIED AREA
	ROOF DECK
	FENCE
	PROPERTY LINE
	PAVEMENT RESTORATION LIMIT
UTILITY NOTES	
1. ALL UTILITIES SHOWN ARE DIAGRAMMATIC & FOR REFERENCE ONLY. 2. ALL UTILITY INFORMATION & LOCATIONS SHALL BE DETERMINED BY CIVIL ENGINEER. 3. ALL SIZING SHOWN ARE ESTIMATES. FINAL SIZING SHALL BE DETERMINED BY M/E/P ENGINEER & COORDINATED WITH FINAL PLUMBING DRAWINGS AND PERMITS.	



3 BUILDING SECTION
1/8"=1'-0"



2 SITE PLAN
1/8"=1'-0"

ALL PROPERTY LINE DIMENSIONS / METES & BOUNDS PER AVAILABLE DEED / SCHEDULE "C" TO BE VERIFIED BY CERTIFIED LAND SURVEYOR INCL. DISTANCES, ANGLES, RADII, ETC.

KJO
ARCHITECTURE

KJO ARCHITECTURE, LLC
2424 E. YORK ST. S110
PHILADELPHIA, PA 19125
P: 215.278.2245 F: 215.359.0603
WWW.KJOARCHITECTURE.COM

(1) MIXED-USE BUILDING
2966-68 RICHMOND ST.
PHILADELPHIA, PA 19134



OWNER/PROJECT CONTACT:
R. SHAW, C. BORTISH

THIS DRAWING(S) AND ITS ACCOMPANYING DOCUMENTS (AND ANY ASSOCIATED IDEAS AND DESIGNS) ARE THE SOLE PROPERTY OF KJO ARCHITECTURE, LLC AND ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE FURNISHED. KJO ARCHITECTURE, LLC HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND ALL PROPERTY RIGHTS IN THESE DRAWINGS, IDEAS AND DESIGNS. THE INFORMATION ON THIS SHEET IS NOT TO BE REPRODUCED, MODIFIED OR COPIED IN ANY MANNER. THE INFORMATION ON THIS SHEET IS NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF KJO ARCHITECTURE, LLC. NOTATED DIMENSIONS SHALL SUPERSEDE GRAPHICS. DRAWINGS ARE NOT TO BE SCALED. DRAWINGS VIEWED ELECTRONICALLY ARE NOT FOR CONSTRUCTION. ALL CONTRACTORS MUST HAVE FULL-SCALE HARDCOPY DRAWINGS FOR USE ON SITE DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD. IF DISCREPANCIES ARE FOUND, NOTIFY ALL INTERESTED PARTIES IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR SELECTING APPROPRIATE CONSTRUCTION PROCESSES, COORDINATING WORK WITH THAT OF ALL OTHER TRADES, AND PERFORMING WORK IN A SAFE MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

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ISSUED FOR:	DATE:
ZONING	05.15.20
REVISION	04.21.20
REVISION	05.15.20
REVISION	01.18.21
REVISION	02.12.21

SCALE: AS NOTED
SHEET SIZE: ARCH C 24X18

SITE PLAN
ZONING DATA
BUILDING SECTION

Z1



Applied Electronically by L&I User:

PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
>>> APPROVAL FOR ZONING ONLY <<<
NO BUILDING PERMIT IS TO BE ISSUED WITHOUT STAMPED PLANS BY THE DEPARTMENT OF STREETS FOR FINAL APPROVAL OF SITE PLAN
THE APPLICANT IS REQUIRED TO SECURE THE APPROVAL OF THE ZONING AUTHORITIES, AND SUBMIT PLANS FOR ADDITIONAL REVIEW BY THE STREETS DEPARTMENT
ENCROACHMENT ORDINANCE REQUIRED FOR:
COMMITTEE OF HIGHWAY SUPERVISORS (APPLICATION NO. _____)
DETAILED REVIEW FOR MINOR SITE PLAN
COORDINATED REVIEW FOR MAJOR SITE PLAN:
CITY PLAN ACTION
OTHER _____
APPLIED ELECTRONICALLY BY STREETS STAFF:
Coleman Cosby
ON: February 17, 2021
FOR CHIEF HIGHWAY ENGINEER



1 LOCATION MAP
N.T.S.

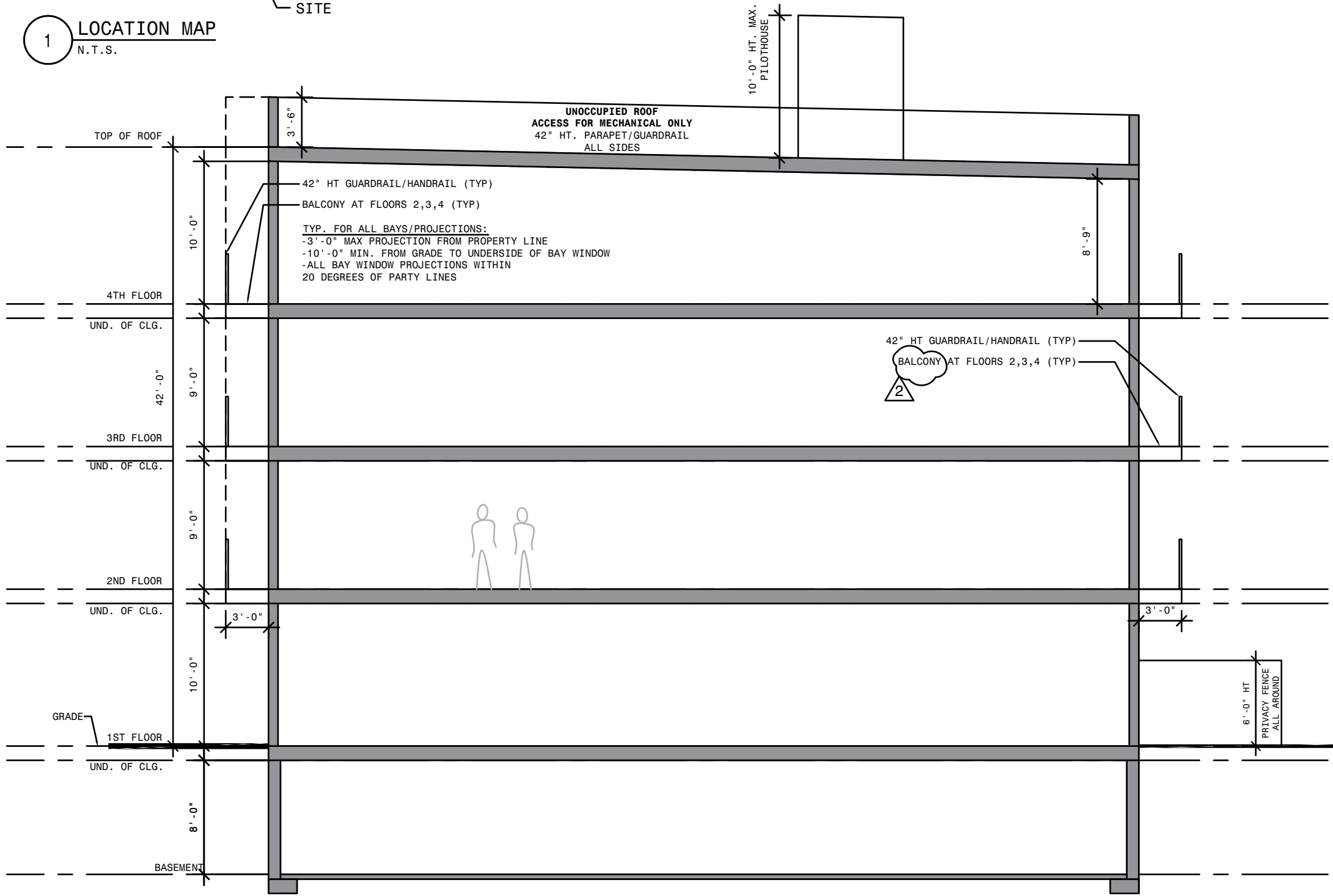
ZONING DATA		
CMX-2		
CMX-2	REQ'D/ALLOWED	PROPOSED
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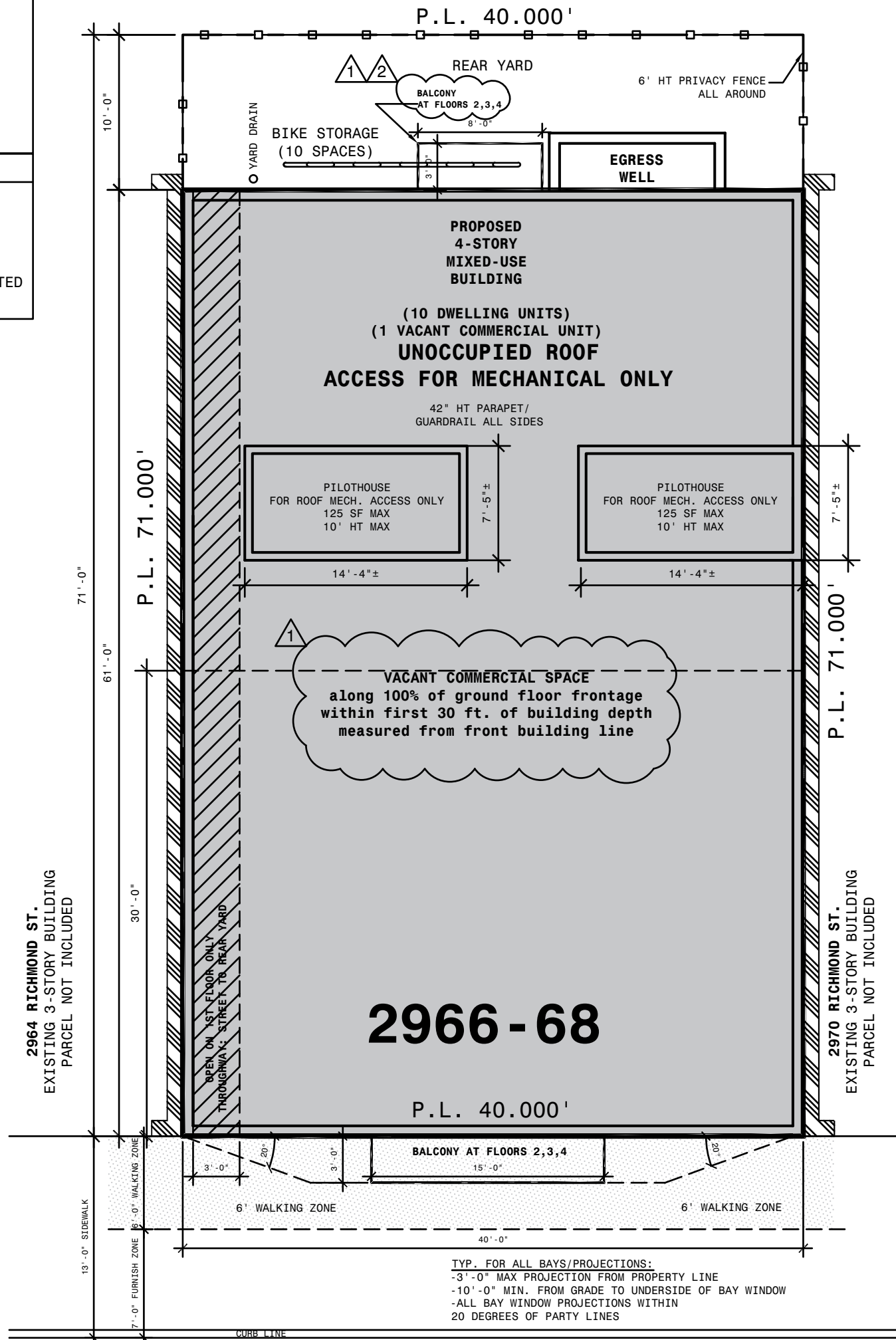
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CALL 3 BUSINESS DAYS BEFORE YOU DIG!
1-800-242-1776 OR 8-1-1
POCS SERIAL NO.: 2019 311 1880
DATE: 11 / 07 / 2019

LEGEND	
	EXISTING CONSTRUCTION
	OCCUPIED AREA
	ROOF DECK
	FENCE
	PROPERTY LINE
	PAVEMENT RESTORATION LIMIT

UTILITY NOTES	
1.	ALL UTILITIES SHOWN ARE DIAGRAMMATIC & FOR REFERENCE ONLY.
2.	ALL UTILITY INFORMATION & LOCATIONS SHALL BE DETERMINED BY CIVIL ENGINEER.
3.	ALL SIZING SHOWN ARE ESTIMATES. FINAL SIZING SHALL BE DETERMINED BY M/E/P ENGINEER & COORDINATED WITH FINAL PLUMBING DRAWINGS AND PERMITS.



3 BUILDING SECTION
1/8"=1'-0"



2 SITE PLAN
1/8"=1'-0"

ALL PROPERTY LINE DIMENSIONS / METES & BOUNDS PER AVAILABLE DEED / SCHEDULE "C"
TO BE VERIFIED BY CERTIFIED LAND SURVEYOR INCL. DISTANCES, ANGLES, RADII, ETC.



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(1) MIXED-USE BUILDING
2966-68 RICHMOND ST.
PHILADELPHIA, PA 19134

OWNER/PROJECT CONTACT:
R. SHAW, C. BORISH

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ISSUED FOR:	DATE:
ZONING	03.06.20
REVISION	04.21.20
REVISION	05.15.20

SCALE: AS NOTED
SHEET SIZE: ARCH C 24X18

SITE PLAN
ZONING DATA
BUILDING SECTION

Z1

PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
>>>> APPROVAL FOR ZONING ONLY <<<
NO BUILDING PERMIT IS TO BE ISSUED WITHOUT STAMPED PLANS BY THE DEPARTMENT OF STREETS FOR FINAL APPROVAL OF SITE PLAN
THE APPLICANT IS REQUIRED TO SECURE THE APPROVAL OF THE ZONING AUTHORITIES, AND SUBMIT PLANS FOR ADDITIONAL REVIEW BY THE STREETS DEPARTMENT
____ ENCROACHMENT ORDINANCE REQUIRED FOR:
____ COMMITTEE OF HIGHWAY SUPERVISORS (APPLICATION NO. _____)
☒ DETAILED REVIEW FOR MINOR SITE PLAN
____ COORDINATED REVIEW FOR MAJOR SITE PLAN:
APPROVED PLAN ACTION
FOR ZONING ONLY
10/23/20 OTHER
WHEN YOUR PLANS CONTAIN ANY OMISSION, ERRORS OR DEVIATION FROM THESE APPROVED PLANS, THE DEPARTMENT OF STREETS WILL REJECT YOUR PLANS AND RE-APPROVAL WILL BE REQUIRED.
APPLIED ELECTRONICALLY BY STREETS STAFF:
Shawn Miles
ON: **May 18, 2020**
FOR CHIEF HIGHWAY ENGINEER

Zoning Permit

Permit Number ZP-2020-008291

LOCATION OF WORK 2966 RICHMOND ST, Philadelphia, PA 19134-5720	PERMIT FEE \$872.00	DATE ISSUED 9/22/2020
	ZBA CALENDAR	ZBA DECISION DATE 9/22/2020
	ZONING DISTRICTS CMX2	

PERMIT HOLDER 2966 RICHMOND ASSOCIATES	3033 RUTH ST 1B PHILADELPHIA PA 19134
---	---------------------------------------

APPLICANT Paul Kreamer...	2228 S COLORADO ST PHILADELPHIA, PA 19147 USA
------------------------------	---

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT *** 02/22/2021*** FOR REVISION OF ORIGINAL APPROVAL TO INCLUDE THE REMOVAL OF SECOND PILOT HOUSE. FOR THE ERECTION OF AN ATTACHED BUILDING WITH TWO PILOT HOUSES (FOR ROOF MECHANICAL ACCESS ONLY) (SIZE AND LOCATION AS SHOWN ON PLANS)

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA) Cal# MI-2020-000698, NO PROVISOS
--

 CONDITIONS AND LIMITATIONS: - Permits, including Zoning Permits not involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, six (6) months from the date of issuance with the following exceptions: 30-days or 10-days for Permits related to Unsafe or Imminently Dangerous properties respectively. 3-years from issuance or date of decision by ZBA for Zoning Permits involving development. 60-days for Plumbing, Electrical or Fire Suppression Rough-In Approvals. - Any Permit issued for construction or demolition is valid for no more than five (5) years. - All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
 Post a copy of this permit in a conspicuous location along each frontage. Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-008291

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2966-68 RICHMOND ST, Philadelphia, PA 19134-5720

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS VACANT NON-RESIDENTIAL USE ON THE FIRST FLOOR AND MULTI-FAMILY (TEN (10) UNITS) HOUSEHOLD LIVING AND TO INCLUDE TEN (10) ACCESSORY BICYCLE PARKING SPACES.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.