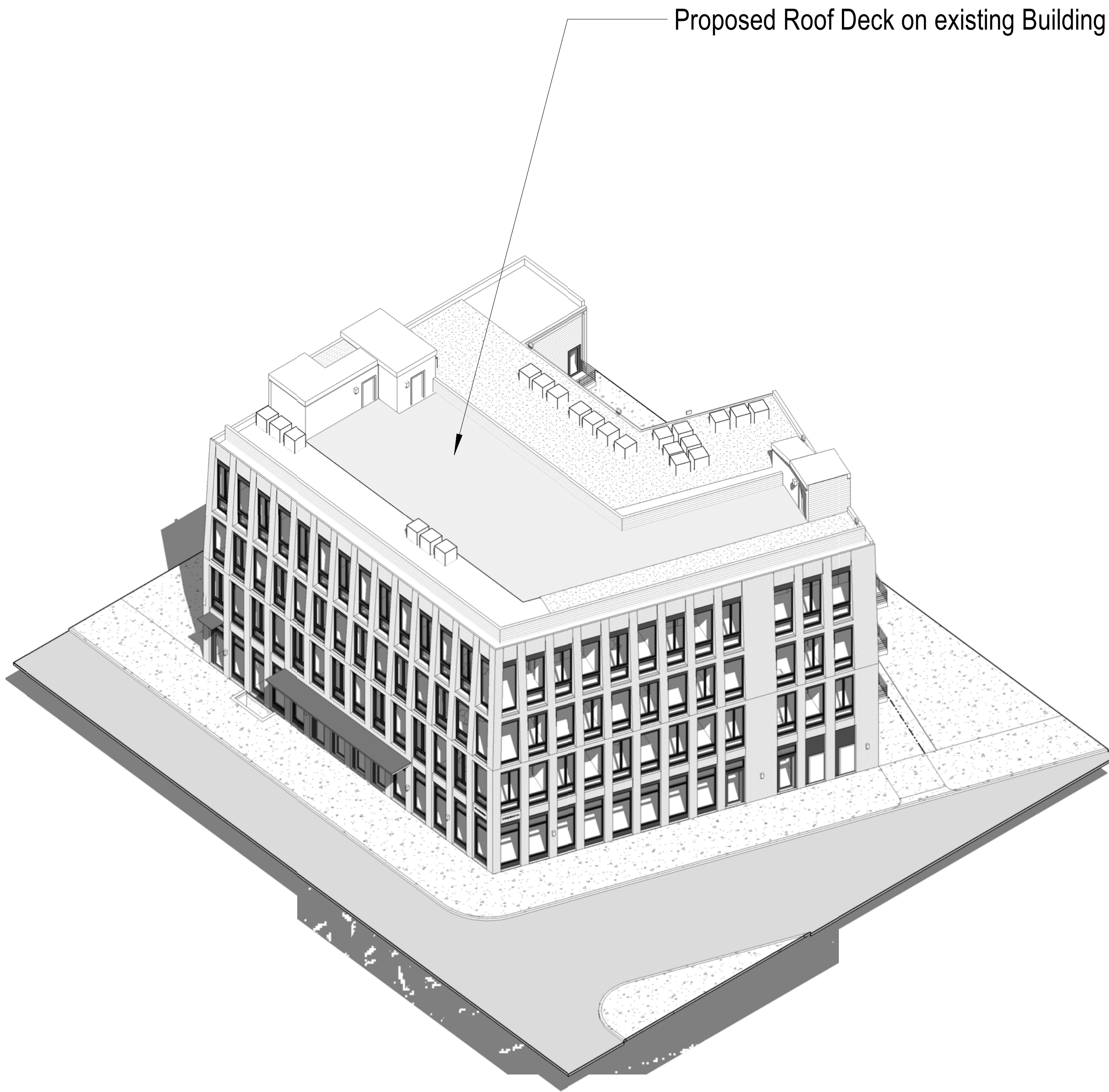
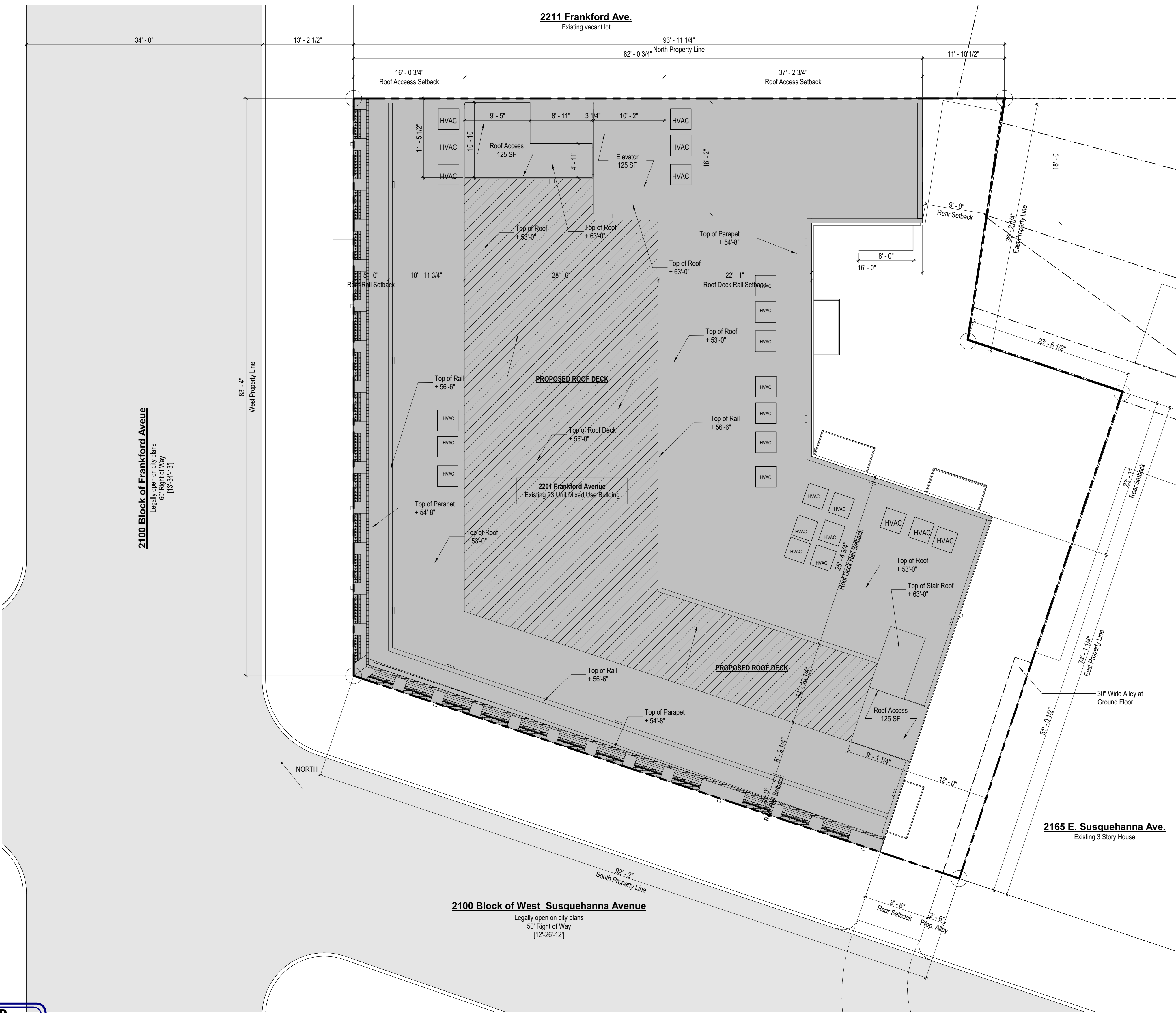


PROJECT SUMMARY: 2201 Frankford Avenue		
ZONING: CMX-2 ABUTTING ZONING DISTRICT: CMX-2 LOT AREA: 9616.4 SF		
USE: MIXED-USE COMMERCIAL/RESIDENTIAL BUILDING BASEMENT - COMMERCIAL GROUND FLOOR - RESIDENTIAL AND COMMERCIAL SPACE 2ND FLOOR - RESIDENTIAL 3RD FLOOR - RESIDENTIAL 4TH FLOOR - RESIDENTIAL ROOF - ROOF DECK AND ACCESS STRUCTURES (ROOF DECK IS ONLY ITEM THAT IS PART OF THIS APPLICATION)		
DIMENSIONAL STANDARDS		
	REQUIRED / ALLOWED	PROPOSED
OPEN AREA	1923.28 SF (20.00%)	2113.4 SF (22.00%) Existing
BUILDING AREA	7693.12 SF (80.00%)	7503.00 SF (78.0%) Existing
REAR YARD	9' MIN	24'-0" Existing
HEIGHT		53'-0" Existing
TOP OF PARAPET	56'-4" Existing	
TOP OF ROOF ACCESS	63'-0" Existing	

The Yellowjacket

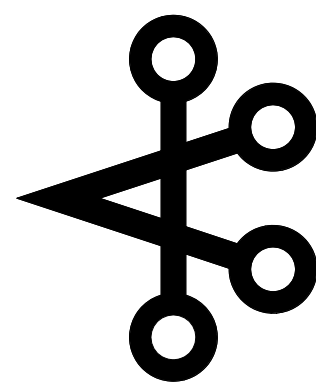
Mixed Use Building:

2201 Frankford Ave. Philadelphia, PA 19125 Philadelphia, PA 19125



Applied Electronically by L&L User:

412 SOUTH 2nd STREET
PHILADELPHIA, PA 19147
267.909.0004
WWW.AMBITARCHITECTURE.COM



AMBIT
ARCHITECTURE

DATE	REVISION

Mixed Use Building:
2201 Frankford Ave. Philadelphia, PA 19125

Z1A

Zoning Permit

Permit Number ZP-2021-015707

LOCATION OF WORK 2201 FRANKFORD AVE, Philadelphia, PA 19125-2007	PERMIT FEE \$1,412.00	DATE ISSUED 12/7/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR ERECTION OF ACCESSORY ROOF DECK (FOR RESIDENTIAL USE ONLY) WITH ROOF ACCESS STRUCTURE ABOVE THE EXISTING ROOF AS PART OF AN EXISTING ATTACHED STRUCTURE AS PREVIOUSLY APPROVED (PERMIT # 1039209). SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLAN.

APPROVED USE(S)
Residential - Household Living - Multi-Family; Retail Sales - Food, Beverages, and Groceries - Fresh Food Market

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-015707

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2201 FRANKFORD AVE, Philadelphia, PA 19125-2007

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR (NO CHANGE IN USE) ALL USES AS PREVIOUSLY APPROVED ON PERMIT # 1039209 AS FRESH FOOD MARKET ON THE FIRST FLOOR WITH TWENTY-SIX (26) DWELLING UNITS ON THE FIRST FLOOR THROUGH FOURTH FLOOR, WITH NINE (9) CLASS 1A BICYCLE SPACES ON AN ACCESSIBLE ROUTE, WITH INTERIOR ACCESSORY PARKING FOR SIX (6) VEHICLE INCLUDING ONE (1) ADA SPACE.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.