

Zoning Permit

Permit Number ZP-2020-005645

LOCATION OF WORK 1827 HOPE ST Parcel A, Philadelphia, PA 19122	PERMIT FEE \$827.00	DATE ISSUED 8/25/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2.5	

PERMIT HOLDER

APPLICANT
Hercules Grigos DBA: KLEHR HARRISON HARVEY BRANZBUR 1835 Market Street Suite 1400 Philadelphia, PA 19103 USA

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH ACCESSORY BALCONIES, ROOF DECK AND ROOF ACCESS STRUCTURES AND GREEN ROOF (THE APPLICANT MUST EXECUTE AND RECORD A DEED RESTRICTION PRIOR TO ISSUE CERTIFICATE OF OCCUPANCY IN FAVOR OF THE CITY, APPROVED AS TO FORM BY THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND WHICH ALLOWS THE CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS). SIZE AND LOCATION AS SHOWN ON THE APPLICATION / PLAN.

APPROVED USE(S)
Residential - Household Living - Multi-Family; Retail Sales - Food, Beverages, and Groceries - Fresh Food Market

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)

 **CONDITIONS AND LIMITATIONS:**

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code

 Post a copy of this permit in a conspicuous location along each frontage.
Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-005645

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1827 HOPE ST Parcel A, Philadelphia, PA 19122

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR FRESH FOOD MARKET (ON PRIMARY STREET FRONT) AND VACANT COMMERCIAL SPACES (AS PERMITTED ON CMX-2.5; USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) ON 1ST FLOOR AND MULTI-FAMILY HOUSEHOLD LIVING SEVENTY (70) UNITS ON 2ND-6TH FLOORS; AND ACCESSORY INTERIOR OFF STREET TWENTY-SEVEN (27) PARKING SPACES INCLUDING 2 ADA SPACES (1 VAN ACCESSIBLE) AND 6 COMPACT SPACES AND 1 ELECTRIC VEHICLE PARKING SPACE; AND 24 CLASS 1A BICYCLE PARKING SPACES ON ACCESSIBLE ROUTE. SIZE AND LOCATION AS SHOWN ON THE APPLICATION. (NO SIGN ON THIS APPLICATION).

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.

AREA REGULATIONS				
LOT INFORMATION				
ADDRESS: 1828-42 N FRONT STREET, PHILADELPHIA, PENNSYLVANIA, 19122				
CONSOLIDATED LOTS [1827 HOPE OPA #885181180, 1828 N FRONT OPA # 885900117, 1830 N FRONT OPA # 885900127, 1832-42 N FRONT OPA # 882935188]				
TOTAL LOT AREA: 15,290 SF (U.S.S.)				
ZONING: CMX-2.5, COMMERCIAL MIXED USE				
USE RESTRICTIONS				
EXISTING RESTAURANT				
BELOW-GRADE PARKING & MECHANICAL				
PROPOSED USE	1ST FLOOR - COMMERCIAL AS PERMITTED IN CMX-2.5			
	2ND FLOOR - 6TH FLOOR - MULTI-FAMILY RESIDENTIAL 70 UNITS			
	ROOF - DECK, GREEN ROOF			
		REQUIRED/ ALLOWED	EXISTING	PROPOSED
CHAPTER 14-701 DIMENSIONAL STANDARDS				
MINIMUM REAR YARD (FT)	14-701(1)(d)(i),(j),(k)	0'-0" (Note 2)	0'-0"	0'-0"
MAXIMUM OCCUPIED AREA (% OF LOT)		75%	50.7%	75% (Note 11)
MINIMUM FRONT YARD DEPTH (FT)	14-701-3	Built to front lot line	26'-2"	0'-0"
MINIMUM SIDE YARD WIDTH, EACH (FT)		5'-0" if used	0'-0"	0'-0"
MAXIMUM HEIGHT (FT)		70'-0" (Note 8)	22'-0"	67'-6"
MAXIMUM UNITS ALLOWED	14-602(4)(a)(8)(c)	70 (Note 1)	0	70
CHAPTER 14-705 LANDSCAPE AND TREES				
STREET TREE REQUIREMENTS	14-705-2	0 (Note 3)	0	0
CHAPTER 14-804 BICYCLE PARKING RATIOS AND STANDARDS				
BICYCLE PARKING	14-804-1	24 (Note 4)	0	24
CHAPTER 14-800 PARKING & LOADING				
PARKING SPACES	14-802-2	Multi-Family - 0 Retail - 0	15	27
EV PARKING	14-803-6	20 to 29 = 1 Req.	0	1
COMPACT STALLS	14-803-1	25%	0	6 (25%)
ACCESSIBLE PARKING	14-802-4	26 to 50 = 2 Req.	1	2 (Note 10)
OFF STREET LOADING SPACES	14-806-1	0 (Note 5)	0	0

AREA REGULATION NOTES

Note 1: Section 14-602(4)(a)(8)(b). A minimum of 270 sq. ft. of lot area is required per dwelling unit for buildings greater than 45 ft. in height.

Note 2: Section 14-602(4)(a)(8)(c). Provided that if the green roof conditions set forth at 14-602(7) are met, the number of units allowed is 25% greater than indicated by the foregoing lot size requirements, applied prior to the inclusion of any other applicable increases in allowable units, and the provisions of subsections (a) and (b), above, shall not apply. (See Note 7)

15,290 sf of lot / 270 = 56 units allowed + 25% increase per 14-602(4)(a)(8)(c) = 70 units allowed

Note 3: Section 14-701(1)(d)(i), (j), (k). When a property is bounded by two streets that are opposite each other, the remaining two property lines shall be considered sides and the side yard requirements of the zoning district shall apply to the remaining lot lines. The rear yard requirements of the zoning district shall not apply.

Note 4: Section 14-705(2)(c), (2)(d). At least one street tree per 35 ft. of linear frontage shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.

Note 5: Section 14-705(2)(c), (2)(d). For new buildings the building's construction requires a minimum of 5,000 sf of earth disturbance as determined by the Water Department. (c) The roof must be partially or completely covered with a green roof that meets the Water Department's design standards. (e)

The green roof must cover at least 60% of the rooftop. Total Roof Area 9150 sf; 60% minimum green roof 5490 sf to comply; Provided green roof 5547 sf

Note 6: Section 14-804(1) One bicycle parking space is required per every three dwelling units.

70 units / 3 = 24 bicycles parking spaces required

Note 7: Section 14-806-1 The minimum number of off street loading spaces required for commercial districts, for buildings with a gross floor area less than 100,000 square feet, shall be 0.

Note 8: Section 14-602(4)(a)(3) In the CMX-2 and CMX-2.5 districts, in order to promote active uses at the street level, buildings must contain a use other than residential and other than parking along 100% of the ground floor frontage and within the first 30 ft. of building depth, measured from the front building line. If the property is bounded by two or more streets, only the primary frontages as designated in 14-701(1)(d)(i), (j), (k) shall be subject to this requirement.

Note 9: Section 14-602(7) Green Roofs; (b) For new buildings the building's construction requires a minimum of 5,000 sf of earth disturbance as determined by the Water Department. (c) The roof must be partially or completely covered with a green roof that meets the Water Department's design standards. (e)

The green roof must cover at least 60% of the rooftop. Total Roof Area 9150 sf; 60% minimum green roof 5490 sf to comply; Provided green roof 5547 sf

AREA REGULATION NOTES

Note 1: Section 14-603(7)(a) Fresh Food Market Requirements - In order to receive the incentives of this section the following requirements must be met: (1) The fresh food market must be located on the ground floor of the structure and accessible through a separate entrance that must be located along the primary street frontage.

(2) At the time of application, no fresh food market that meets the definition set forth in 14-603(6)(d)(i), (1) may be in operation within 1,000 feet of the proposed project.

14-603(7)(d) Additional Building Height - For zoning districts that are regulated by height in 14-701: buildings containing fresh food markets may exceed the maximum building height of the subject zoning district by up to 15 ft.

CMX-2.5 height 55'-0" + 15'-0" Fresh Market Bonus = 70'-0" Max Height; Proposed height 67'-6"

Note 2: Section 14-603(6)(d)(i), (1) Fresh Food Market - An establishment primarily engaged in the sale of grocery products and that provides all of the following: (a) at least 5,000 sf of customer-accessible floor area used for display and sales of a general line of food and nonfood grocery products such as dairy, canned and frozen foods, fresh fruits and vegetables, and fresh and prepared meats, fish, and poultry intended for home preparation, consumption, and use; (b) at least 25% of retail inventory by volume is in the form of perishable goods, which must include dairy, fresh fruits and vegetables, and frozen foods and that may include fresh meats, poultry, and fish; and (c) at least 750 sf of such customer-accessible sales and display area is used for the sale of fresh fruits and vegetables.

Note 3: Section 14-802(5) Parking for Persons with Disabilities (a) Where off-street parking is provided, accessible parking spaces complying with ICC/ANSI A117.1 shall be provided in compliance with Table 14-802-4. For every six of fraction of six accessible parking spaces required by Table 14-802-4, at least one shall be a van-accessible parking space complying with ICC/ANSI A117.1.

27 total parking spaces provided; 26 to 50 parking spaces requires 2 accessible stall according to Table 14-802-4. At least of the accessible stalls is required to be van accessible. Accessible parking needed = 1 van-accessible stall + 1 accessible stall.

Note 11: Section 14-701(3) CMX-2.5 Max Occupied Area (Percentage of lot) - Intermediate: 75; Corner: 80.

Lot Size 15,290 sf x 75% = 11,467 sf Max Occupied Area.

Location	Total Gross Square Footage
Basement	15,290
1st Floor	10,547
2nd Floor	11,420
3rd Floor	11,420
4th Floor	11,420
5th Floor	11,418
6th Floor	11,148
Total Square Footage	82,861

Per 14-701(1)(d)(i), the City Planning Commission has determined that:

Front is the primary street;

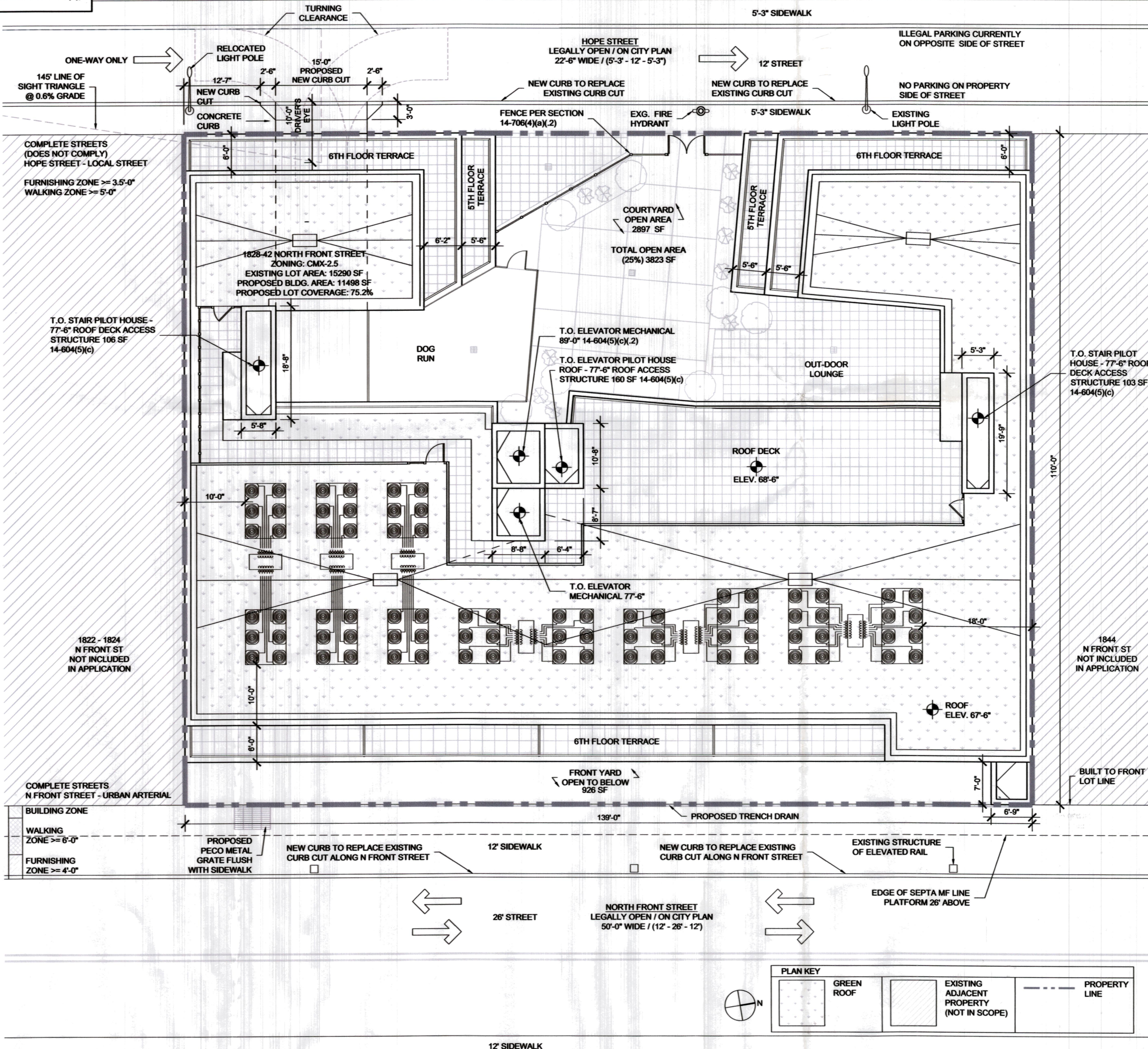
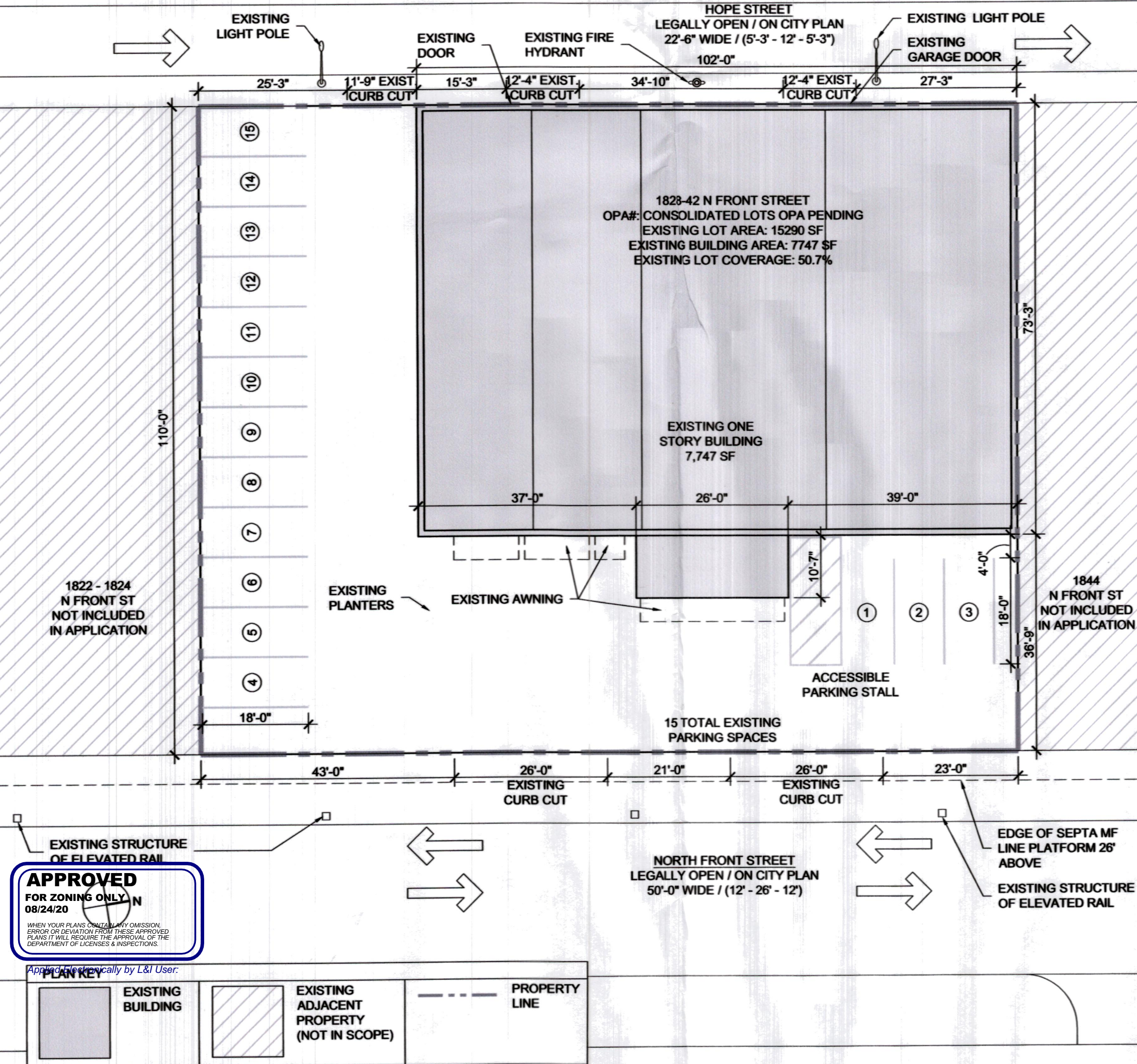
Opposite of Hope Street is the rear street;

HOPE Street is the rear street

PHILADELPHIA CITY PLANNING COMMISSION

19-289-3

FEB 19 2020



Versions

No.	Date	Description
1	10/04/2019	Zoning Submission
2	02/14/2020	Zoning Amendment #1

ZONING AMENDMENT #1

02/14/2020

Architect

COSCIA MOOS ARCHITECTURE

1616 Walnut Street, Suite 101
Philadelphia, PA 19103
267 761 9416

Signature and Seal

Project

1828-42 N. FRONT STREET

PHILADELPHIA, PA 19122

Sheet Title

EXISTING PLAN & SITE PLAN

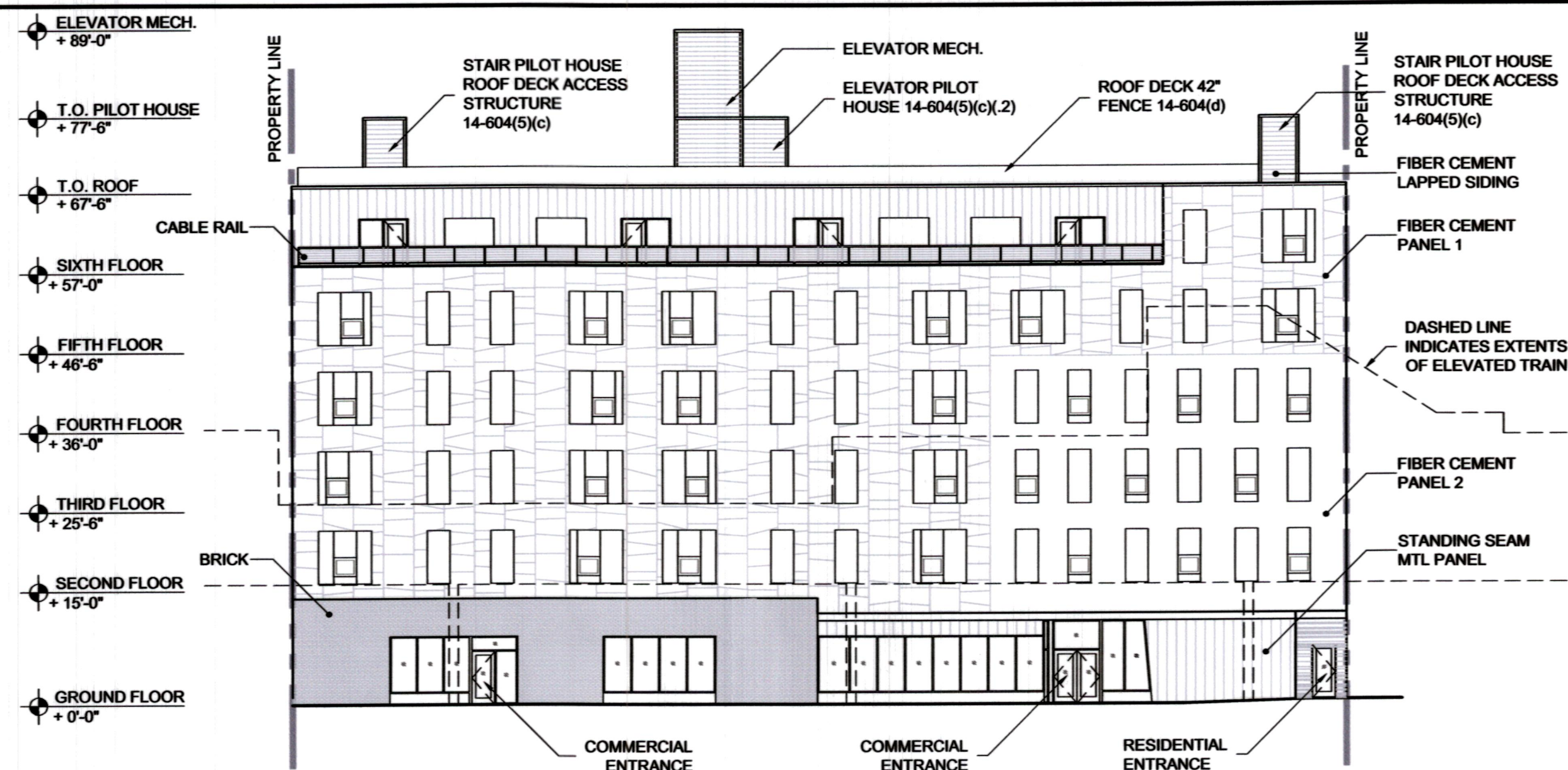
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Drawn JL

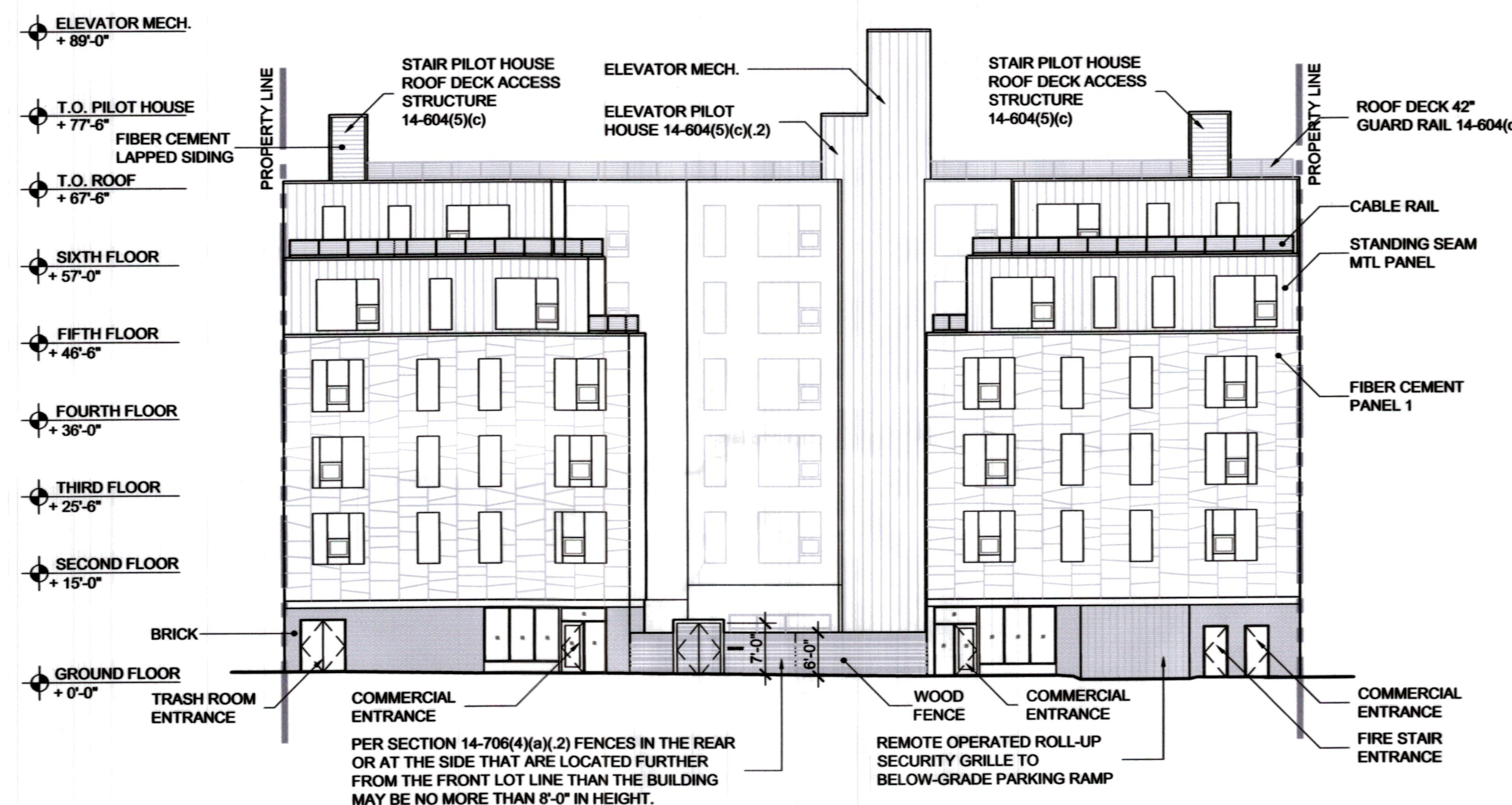
Project No. #396

Sheet No.

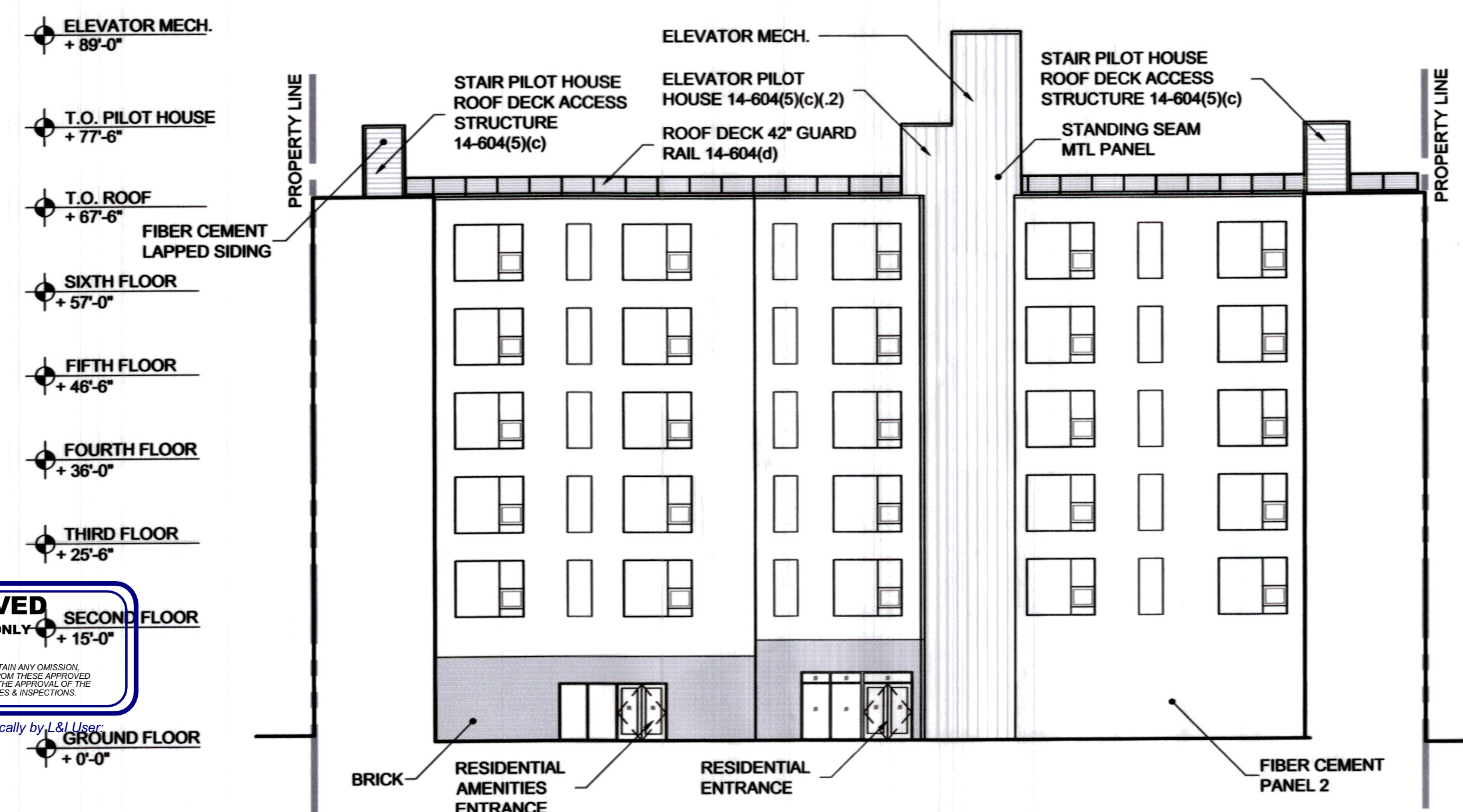
Z101



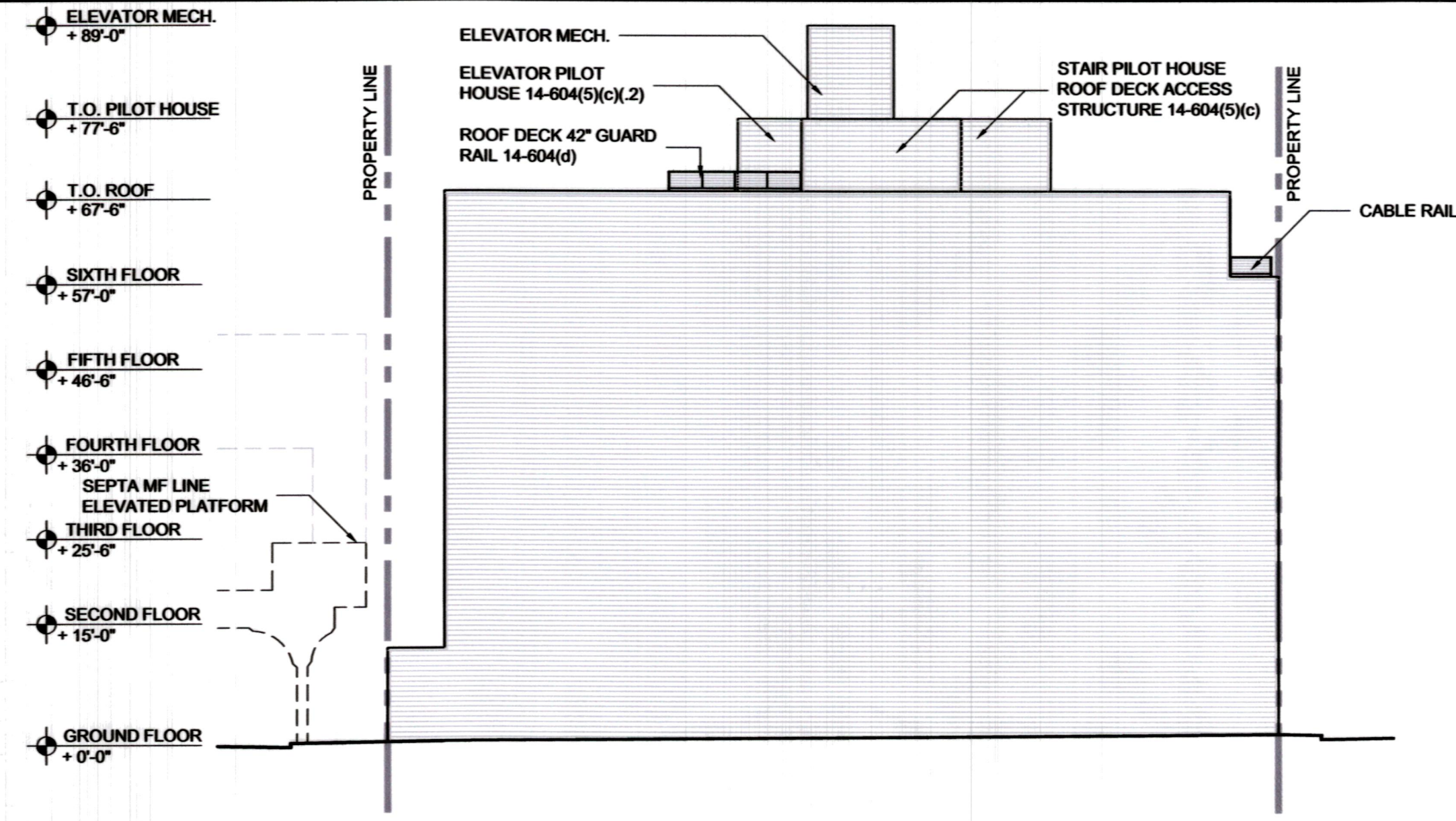
1 EAST ELEVATION
Z103 SCALE: 1/16" = 1'-0"



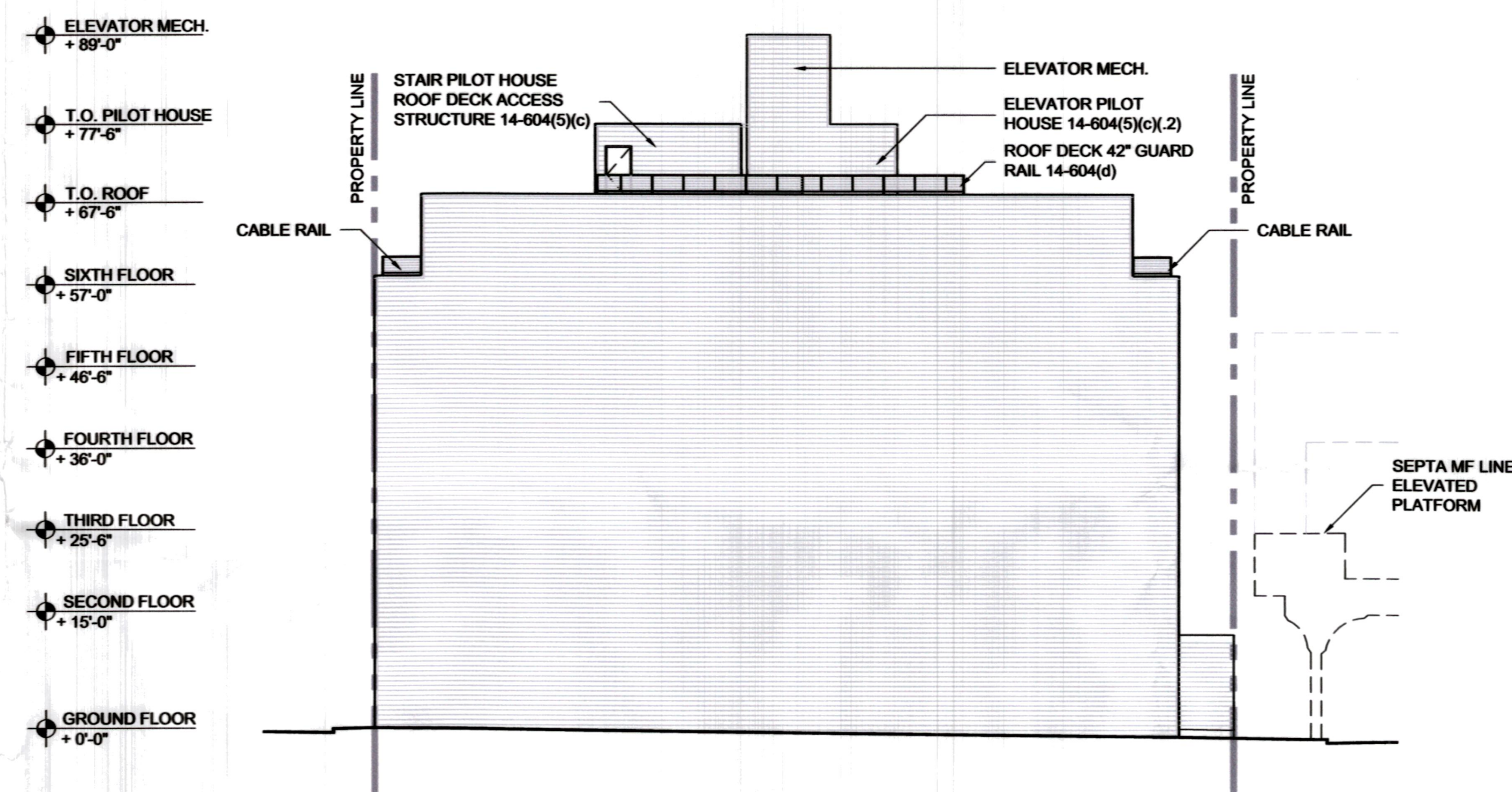
3 WEST ELEVATION
Z103 SCALE: 1/16" = 1'-0"



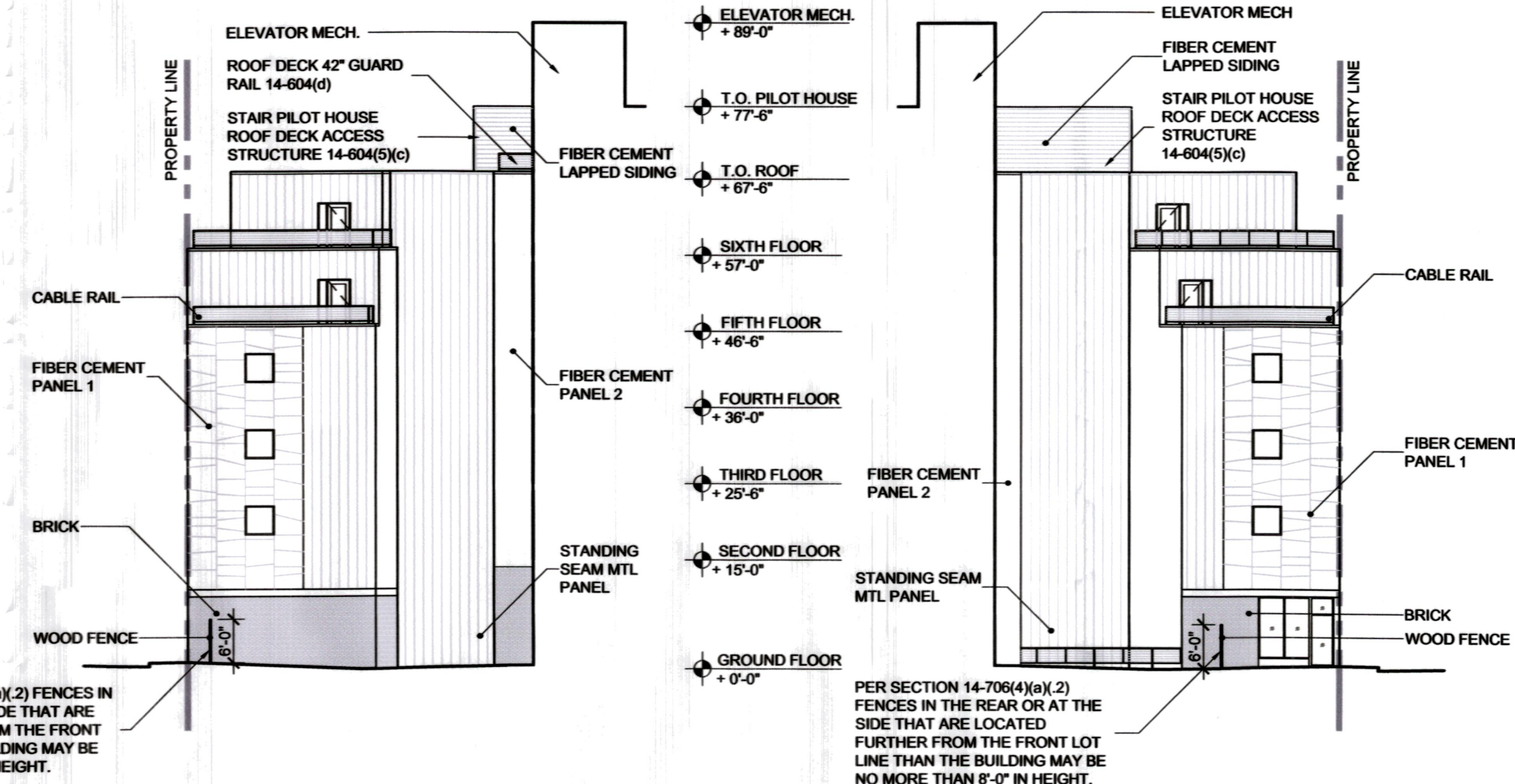
5 COURTYARD - WEST ELEVATION
Z103 SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
Z103 SCALE: 1/16" = 1'-0"



4 SOUTH ELEVATION
Z103 SCALE: 1/16" = 1'-0"



6 COURTYARD - NORTH ELEVATION
Z103 SCALE: 1/16" = 1'-0"

7 COURTYARD - SOUTH ELEVATION
Z103 SCALE: 1/16" = 1'-0"

APPROVED
FOR ZONING ONLY - SECOND FLOOR
08/24/20
MAKING YOUR PLANS CONTAIN ANY CHANGES
PRIOR TO ELEVATOR INSTALLATION AND/OR
PLUMBING AND/OR ELECTRICAL WORK IS THE
RESPONSIBILITY OF THE CLIENT AND/OR ARCHITECT.

Applied Electronically by: [Signature]

Versions		
No.	Date	Description
1	10/04/2019	Zoning Submission
2	02/14/2020	Zoning Amendment #1

ZONING AMENDMENT #1
02/14/2020

Architect

COSCIA MOOS
ARCHITECTURE

1616 Walnut Street, Suite 101
Philadelphia, PA 19103
267 761 9416



Signature and Seal
Project

1828-42 N. FRONT STREET

PHILADELPHIA, PA 19122

Sheet Title
EXTERIOR ELEVATIONS

Scale: 1/16" = 1'-0" Drawn: JL Project No.: #390
Sheet No.:

Z103