

Zoning Permit

Permit Number ZP-2020-007084

LOCATION OF WORK 231 W JOHNSON ST, Philadelphia, PA 19144-2511	PERMIT FEE \$672.00	DATE ISSUED 11/19/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM3	

PERMIT HOLDER 231 W JOHNSON ST LLC	6767 GERMANTOWN AVENUE PHILADELPHIA PA 19119
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APPLICANT David Plante, P.E. DBA: Ruggiero Plante Land Design	5900 Ridge Avenue Philadelphia, PA 19128 USA
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT For the erection of a separate detached structure on an existing lot containing a principal structure. For two principal detached structures on the lot. For use as multi-family household living [forty-one(41) dwelling units -32 in the proposed structure and 9 in the existing structure]. Also to provide nineteen(19) off-street accessory parking spaces(to include one(1) accessible parking space) and three(3) electric vehicle parking spaces and fourteen(14) class 1A bicycle parking spaces.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.



Post a copy of this permit in a conspicuous location along each frontage.

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-007084

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

231 W JOHNSON ST, Philadelphia, PA 19144-2511

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

This permit is subject to the following specific conditions.

CONDITIONS

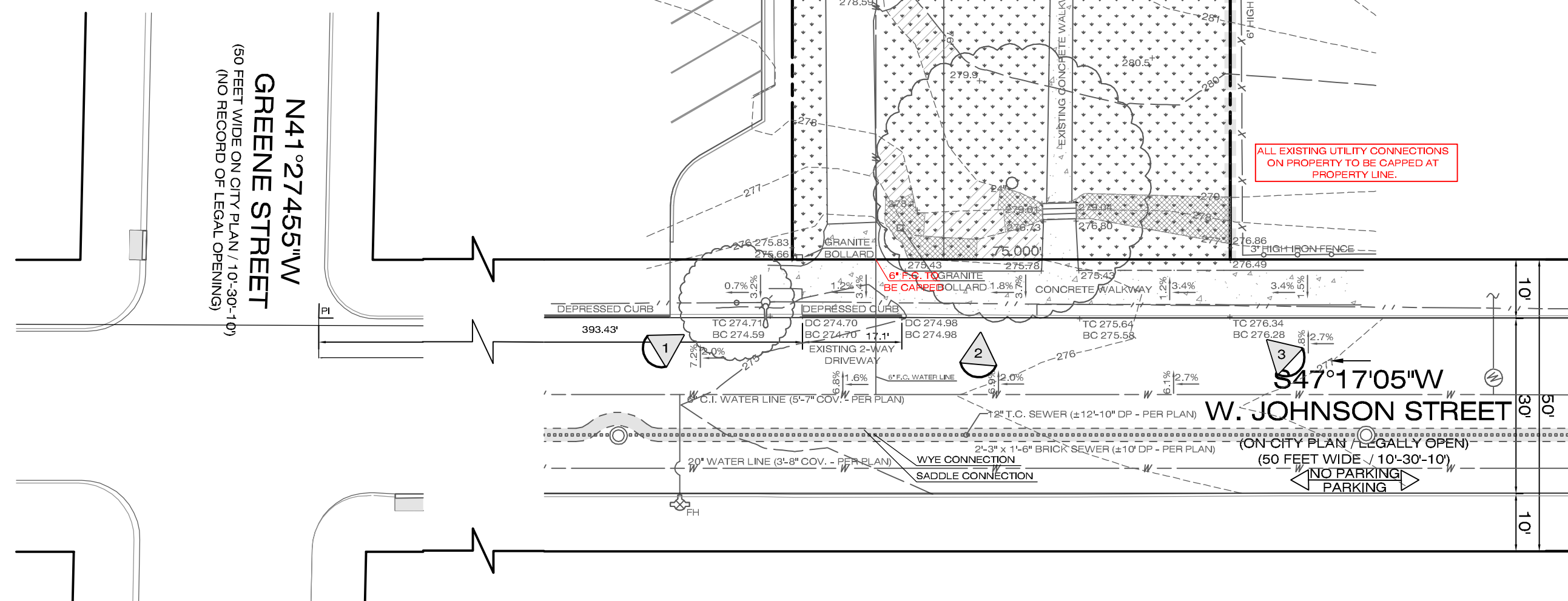
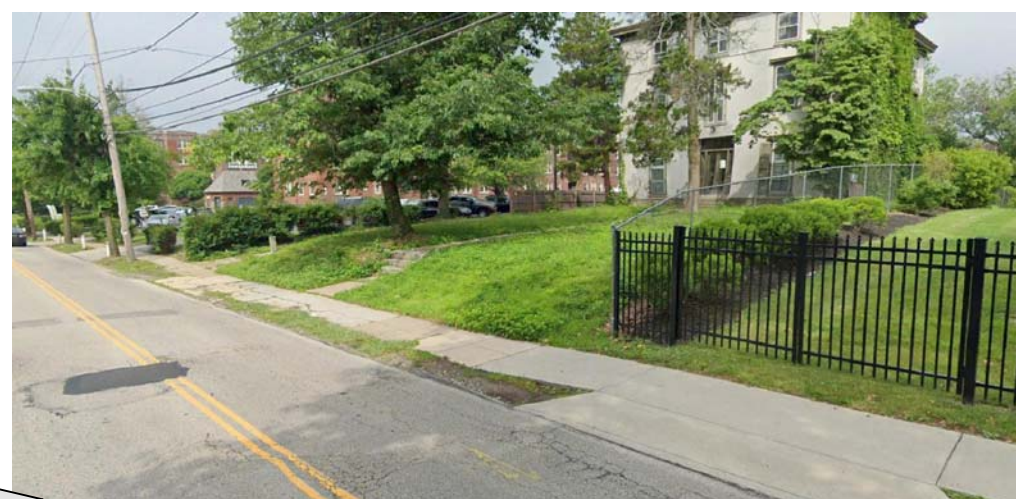
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.



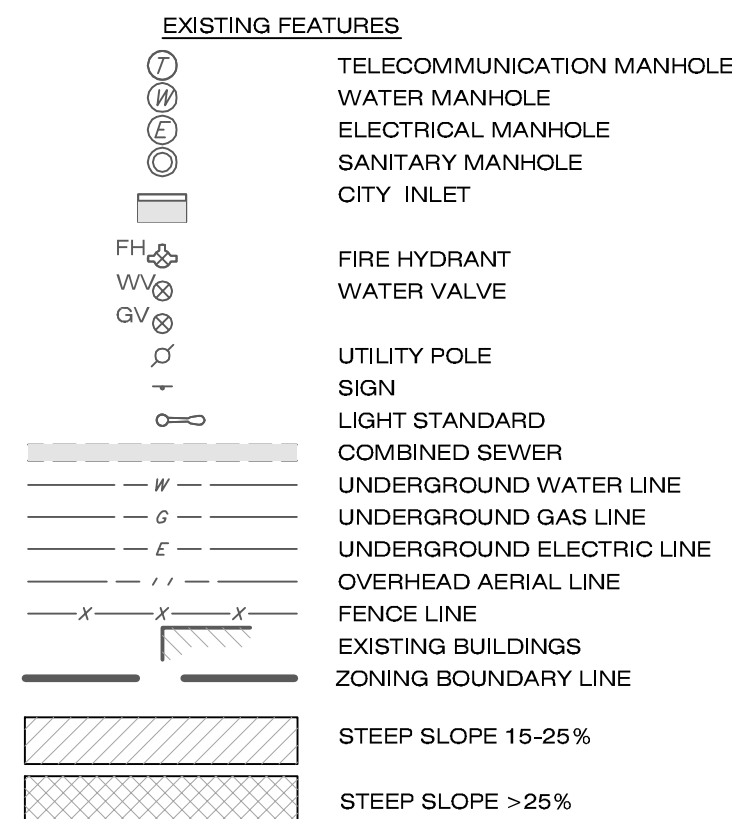
A rectangular stamp with a blue border. The text inside reads: "APPROVED" in large bold letters, "FOR ZONING ONLY" in smaller bold letters, and "11/18/20" in bold letters. Below this, in smaller text, it says: "WHEN YOUR PLANS CONTAIN ANY OMISSION, ERROR OR DEVIATION FROM THESE APPROVED PLANS IT WILL REQUIRE THE APPROVAL OF THE DEPARTMENT OF LICENSES & INSPECTIONS." At the bottom, it says "Applied Electronically by L&I User:".

Applied Electronically by L&I User:

CLIVEDEN STREET
(ON CITY PLAN / LEGALLY OPEN)
(50 FEET WIDE / 12'-26'-12')

CHEROKEE STREET
(50 FEET WIDE ON CITY PLAN / 10'-30'-10')

LEGEND



RM-3 RESIDENTIAL MIXED USE ZONING CRITERIA

	Required
<u>DISTRICT AND LOT DIMENSIONS</u>	
Min. Lot Width	50 ft.
Min. Lot Area	10,000sq. ft.
Min. Open Area (% lot area, except as otherwise provided)	50%
<u>FRONT SETBACK</u>	
Minimum	20
<u>MINIMUM SIDE YARD WIDTH (8), PERMITTED RESIDENTIAL USE</u>	
<u>AS SET FORTH IN 14-602</u>	
Single- or Two-Family Detached Intermediate Lot	2 - 8 ft. ea.
Single- or Two-Family Detached Corner Lot	6 ft.
Single- or Two-Family Semi-Detached Lot	10 ft.
Multi-Family Detached Multi-Family Detached, Corner Lot	2 - 8 ea.
Multi-Family Semi-Detached	8 ft.
	16 ft.
<u>MINIMUM SIDE YARD WIDTH (8), PERMITTED NONRESIDENTIAL USE</u>	
<u>AS SET FORTH IN 14-602</u>	
Intermediate Lot	2 - 8 ft. ea.
Corner Lot	8 ft.
<u>REAR YARD</u>	
Min. Depth	20 ft.
<u>FLOOR AREA RATIO (FAR)</u>	
Maximum FAR	150%
(8) Number of required yards x required width (ft.) ÷ (FAR) identifies that each yard must meet the required width of each yard where each yard size is not identified, table identifies total required yards.	

NOTES

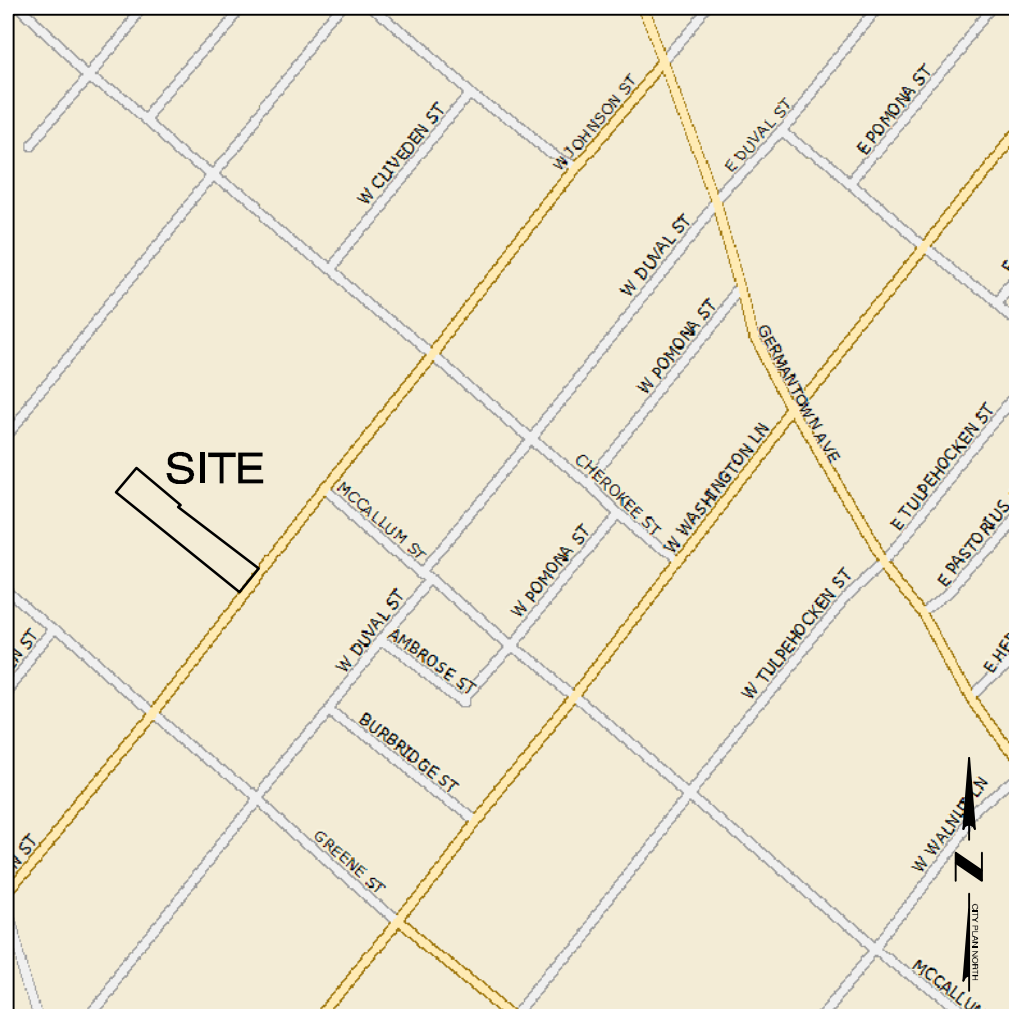
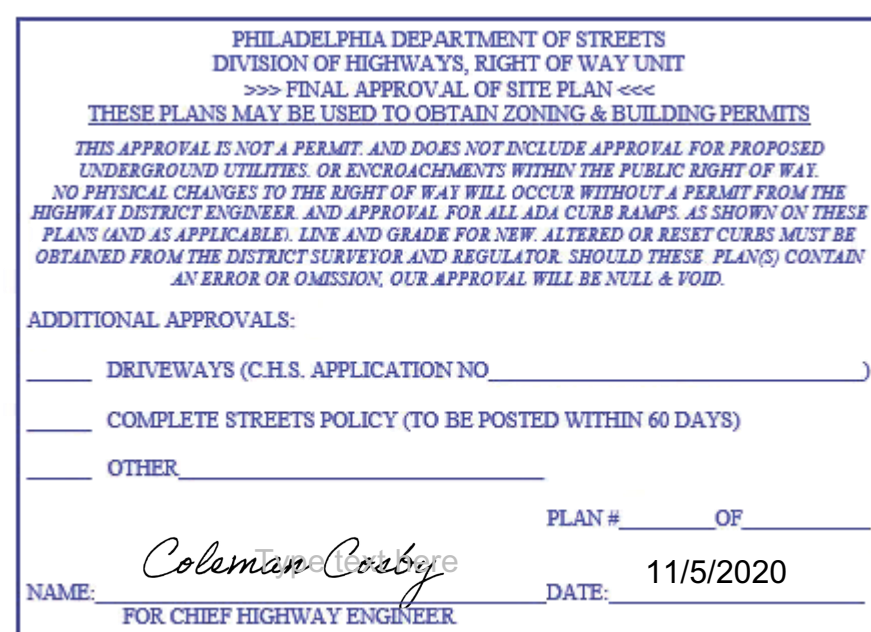
1. Boundary and Location information is based on a field survey performed by Ruggerio Plante Land Design on August 22, 2019.
2. Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet.
3. The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
4. The elevations for this plan are based on City Plan No. 185. The site benchmark is a Survey Stone on the southwestern corner of Cliveden Street and Cherokee Street having an elevation of 298.10, as shown herein.
5. The bearings shown herein are referenced from a "TOPOGRAPHICAL SURVEY AND LAND PLAN OF PROPERTY made for Blair Christian Academy by John Towsley, Surveyor & Regulator of the 9th Survey District of Philadelphia, dated April 29, 2004.
6. FEMA Flood map #4207570095G map revised January 17, 2007 is a non-printed map and designates the map as Zone X, areas outside the 500 yr. floodplain.
7. Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
8. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
9. The property is identified as within the Residential Multi-Family (RM-3) Zoning District and is within the Open Space and Natural Resources - Steep Slope Protection Area [Code Section 14-707(2)] and the Wissahickon Watershed Overlay (WWO) District.
10. Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
11. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
12. This survey does not address the presence or absence of freshwater wetlands.

SOURCE OF TITLE

Deed from Michael F. Young and Mondell L. Powell, dated February, 25, 2002, being recorded in the City of Philadelphia on March 12, 2002 as Document ID 50419152.

PLAN REFERENCES

1. 'TOPOGRAPHIC SURVEY AND PLAN OF PROPERTY' made for Blair Christian Academy by John Towey, Surveyor & Regulator of the 9th survey district dated April 29, 2004.



LOCATION MAP

SCALE 1"=500'

UTILITY OWNERS

SEATTLE NUMBER: August 19, 2019

SERIAL NUMBER: 20192313299, 2019231300

COMPANY: COMCAST CABLEVISION
ADDRESS: 4000 WAYNE AVE
PHILADELPHIA, PA 19140
BOB HARVEY
EMAIL: bob_harvey@comcast.com

COMPANY: PEO ENERGY CO US
ADDRESS: 400 W INDEPENDENCE RD, SUITE B
KINDS OF PRUSSIA, PA 19066
MELISSA SHAPIRO
EMAIL: mks402@pplink.usdinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, AREA TOWER
PHILADELPHIA, PA 19107
ERIC POWERS
EMAIL: eric.powers@pcwd.org

COMPANY: ZAYO BROADBAND FORMERLY PRT. TELECOM LLC
ADDRESS: 1060 HARVEST DRIVE UNIT H
ARZENCEN, MO 21001
GEORGE HUSE
EMAIL: george.huse@zayo.com

COMPANY: CITY OF PHILADELPHIA
ADDRESS: 4501 N 19TH ST
PHILADELPHIA, PA 19120
LEVIN MCKEY
EMAIL: levin.mckey@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 600 8MB
PHILADELPHIA, PA 19102
JOSEPH NISSEL
EMAIL: joseph.nissel@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOGDANSKI

COMPANY: VEOLIA ENERGY
ADDRESS: 2600 CHRISTIAN STREET
PHILADELPHIA, PA 19140
ERIC EILEY
EMAIL: eric.eiley@veolia.com

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 1000 MARKET DR
NORTH WASHINGTON, PA 19004
LAURA LIPPOCCHIO
EMAIL: laura.m.lippocchio@verizon.com

OWNER OF RECORD

1018-22 GERMANTOWN AVENUE
LEO RAZZI
1018 GERMANTOWN AVENUE
PHILADELPHIA, PA 19123



NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

REVISIONS				
01	08/21/2020	Streets Department Review #1		
02	09/01/2020	Streets Department Review #2		

231 W JOHNSON STREET
Philadelphia, PA 19144
22ND WARD - OPA#881097275

prepared for:
Chris Murray
141 W Phil Elena Street
Philadelphia, PA 19119
ph: (215) 768-5317

DAVID J. PLANTE, Professional Engineer

PA. No. PE-043820-E



Plan Date:

August 11, 2020

Plan Set Title:
TECHNICAL STREETS SUBMISSION

Sheet Title: **EXCITING FEATURES**

Sheet: 1 of 4

ROW Log #2020-9418

RM-3 RESIDENTIAL ZONING CRITERIA

LOT REQUIREMENTS	Required	Proposed
Min. Lot Width	16'	75.2'
Min. Lot Area	10,000 SF	22,660 SF
Min. % Open Area (Intermediate)	50%	57.5%
		(7,080sf Proposed, 2,542sf Existing) [9,622sf Total / 22,630sf = 42.5%]
BUILDING DIMENSIONS	Required	Proposed
Min. Front Yard Setback	20'	20'
Min. Side Yard Setback	20'	20'
Multi-Family, Detached	2/8' Each	2/8' Each
Min. Rear Yard Setback	20'	20'
Max. Building Height	N/A	50.0'
Max. FAR	150% (36,945 GFA) [24,630 x 150% = 36,945]	147% (36,225 GFA) [Existing GFA: 6,780 + Prop. GFA: 29,445 = 36,225 GFA ~ 147%]
PARKING	Required	Proposed
Parking Spaces	13 [3 per 10 units] [(41units/10)*3 = 12.3]	23
ADA Spaces	1 [2% Total Spaces]	1
Bicycle	14 [1 per 3 units]	14
Electric Car	3 [40-49 units]	3
LANDSCAPING	Required	Proposed
Min. % Surface Parking Area	10% (398 SF) [3,986 x 10% = 398]	10.0% (400 SF) [400 / 3,986 = 10.7]
Interior Trees	2 [398 SF / 300 SF = 1.32]	2
Street Trees	2 (1 per 35 LF Frontage) [75 LF / 35 LF = 2.1]	2

Complete Streets Zone Requirements:

W. Johnson Street: Pedestrian - 6' min or half total sidewalk
(Urban Arterial)
Furnishing - 4' min
Total Sidewalk Width - 12' min

PLANT LIST

QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	NOTES
4	Bp	Betula populifolia	Gray Birch	2 1/2 - 3" Cal. B&B



PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
*** FINAL APPROVAL OF SITE PLAN ***
THESE PLANS MAY BE USED TO OBTAIN ZONING & BUILDING PERMITS.
THIS APPROVAL IS NOT A PERMIT AND DOES NOT INCLUDE APPROVAL FOR PROPOSED
UNDERGROUND UTILITIES, OR ENCROACHMENTS WITHIN THE PUBLIC RIGHT OF WAY.
NO PHYSICAL CHANGES TO THE RIGHT OF WAY WILL OCCUR WITHOUT A PERMIT FROM THE
DISTRICT ENGINEER, AND APPROVAL FOR ALL CURB BANDS, 4:30:00 ON THESE
PLANS AND AS APPLICABLE. LINE AND GRADE FOR NEW ALTERED OR RESET CURBS MUST BE
OBTAINED FROM THE DISTRICT ENGINEER AND REGULATOR. SHOULD THESE PLANS CONTAIN
AN ERROR OR OMISSION, OUR APPROVAL WILL BE NULL & VOID.

ADDITIONAL APPROVALS:

DRIVEWAYS (CHS APPLICATION NO) _____

COMPLETE STREETS POLICY (TO BE POSTED WITHIN 60 DAYS)

OTHER _____

NAME: Coleman Cosby PLAN # _____ OF _____
DATE: 11/5/2020

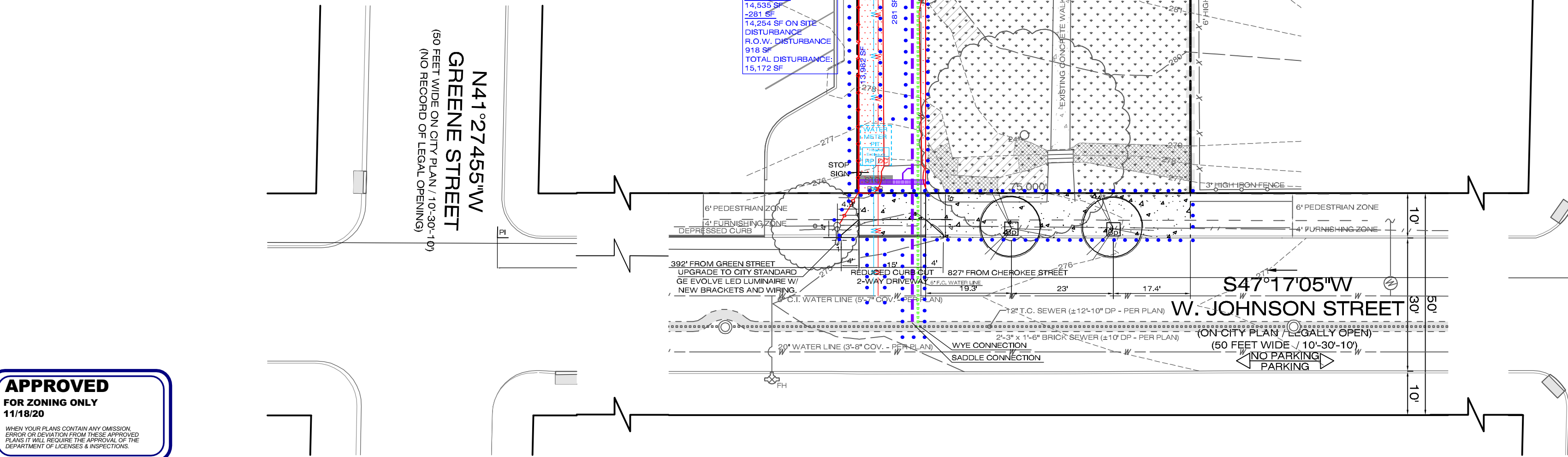
FOR CHIEF HIGHWAY ENGINEER

APPROVED
FOR ZONING ONLY
11/18/20

Applied Electronically by L&I User:

1. PLOTTED: Wednesday, September 2, 2020, 3:12 PM 2. PLOTTED BY: Alex 3. FILE: 4. LAYOUT: Streets 02 - Site Plan 1

N41°27'45"W
GREENE STREET
(60 FEET WIDE ON CITY PLAN / 10'-30'-10')
(NO RECORD OF LEGAL OPENING)



CLIVEDEN STREET
(ON CITY PLAN / LEGALLY OPEN)
(50 FEET WIDE / 12'-26'-12')

CHEROKEE STREET
(60 FEET WIDE ON CITY PLAN / 10'-30'-10')

LEGEND

EXISTING FEATURES	PROPOSED FEATURES
TELECOMMUNICATION MANHOLE	STORM SEWER TYPE M INLET
WATER MANHOLE	STORM SEWER / SEGMENT #
ELECTRICAL MANHOLE	ROOF DRAIN
SANITARY MANHOLE	DOMESTIC WATER
CITY INLET	FIRE SUPPRESSION
FIRE HYDRANT	WATER VALVE (TYP)
UTILITY POLE	GAS LINE
SIGN	GAS VALVE (TYP)
COMBINED SEWER	ELECTRIC LINE (AERIAL)
UNDERGROUND WATER LINE	PECO WOOD POLE WITH STREET LIGHT
UNDERGROUND GAS LINE	SANITARY SEWER
UNDERGROUND ELECTRIC LINE	TRAP/VENT (TYP)
OVERHEAD AERIAL LINE	PROPOSED BUILDING
FENCE LINE	CONCRETE (IMPERVIOUS)
EXISTING BUILDINGS	ROOF DECK (IMPERVIOUS)
ZONING BOUNDARY LINE	PAVERS (PERVIOUS)
STEEP SLOPE 15-25%	WOOD (IMPERVIOUS)
STEEP SLOPE >25%	GRASS (PERVIOUS)
	TREE
	RAILING
	BUILDING DIMENSION
	HANDICAPABLE PARKING SPACE
	ELECTRIC CAR PARKING SPACE
	DRIVEWAY EXPANSION AREA
	MILL AREA
	EROSION CONTROL FEATURES
	LIMIT OF DISTURBANCE

NOTES:

- Work to be done in accordance with standard specifications, approved drawings, and regulations of the Department of Streets, Philadelphia Water Department, Philadelphia Parks & Recreation Department, and special provisions of the proposal.
- Pursuant to the requirements of Pennsylvania Act 287 (1974), and as amended, the Contractor shall contact the Pennsylvania One Call System at 1-800-242-1776, at least 3 working days prior to excavation. Pennsylvania One Call System# 20192313299-000, 20192313300-000 and Ward #22.
- Utilities shown are taken from public record. The Contractor must verify the exact location and depth.
- Horizontal and vertical control, line and grade stakes for curb, paving, etc. will be furnished by the 9th Survey District of the City of Philadelphia based on Item #4-1040. Note: This item, Engineering Services, is a pre-determined amount to be determined by the Surveyor & Regulator and to be included in the contractor's bid.
- Permits for bollards, curb, & sidewalk paving will be furnished by the 4th Highway District of the City of Philadelphia.
- The City of Philadelphia shall provide inspection services for paving and related work, to be paid under Item # 4-1 041 at a cost of \$345 per day. The Contractor shall contact the Construction Unit of the Division of Surveys, Design & Construction at (215) 686-5539, a minimum of 2 weeks prior to the start of work. This item, Inspection Services shall be included in the contractor's bid.
- Street light pole locations are not final. The Streets Department Street Lighting Engineer will determine the exact locations of the street light poles during construction. Contact the Street Lighting Engineer at (215) 686-5517 to coordinate street light pole locations.
- Street trees must be permitted by the Philadelphia Department of Parks & Recreation. Contact the Street Tree Management Division at (215) 685-4363.
- For projects on State Routes, notice is hereby given that the receipt of a permit from either the Philadelphia Streets Department, or the Pennsylvania Department of Transportation (PennDOT) does not imply a permit from the other. All permits must be obtained prior to the start of construction.
- Refer to MEP plans for final size and location of utilities.
- All existing traffic control and parking signs/poles to be inventoried and replaced by contractor if damaged during construction.
- Traffic paint and signage to be in conformance with PADOT pub 408 & MUTCD.
- All construction shall be in accordance with Philadelphia's Water Department, Streets Department, PennDOT Publication 408, Publication 72 & the Philadelphia plumbing code.
- An industrial waste permit will be required should pumping to city owned infrastructure become necessary during construction.
- Provide inlet protection for all PWD owned inlets within one block of the project site.
- PWD is not responsible for any clearing or repairs needed on city owned infrastructure due to failure of any erosion and sediment control practices. The general contractor hired by Esperanza will be responsible for any such work.
- At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, but not limited to the landowner, PWD Erosion and Sediment Control Division, and the PADEP Watershed Management Permit and Technical Section to an on-site meeting.
- Inverts specified for proposed inlets & manholes are pipe inverts. All inlets and manholes shall provide a sump in accordance with the detail drawings.
- Recycled bituminous and p.c. concrete may be used for base & aggregate material in accordance with PA DOT Pub. 408.
- Deliveries to be made at front entrance. Refuse to be stored in parking garage. Picked up in loading zone.



LOCATION MAP

SCALE 1"=500'

UTILITY OWNERS

DATE CONTACTED:	August 19, 2019
SERIAL NUMBER:	20192313299, 20192313300
COMPANY:	COMCAST CABLEVISION
ADDRESS:	4800 WAYNE AVE PHILADELPHIA, PA 19140
CONTACT:	BOB HARVEY
EMAIL:	BOB_HARVEY@CABLE.COMCAST.COM
COMPANY:	PECO ENERGY CO USDC
ADDRESS:	2500 HINDENSON RD, SUITE B KING OF PRUSSIA, PA 19406
CONTACT:	ERIC POMERT
EMAIL:	ERIC.POMERT@PECO.ENERGY.COM
COMPANY:	ZAYO (BNADWORTH FORMERLY PPL TELECOM LLC)
ADDRESS:	1060 HARDEES DRIVE UNIT H AMERSON, MD 21001
CONTACT:	GEORGE HUSS
EMAIL:	GEORGE.HUSS@ZAYO.COM
COMPANY:	CITY OF PHILADELPHIA
ADDRESS:	4501 G STREET PHILADELPHIA, PA 19120
CONTACT:	KEVIN MCGINLEY
EMAIL:	KEVIN.MCGINLEY@PHILA.GOV
COMPANY:	PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS:	1401 JPL BLVD, ROOM 840 MBS PHILADELPHIA, PA 19102
CONTACT:	JOSEPH HISEL
EMAIL:	JOSEPH.HISEL@PHILA.GOV
COMPANY:	PHILADELPHIA GAS WORKS
ADDRESS:	800 W MONTGOMERY AVE PHILADELPHIA, PA 19122
CONTACT:	JAMES BOCHANSKI
COMPANY:	VEOLIA ENERGY
ADDRESS:	2800 CHRISTIAN STREET PHILADELPHIA, PA 19140
CONTACT:	ERIC ELZEY
EMAIL:	ERIC.ELZEY@VEOLIA.COM
COMPANY:	VERIZON PENNSYLVANIA, LLC
ADDRESS:	1650 VIRGINIA DR FORTH WASHINGTON, PA 19034
CONTACT:	LAURA LIPPINCOTT
EMAIL:	LAURA.LIPPINCOTT@ONE.VERIZON.COM

OWNER OF RECORD

231 W. JOHNSON STREET
231 W. JOHNSON STREET LLC
6767 GERMANTOWN AVENUE
PHILADELPHIA, PA 19119



NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS			
01	08/21/2020	Streets Department Review #1	
02	09/07/2020	Streets Department Review #2	

231 W JOHNSON STREET
Philadelphia, PA 19144
22ND WARD - OPA#881097275

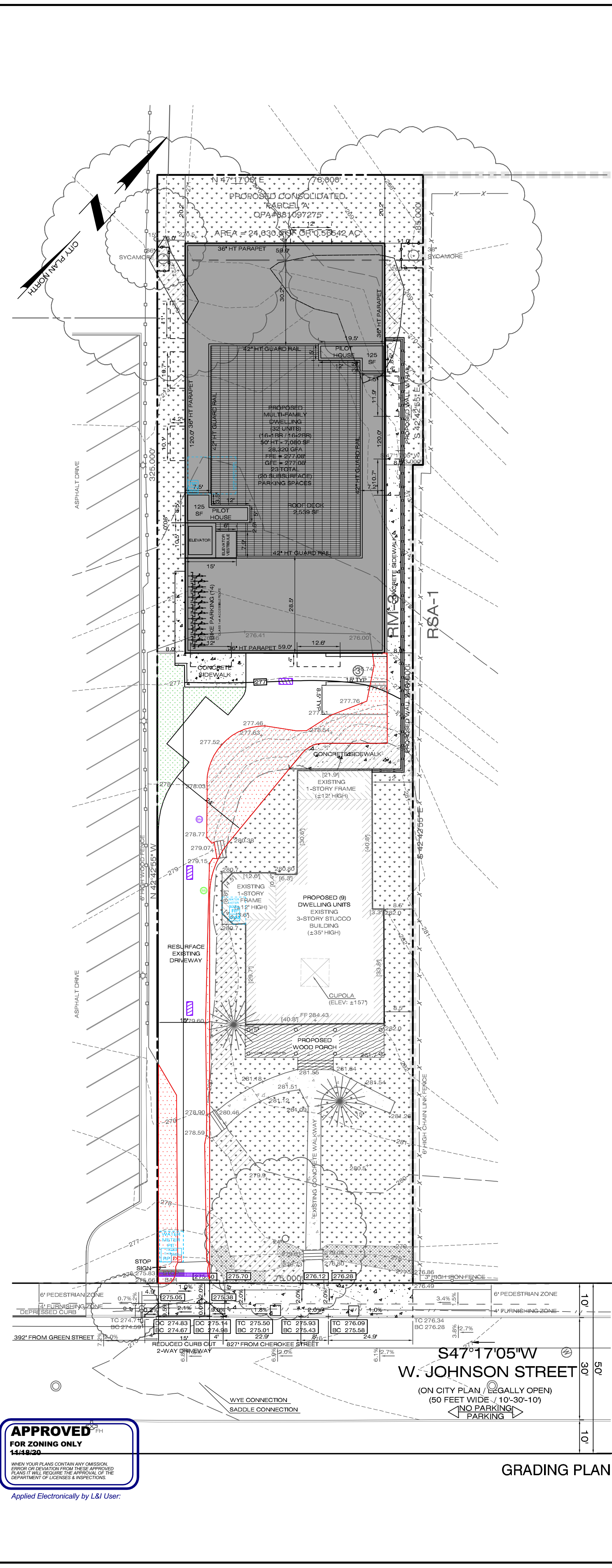
prepared for:
Chris Murray
141 W Phil Elena Street
Philadelphia, PA 19119
em: chrismurray925@gmail.com
ph: (215) 768-5317

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplantel.com

Plan Date: August 11, 2020 Scale: 1" = 20'-0"
20' 10' 0' 20'

Plan Set Title: TECHNICAL STREETS SUBMISSION
Sheet Title: SITE PLAN
Sheet: 2 of 4 ROW Log #2020-9418



APPROVED
FOR ZONING ONLY
14/08/20

WHEN YOUR PLANS CONTAIN ANY DIMENSION, CHECK OVER THE DIMENSION FROM THESE APPROVED PLANS. THE DEPARTMENT OF LICENSING & INSPECTIONS

Applied Electronically by L&L User:

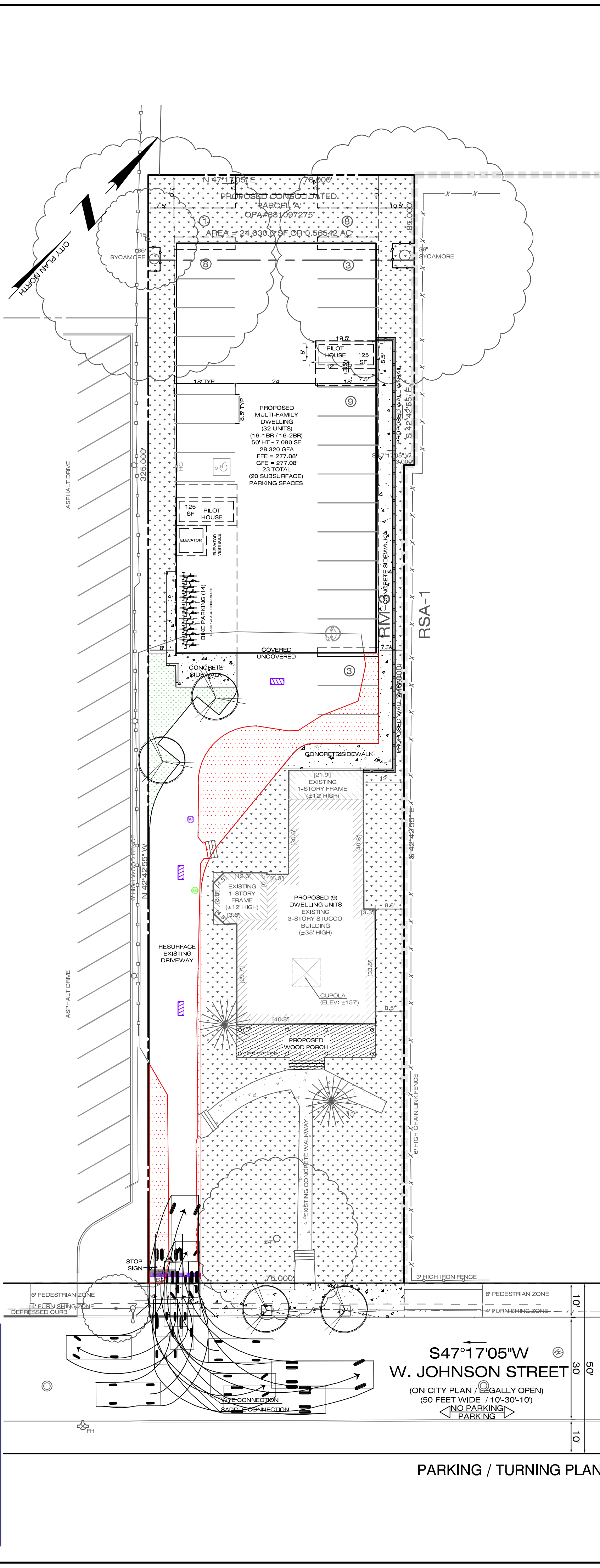
GRADING PLAN

PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
2020 FINAL APPROVAL OF SITE PLAN <<<
THESE PLANS MAY BE USED TO OBTAIN ZONING & BUILDING PERMITS
THIS APPROVAL IS NOT A PERMIT AND DOES NOT INCLUDE APPROVAL FOR PROPOSED
UNDERGROUND UTILITIES OR ENCROACHMENTS WITHIN THE PUBLIC RIGHT OF WAY
NO PHYSICAL CHANGES TO THE RIGHT OF WAY WILL OCCUR WITHOUT A PERMIT FROM THE
DIVISION OF DISTRICT ENGINEER AND APPROVAL FOR ALL ADA CURB RAMP AS SHOWN ON THESE
PLANS (AND AS APPLICABLE). LINT AND GRADE FOR NEW ALTERED OR BEST CURBS MUST BE
OBTAINED FROM THE DISTRICT SUPERVISOR AND REGULATOR. SHOULD THESE PLANS CONTAIN
AN ERROR OR OMISSION, OUR APPROVAL WILL BE NULL & VOID.

ADDITIONAL APPROVALS:
DRIVEWAYS (C.H.S. APPLICATION NO. _____)
COMPLETE STREETS POLICY (TO BE POSTED WITHIN 60 DAYS)
OTHER _____

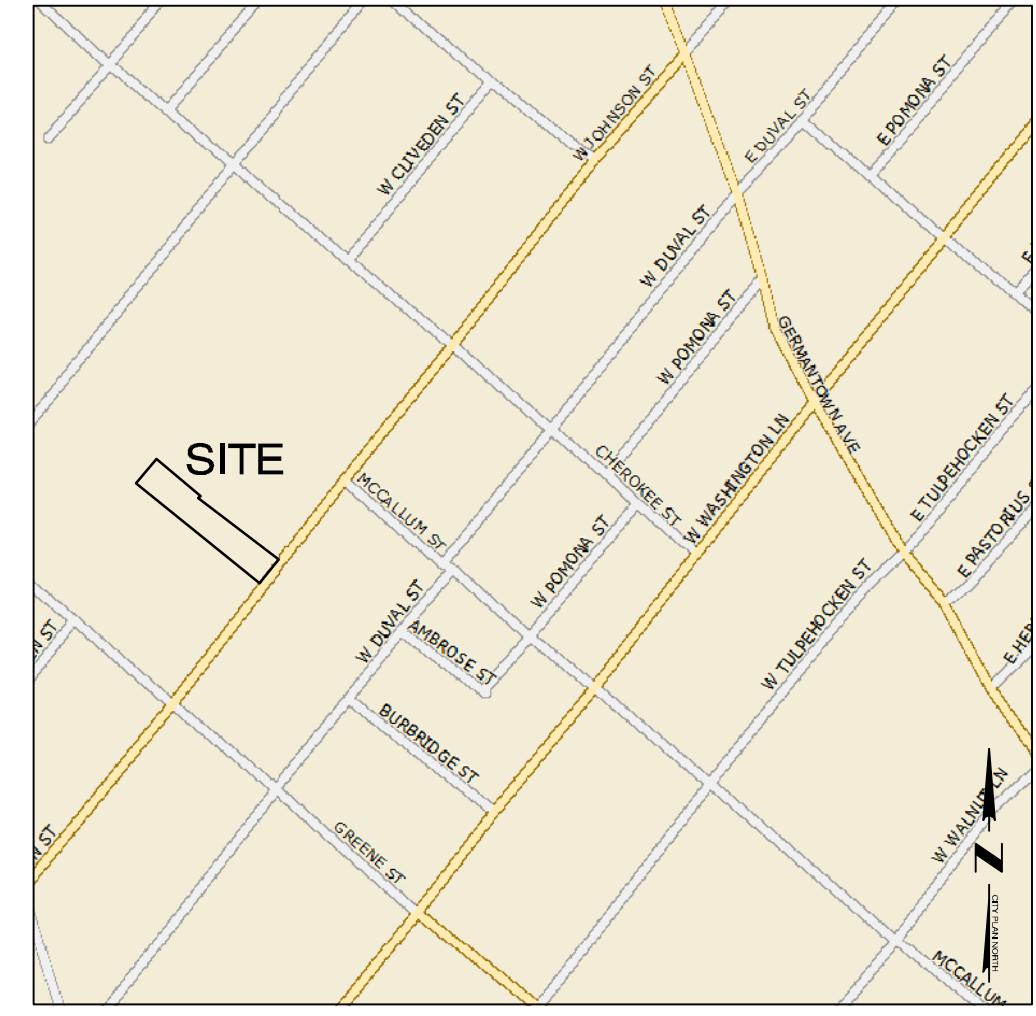
NAME: Coleman Cooby DATE: 11/5/2020
FOR CHIEF HIGHWAY ENGINEER

CHEROKEE STREET
(60 FEET WIDE ON CITY PLAN / 10-30-10)



PARKING / TURNING PLAN

- LEGEND**
- EXISTING FEATURES**
- TELECOMMUNICATION MANHOLE
 - WATER MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - CITY INLET
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - SIGN
 - LIGHT STANDARD
 - COMBINED SEWER
 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND ELECTRIC LINE
 - OVERHEAD AERIAL LINE
 - FENCE LINE
 - EXISTING BUILDINGS
 - ZONING BOUNDARY LINE
 - STEEP SLOPE 15-25%
 - STEEP SLOPE >25%
- PROPOSED FEATURES**
- STORM SEWER TYPE M INLET
 - STORM SEWER / SEGMENT #
 - ROOF DRAIN
 - DOMESTIC WATER
 - FIRE SUPPRESSION
 - WATER VALVE (TYP)
 - GAS LINE
 - GAS VALVE (TYP)
 - ELECTRIC LINE (AERIAL)
 - PECO WOOD POLE WITH STREET LIGHT
 - SANITARY SEWER
 - TRAP/VENT (TYP)
 - PROPOSED BUILDING
 - CONCRETE (IMPERVIOUS)
 - ROOF DECK (IMPERVIOUS)
 - PAVERS (PERVIOUS)
 - WOOD (IMPERVIOUS)
 - GRASS (PERVIOUS)
 - TREE
 - RAILING
 - BUILDING DIMENSION
 - HANDICAPABLE PARKING SPACE
 - ELECTRIC CAR PARKING SPACE
 - DRIVEWAY EXPANSION AREA
 - MILL AREA
 - EROSION CONTROL FEATURES
 - LIMIT OF DISTURBANCE



LOCATION MAP
SCALE 1"=500'

UTILITY OWNERS

DATE CONTACTED:	August 19, 2019
SERIAL NUMBER:	20190313099, 2019031300
COMPANY:	COMCAST CABLEVISION
ADDRESS:	4800 WAYNE AVE PHILADELPHIA, PA 19140
CONTACT:	BOB HARVEY
EMAIL:	BOB_HARVEY@CABLE.COMCAST.COM
COMPANY:	PECO ENERGY CO USBC
ADDRESS:	450 S HENDERSON RD, SUITE B KING OF PRUSSIA, PA 19406
CONTACT:	ERIC POMERT
EMAIL:	ERIC.POMERT@PECO.EDU
COMPANY:	ZAYO INNOVATION FORMERLY PPL TELECOM LLC
ADDRESS:	1060 HARDEES DRIVE UNIT H ABINGDON, MD 21001
CONTACT:	GEORGE HUSS
EMAIL:	GEORGE.HUSS@ZAYO.COM
COMPANY:	CITY OF PHILADELPHIA
ADDRESS:	4501 G STREET PHILADELPHIA, PA 19120
CONTACT:	KEVIN MCGINLEY
EMAIL:	KEVIN.MCGINLEY@PHILA.GOV
COMPANY:	PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS:	1401 JPM BLDG, ROOM 840 MB
CONTACT:	JOSEPH HISEL
EMAIL:	JOSEPH.HISEL@PHILA.GOV
COMPANY:	PHILADELPHIA GAS WORKS
ADDRESS:	800 W MONTGOMERY AVE PHILADELPHIA, PA 19122
CONTACT:	JAMES BOCHANSKI
COMPANY:	VEOLIA ENERGY
ADDRESS:	2800 CHRISTIAN STREET PHILADELPHIA, PA 19140
CONTACT:	ERIC ELZEY
EMAIL:	ERIC.ELZEY@VEOLIA.COM
COMPANY:	VERIZON PENNSYLVANIA, LLC
ADDRESS:	1050 VIRGINIA DR FORTH WASHINGTON, PA 19004
CONTACT:	LAURA LIPPINCOTT
EMAIL:	LAURA.LIPPINCOTT@ONE.VERIZON.COM

OWNER OF RECORD
231 W. JOHNSON STREET
231 W. JOHNSON STREET LLC
6767 GERMANTOWN AVENUE
PHILADELPHIA, PA 19119

NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS

01	08/21/2020	Streets Department Review #1
02	09/07/2020	Streets Department Review #2

231 W JOHNSON STREET
Philadelphia, PA 19144
22ND WARD - OPA#881097275

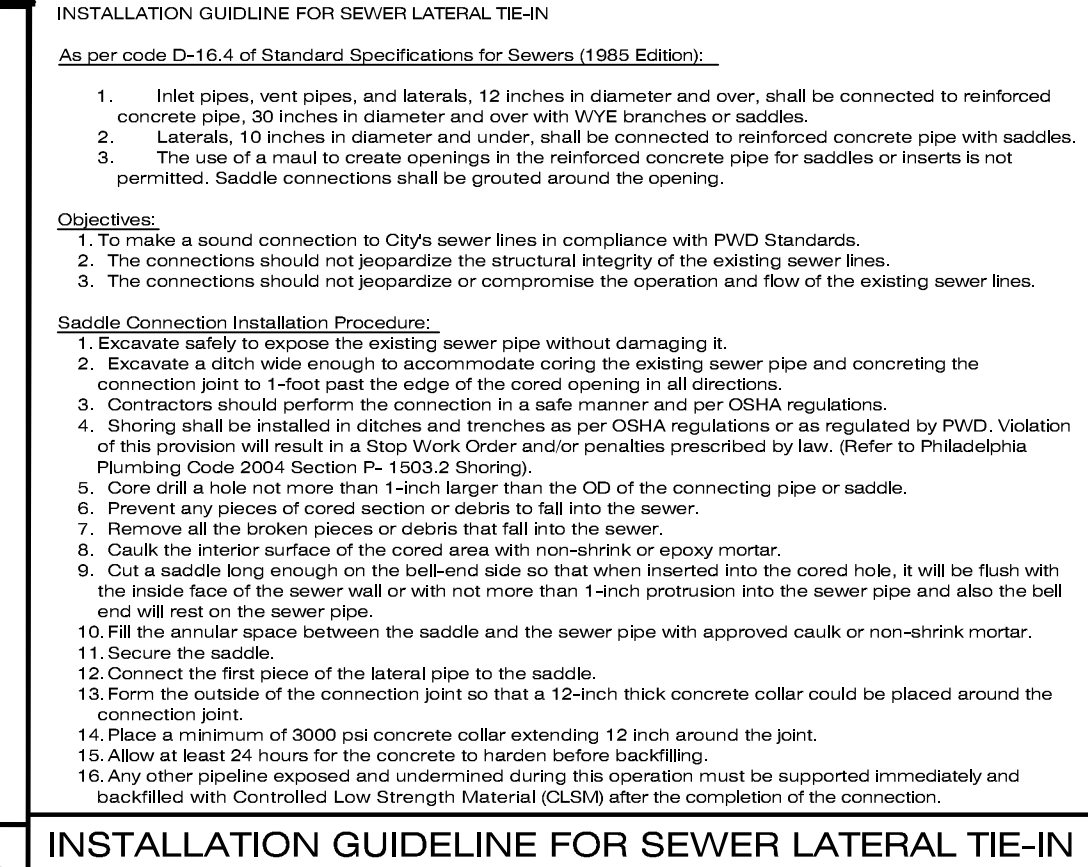
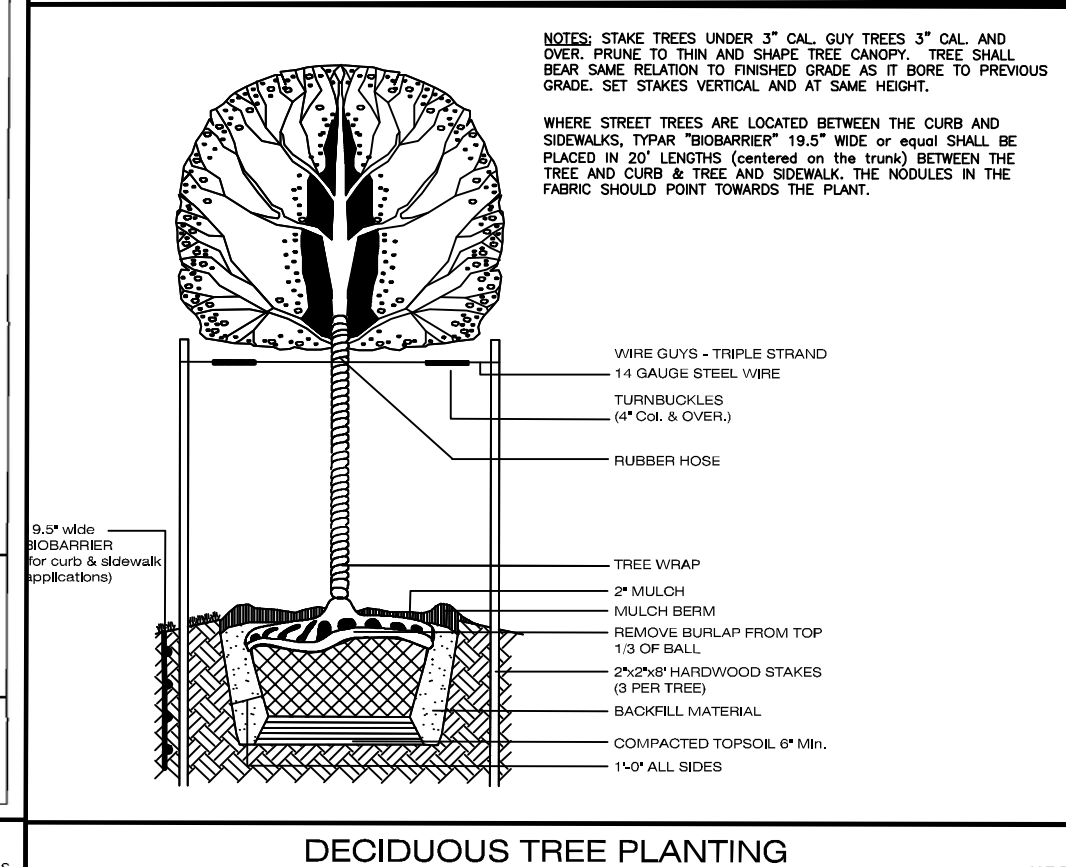
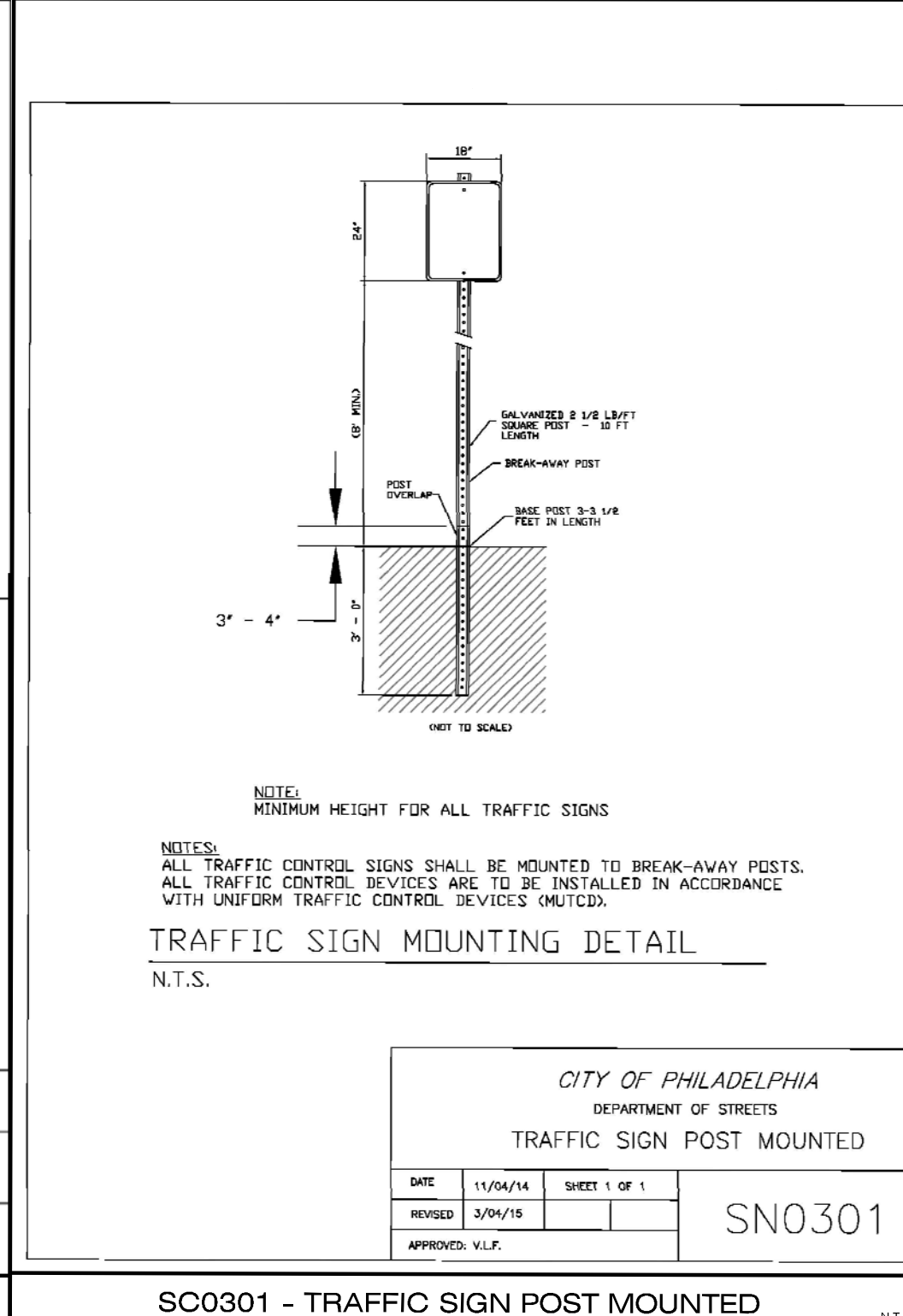
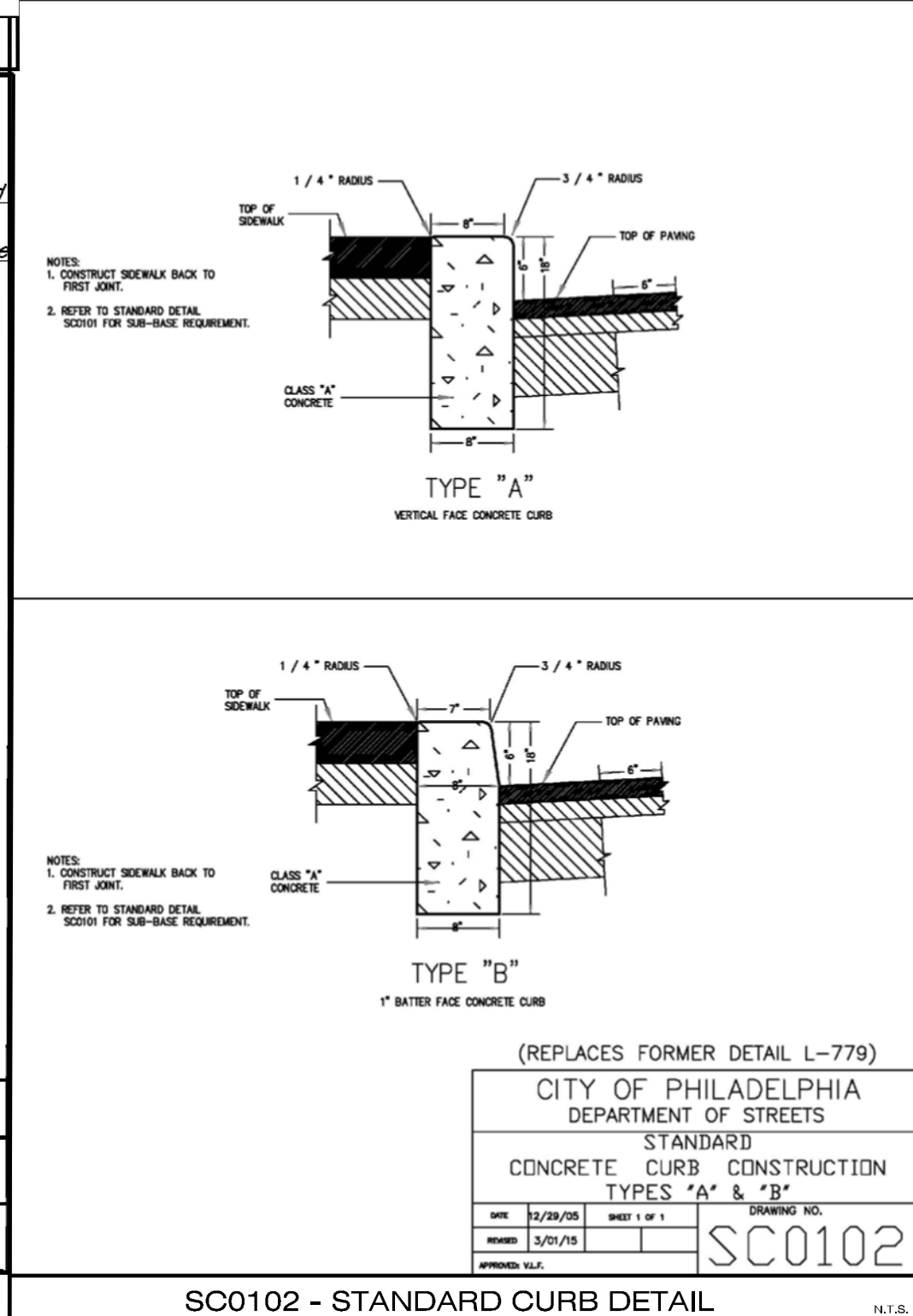
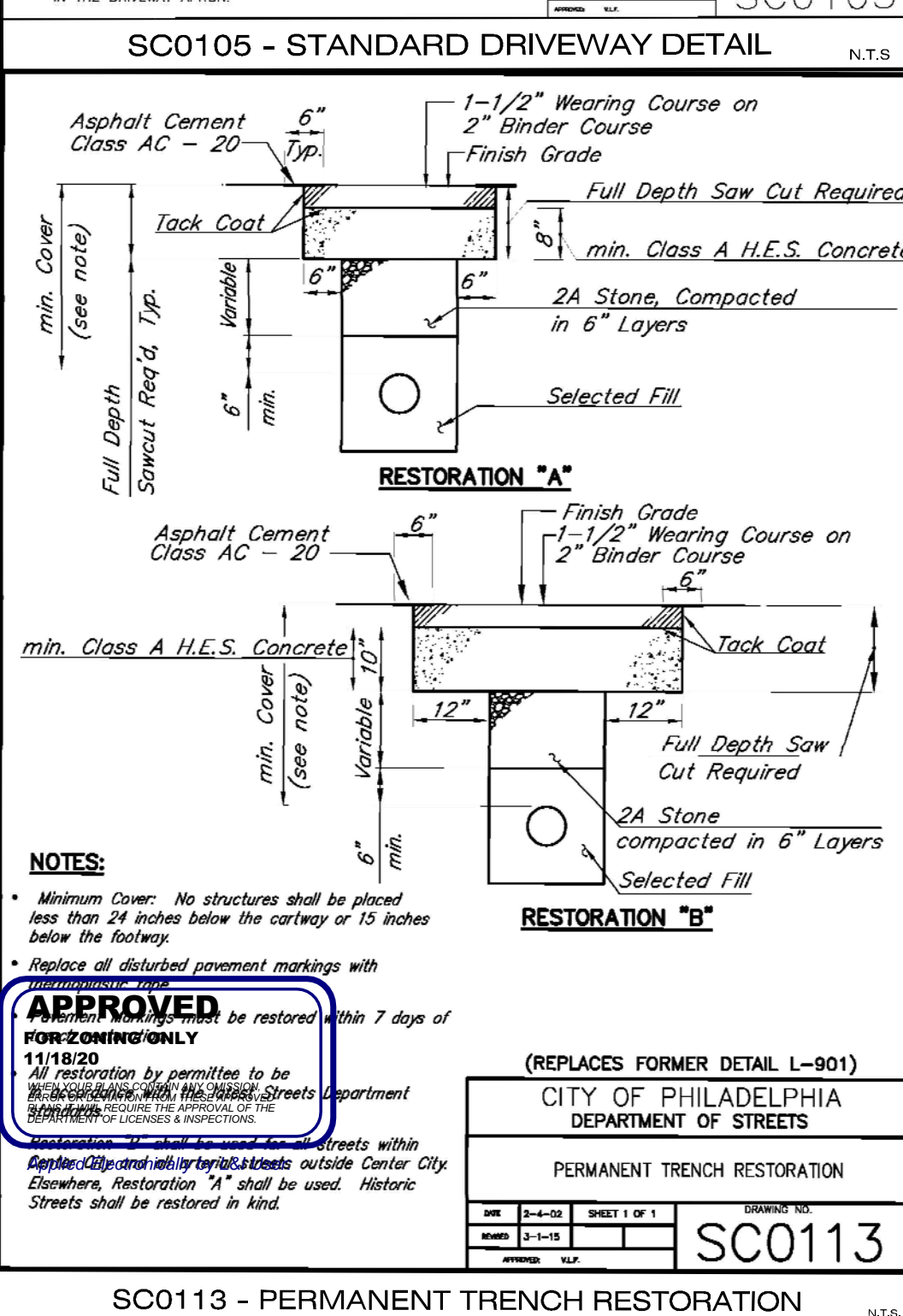
prepared for:
Chris Murray
141 W Phil Elena Street
Philadelphia, PA 19119
em: chrismurray925@gmail.com
ph: (215) 768-5317

DAVID J. PLANTE, Professional Engineer
PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: August 11, 2020
Scale: 1" = 20'-0"

Plan Set Title: TECHNICAL STREETS SUBMISSION
Sheet Title: GRADING / PARKING AND TURNING PLAN
Sheet 3 of 4 ROW Log #2020-9418



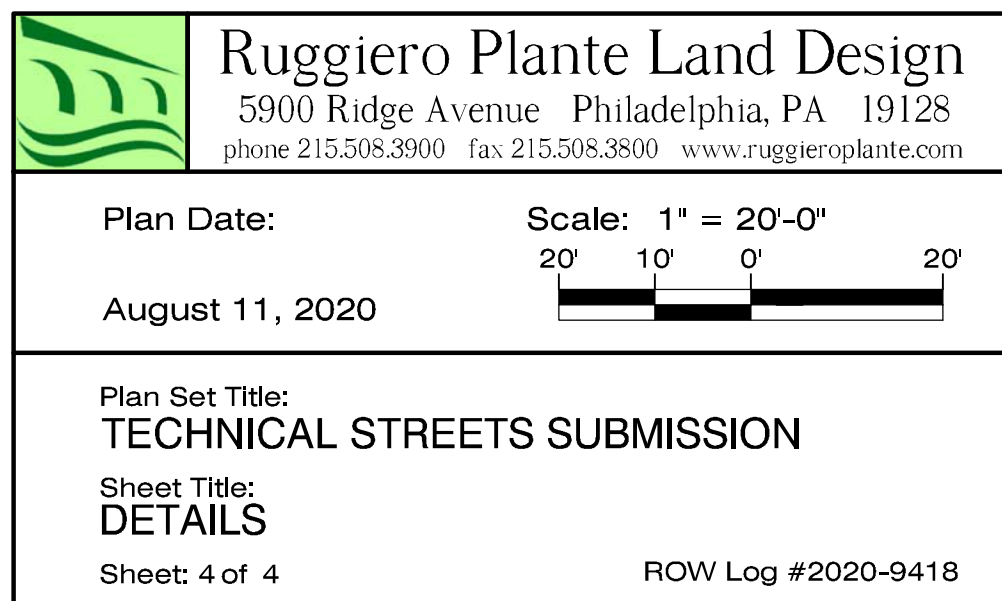
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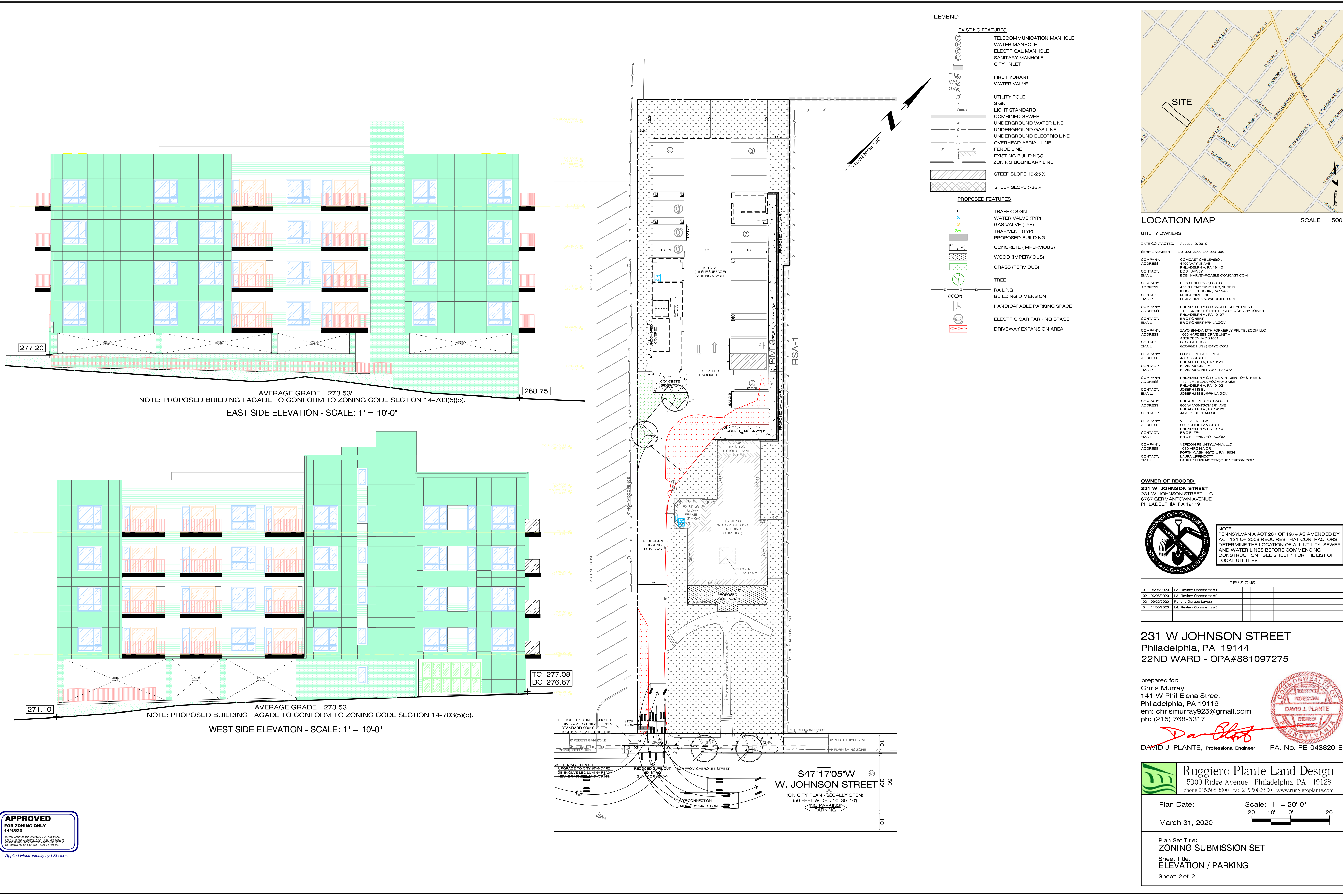
REVISIONS					
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02	09/01/2020	Streets Department Review #2			

231 W JOHNSON STREET
Philadelphia, PA 19144
22ND WARD - OPA#881097275

prepared for:
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ph: (215) 768-5317

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E





<u>LOT REQUIREMENTS</u>	Required	Proposed
Min. Lot Width	16'	75.2'
Min. Lot Area	10,000 SF	22,680 SF
Min. % Open Area (Intermediate)	50%	57.5%
		(7,080sf Proposed, 2,542sf Existing)
		[9,622sf Total / 22,630sf = 42.5%]
<u>BUILDING DIMENSIONS</u>		
Min. Front Yard Setback	20'	20'
Min. Side Yard Setback		
Multi-Family, Detached	2/8' Each	2/8' Each
Min. Rear Yard Setback	20'	20'
Max. Building Height	N/A	50.0'
Max. FAR	150% (36,945 GFA) [24,630 x 150% = 36,945]	145% (35,060 GFA) [Existing GFA: 6,780 + Prop. GFA: 28,280 = 35,060 GFA ~ 145%]
<u>PARKING</u>		
Parking Spaces	13 (3 per 10 units) [(41units)/10]*3 = 12.3]	19
ADA Spaces	1 [2% Total Spaces]	1
Bicycle	14 [1 per 3 units]	14
Electric Car	3 [40-49 units]	3
<u>LANDSCAPING</u>		
Min. % Surface Parking Area	10% (398 SF) [3,986 x 10% = 398]	10.0% (400 SF) [400 x 3,986 = 10.7]
Interior Trees	2 [398 SF / 300 SF = 1.32]	2
Street Trees	2 (1 per 35 LF Frontage) [75 LF / 35 LF = 2.1]	2

W. Johnson Street: Pedestrian - 6' min or half total sidewalk
(Urban Arterial) Furnishing - 4' min
Total Sidewalk Width - 12' min

	QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	NOTES
<u>DECIDUOUS TREES</u>					
	4	Bp	Betula populifolia	Gray Birch	2 1/2' Cal. B

PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
--- APPROVAL FOR ZONING ONLY ---
**NO BUILDING PERMIT IS TO BE ISSUED WITHOUT STAMPED PLANS BY THE
DEPARTMENT OF STREETS FOR FINAL APPROVAL OF SITE PLAN.**
THE APPLICATION REQUIRED TO SECURE THE APPROVAL OF THE ZONING AUTHORITIES
AND SUBMIT PLANS FOR ADDITIONAL REVIEW BY THE STREETS DEPARTMENT

ENCROACHMENT ORDINANCE REQUIRED FOR:

COMMITTEE OF HIGHWAY SUPERVISORS (APPLICATION NO. _____)

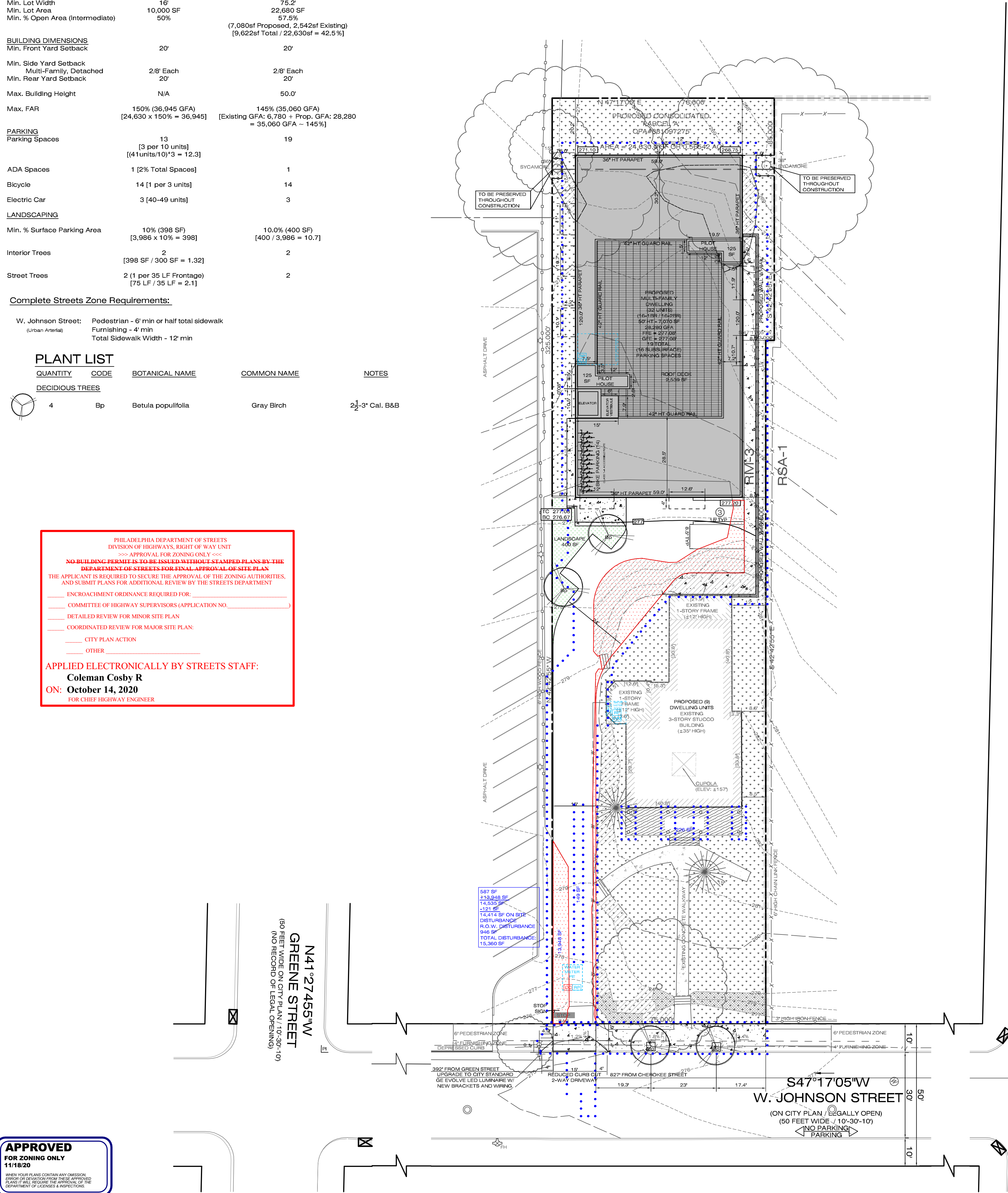
DETAILED REVIEW FOR MINOR SITE PLAN

COORDINATED REVIEW FOR MAJOR SITE PLAN:

CITY PLAN ACTION

OTHER _____

APPLIED ELECTRONICALLY BY STREETS STAFF:
Coleman Cosby R
ON: October 14, 2020
FOR CHIEF HIGHWAY ENGINEER



CHEROKEE STREET
(50 FEET WIDE ON CITY PLAN / 10'-30'-10')

EXISTING FEATURES	
	TELECOMMUNICATION MANHOLE
	WATER MANHOLE
	ELECTRICAL MANHOLE
	SANITARY MANHOLE
	CITY INLET
	FIRE HYDRANT
	WATER VALVE
	UTILITY POLE
	SIGN
	LIGHT STANDARD
	COMBINED SEWER
	UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD AERIAL LINE
	FENCE LINE
	EXISTING BUILDINGS
	ZONING BOUNDARY LINE
	STEEP SLOPE 15-25%
	STEEP SLOPE >25%
PROPOSED FEATURES	
	TRAFFIC SIGN
	WATER VALVE (TYP)
	GAS VALVE (TYP)
	TRAP/VENT (TYP)
	PROPOSED BUILDING
	CONCRETE (IMPERVIOUS)
	ROOF DECK (IMPERVIOUS)
	WOOD (IMPERVIOUS)
	GRASS (PERVIOUS)
	TREE
	RAILINGS
	BUILDING DIMENSION
	HANDICAPABLE PARKING SPACE
	ELECTRIC CAR PARKING SPACE
	DRIVEWAY EXPANSION AREA
	TEMPORARY FENCE

1. Boundary and Location information is based on a field survey performed by Ruggiero Plante Land Design on August 22, 2019.
2. Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet.
3. The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
4. The elevations for this plan are based on City Plan No. 185. The site benchmark is a Survey Stone on the southwesterly corner of Cliveden Street and Cherokee Street having an elevation of 296.10, as shown hereon.
5. The bearings shown hereon are referenced from a TOPOGRAPHICAL SURVEY AND PLAN OF PROPERTY made for Blair Christian Academy by John Towe, Surveyor & Registrar of the 9th Survey District of Philadelphia, dated April 29, 2004.
6. FEMA FIRN map #42075700956 map revised January 17, 2007 is a non-printed map and designates the map as Zone X, areas outside the 500 yr. floodplain.
7. Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
8. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
9. The property is identified as within the Residential Multi-Family (RM-3) Zoning District and is within the Open Space and Natural Resources - Steep Slope Protection Area [Code Section 14-707(2)] and the Watershed Watershed Watershed (WWO) District.
10. Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
11. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
12. This survey does not address the presence or absence of freshwater wetlands.

Deed from Michael F. Young and Mondell L. Powell, dated February, 25, 2002, being recorded in the City of Philadelphia on March 12, 2002 as Document ID 50419152.

1. 'TOPOGRAPHIC SURVEY AND PLAN OF PROPERTY' made for Blair Christian Academy by John Towey, Surveyor & Regulator of the 9th survey district dated April 29, 2004.

In accordance with the terms and provisions of Section 14-510 of the Philadelphia Code pertaining to:

WISSAHICKON WATERSHED OVERLAY DISTRICT

☒ APPROVED

☐ DISAPPROVED

Applied Electronically by: **PAUL A BURNS**

September 30, 2020

PHILADELPHIA CITY PLANNING COMMISSION

In accordance with the terms and provisions of Section 14-704(2) of the Philadelphia Code pertaining to:

STEEP SLOPE PROTECTION:

250

☐ Disapproved: 20/

Applied Electronically by: **PAULA BURNS**

September 30, 2020



SCALE 1"=500'

SEAL: DATE CONTACTED: August 19, 2019

201902313099, 20190231300

COMPANY: COMCAST CABLEVISION
ADDRESS: 4000 VANDYKE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB MARSHALL
EMAIL: BOB_MARSHALL@COMCAST.COM

COMPANY: PECO ENERGY CO/USE
ADDRESS: 450 S HENDERSON RD, SUITE B
OF THE PRUSSIA, PA 19086
CONTACT: NIKHIL SHARMA
EMAIL: NIKHILSHARMA@PECO.COM

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, AREA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONTIER
EMAIL: ERIC.PONTIER@PHILA.GOV

COMPANY: ZAYO BROADCASTING FORMERLY PFI POWER
ADDRESS: 1060 HARCISSE DRIVE UNIT H
ABERDEEN, MD 21011
CONTACT: GEORGE HUSS
EMAIL: GEORGE.HUSS@ZAYO.COM

COMPANY: CITY OF PHILADELPHIA
ADDRESS: 4501 G STREET
PHILADELPHIA, PA 19120
CONTACT: KEVIN MCGILVER
EMAIL: KEVIN.MCGILVER@PHILA.GOV

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1001 G ST, ROOM 600 1001 G
PHILADELPHIA, PA 19102
CONTACT: JOSEPH HUSHEL
EMAIL: JOSEPH.HUSHEL@PHILA.GOV

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19125
CONTACT: JAMES BOCHANSKI

COMPANY: VEOLIA ENERGY
ADDRESS: 2000 W MARKET STREET
PHILADELPHIA, PA 19104
CONTACT: ERIC ELIZY
EMAIL: ERIC.ELIZY@VEOLIA.COM

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 1000 PENNSYLVANIA BLVD
FORTH WASHINGTON, PA 19034
CONTACT: LAURA LIPPINCOTT
EMAIL: LAURA.LIPPINCOTT@ONE.VERIZON.COM

231 W. JOHNSON STREET
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REVISIONS				
01	05/05/2020	L&I Review Comments #1		
02	06/05/2020	L&I Review Comments #2		
03	09/22/2020	Parking Garage Layout		

231 W JOHNSON STREET
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22ND WARD - OPA#881097275

prepared for:
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em: chrismurray925@gmail.com
ph: (215) 768-5317

DAVID J. PLANTE, Professional Engineer

PA. No. PE-043820-E



Plan Date: March 31, 2020

Scale: 1" = 20'-0"

A horizontal graphic scale bar with alternating black and white segments. Above the bar, the labels 20', 10', 0', and 20' are positioned at the start of each segment. The total length of the bar represents 40 feet.

Plan Set Title:
ZONING SUBMISSION SET

Sheet Title:

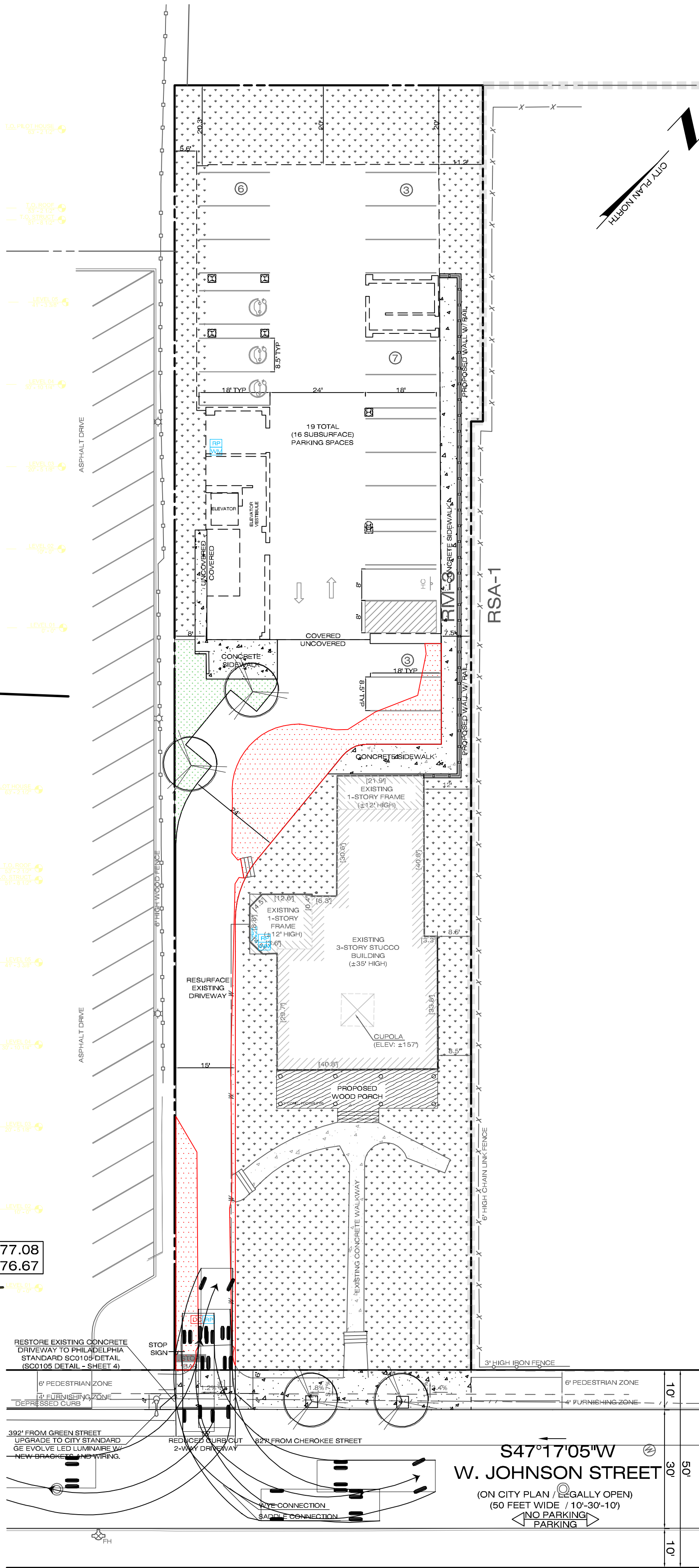
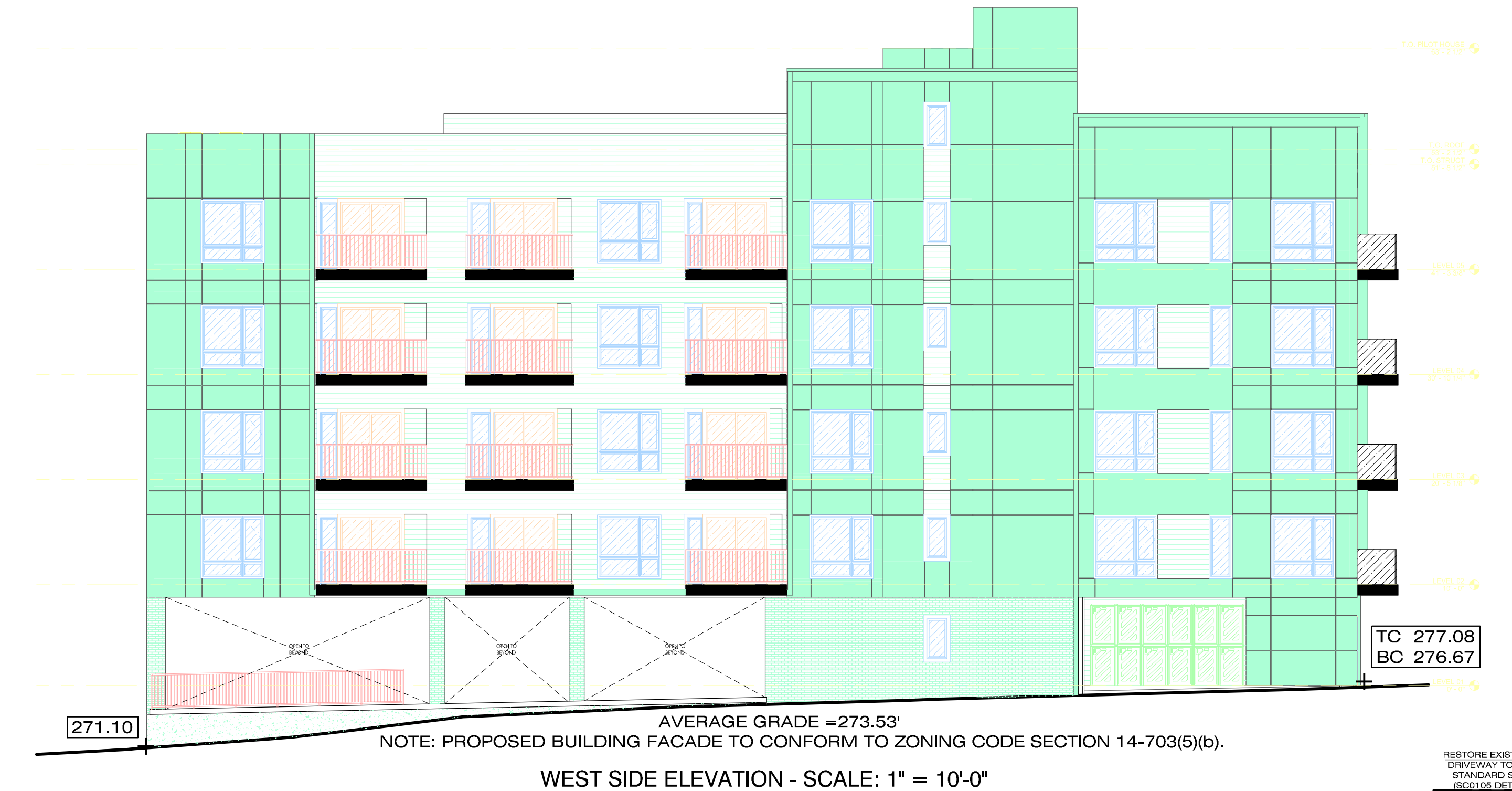
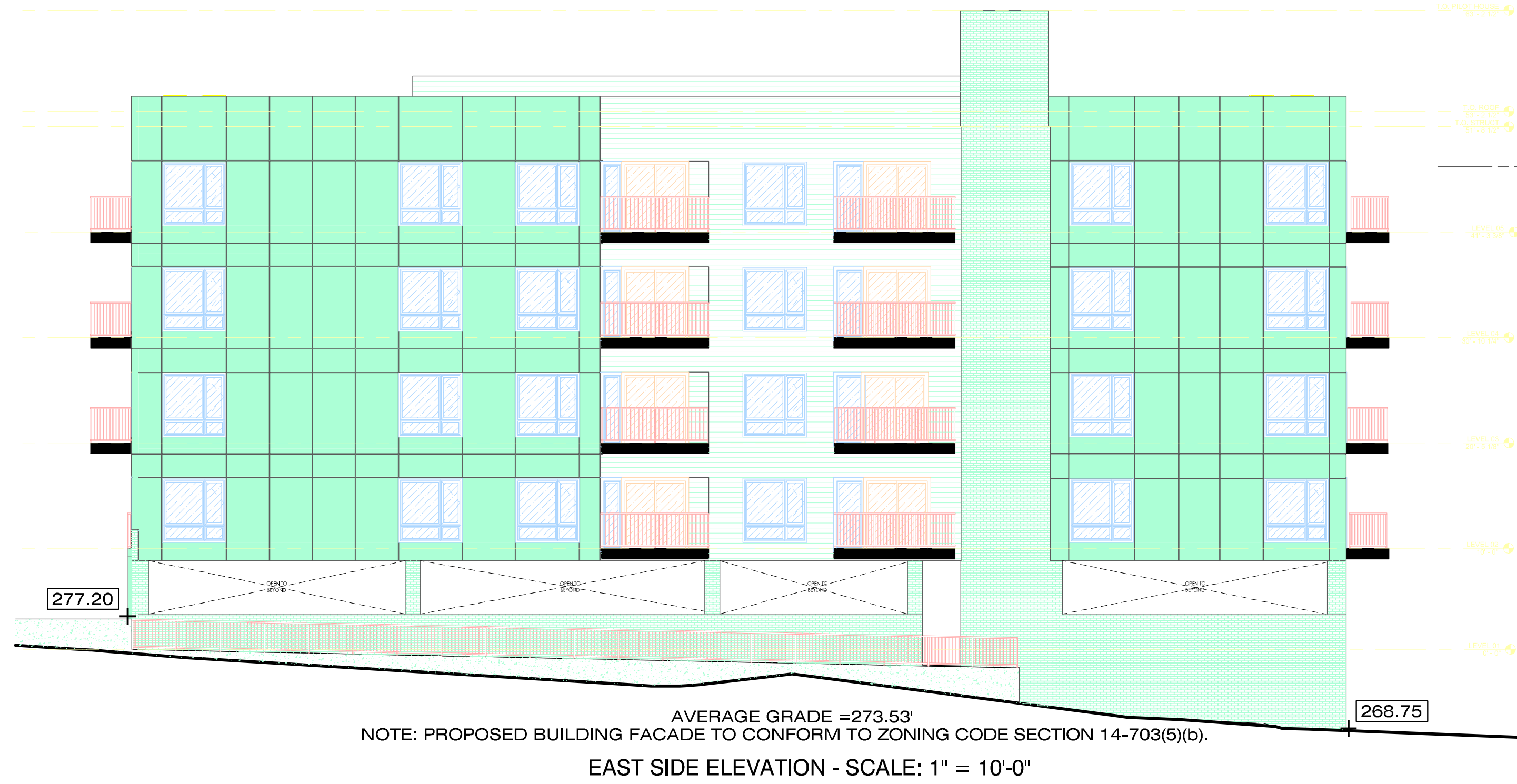
SITE PLAN

Sheet: 1 of 2

FILE: P:\Projects\231 W. Johnson Street\231 W. Johnson St - Proposed 20200314.dwg PLOTTED BY: JAL Date: 11/18/2020 2:03 PM

**APPROVED
FOR ZONING ONLY**
11/18/20
WHEN YOUR PLANS CONTAIN ANY DISCREPANCY
OR CONFLICT WITH ANY CITY ORDINANCE, THE
CITY ENGINEER'S OFFICE SHALL BE THE AUTHORITY
FOR THE DEPARTMENT OF LICENSING & INSPECTION.

Applied Electronically by L&I User:



- LEGEND**
- EXISTING FEATURES**
- TELECOMMUNICATION MANHOLE
 - WATER MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - CITY INLET
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - SIGN
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 - BUILDING DIMENSION
 - HANDICAPABLE PARKING SPACE
 - ELECTRIC CAR PARKING SPACE
 - DRIVEWAY EXPANSION AREA



LOCATION MAP SCALE 1"=500'

UTILITY OWNERS

DATE CONTACTED:	August 19, 2019
SERIAL NUMBER:	20190313099, 2019031300
COMPANY:	COMCAST CABLEVISION
ADDRESS:	4800 WAYNE AVE PHILADELPHIA, PA 19140
CONTACT:	BOB HARVEY
EMAIL:	BOB_HARVEY@CABLE.COMCAST.COM
COMPANY:	PECO ENERGY CO USIC
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Plan Date: March 31, 2020 Scale: 1" = 20'-0"

Plan Set Title: ZONING SUBMISSION SET
Sheet Title: ELEVATION / PARKING
Sheet: 2 of 2