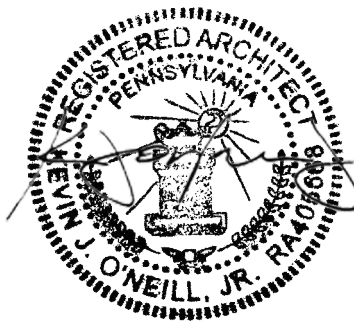




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ISSUED FOR:	DATE:
ZONING	03.11.19
REVISION	06.17.19
REVISION	08.20.19
ZBA	09.18.19
ZONING AMEND.	12.18.19
ZONING AMEND.	02.02.21

SCALE: AS NOTED

SHEET SIZE: ARCH D 24X36
SITE PLAN
BUILDING SECTION
ZONING DATA

Z - 1

ZONING DATA		
RSA-5		
RSA-5	REQ'D/ALLOWED	2023-2025 FRANKFORD AVE. / 2024 SEPVIVA ST. PROPOSED
LOT WIDTH	16'	32'-0"
LOT AREA	1,440	2,880 SF (EXST)
OPEN AREA	25%, 20% MIN. *	204.8 (7.1%)
FRONT SETBACK	0	0
REAR YARD DEPTH	9'	5'-0"
BUILDING HEIGHT	38' MAX.	43'-0"
STREET PROJECTIONS	PER STREETS DEPT	BAY WINDOW

* 25% INTERMEDIATE, 20% CORNER

FRANKFORD AVE.

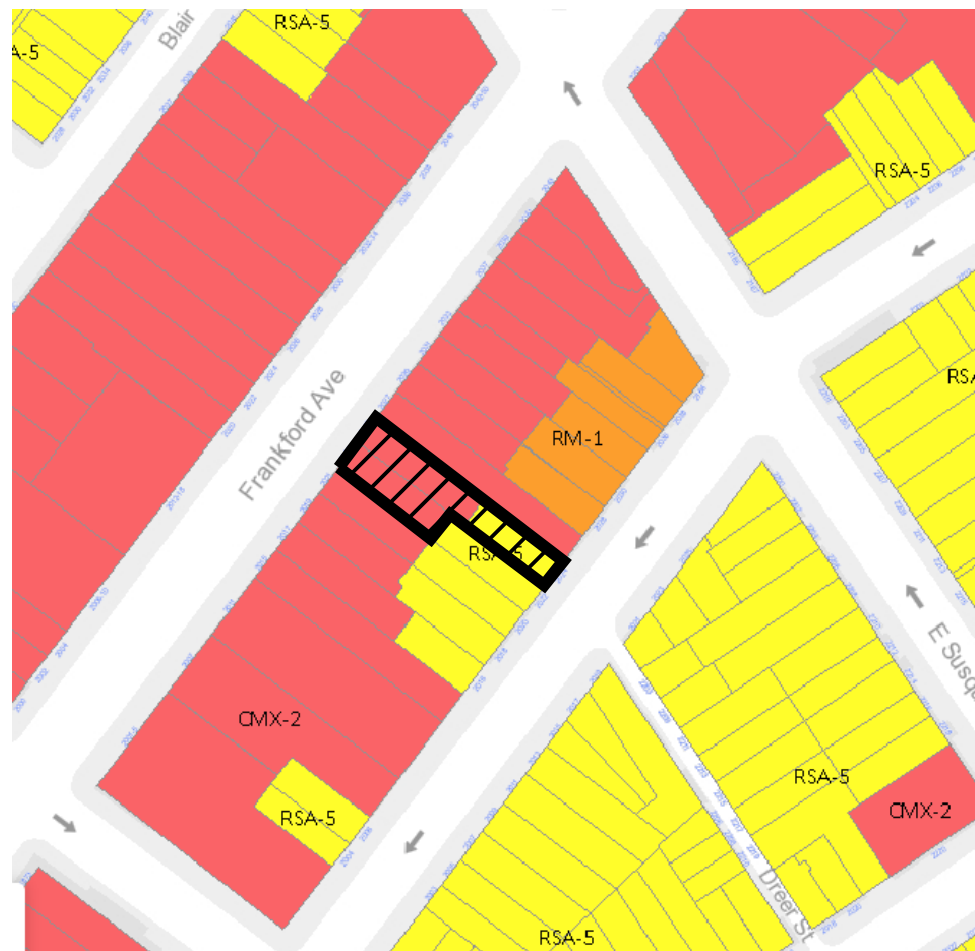
PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 BUSINESS DAYS BEFORE YOU DIG!
1-800-242-1776 OR 8-1-1
POCS SERIAL NO.: 20190721613
DATE: 03 / 13 / 2019

ALL LOCATION MEASUREMENTS ARE APPROXIMATE
AND ARE SUBJECT TO CHANGE BEFORE
CONSTRUCTION BEGINS

SEPVIVA ST.

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 BUSINESS DAYS BEFORE YOU DIG!
1-800-242-1776 OR 8-1-1
POCS SERIAL NO.: 20190721626
DATE: 03 / 13 / 2019

ALL LOCATION MEASUREMENTS ARE APPROXIMATE
AND ARE SUBJECT TO CHANGE BEFORE
CONSTRUCTION BEGINS

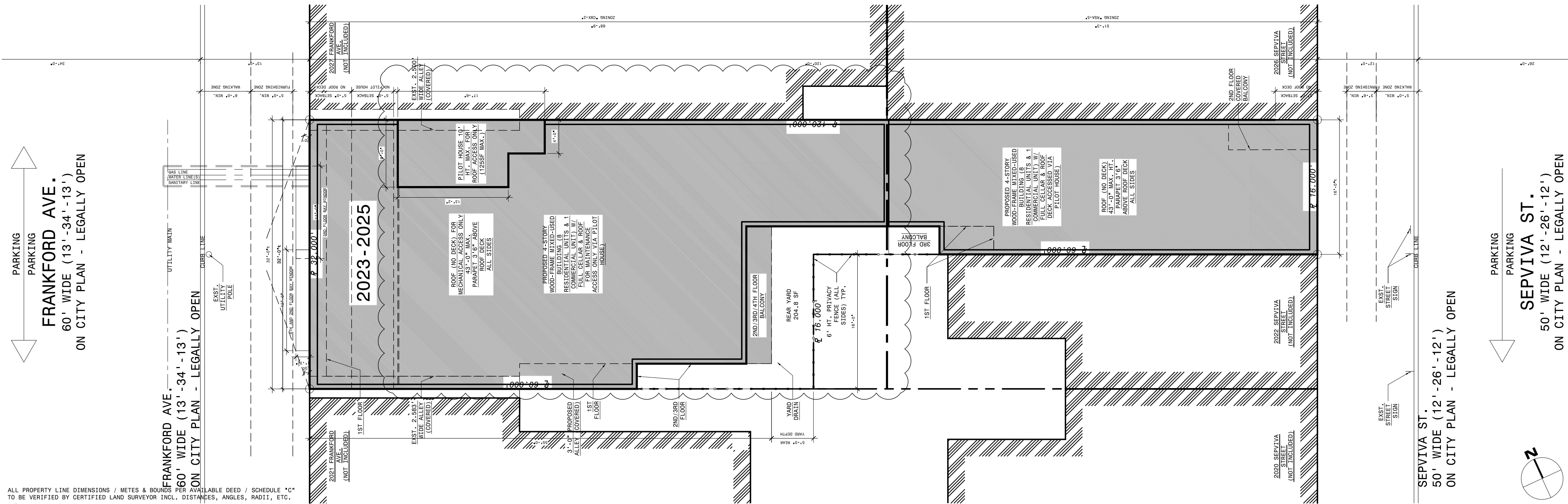


3/21 LOCATION MAP
N.T.S.

LEGEND	
	EXISTING CONSTRUCTION
	OCCUPIED AREA
	ROOF DECK
	FENCE
	PROPERTY LINE
	PAVEMENT RESTORATION LIMIT

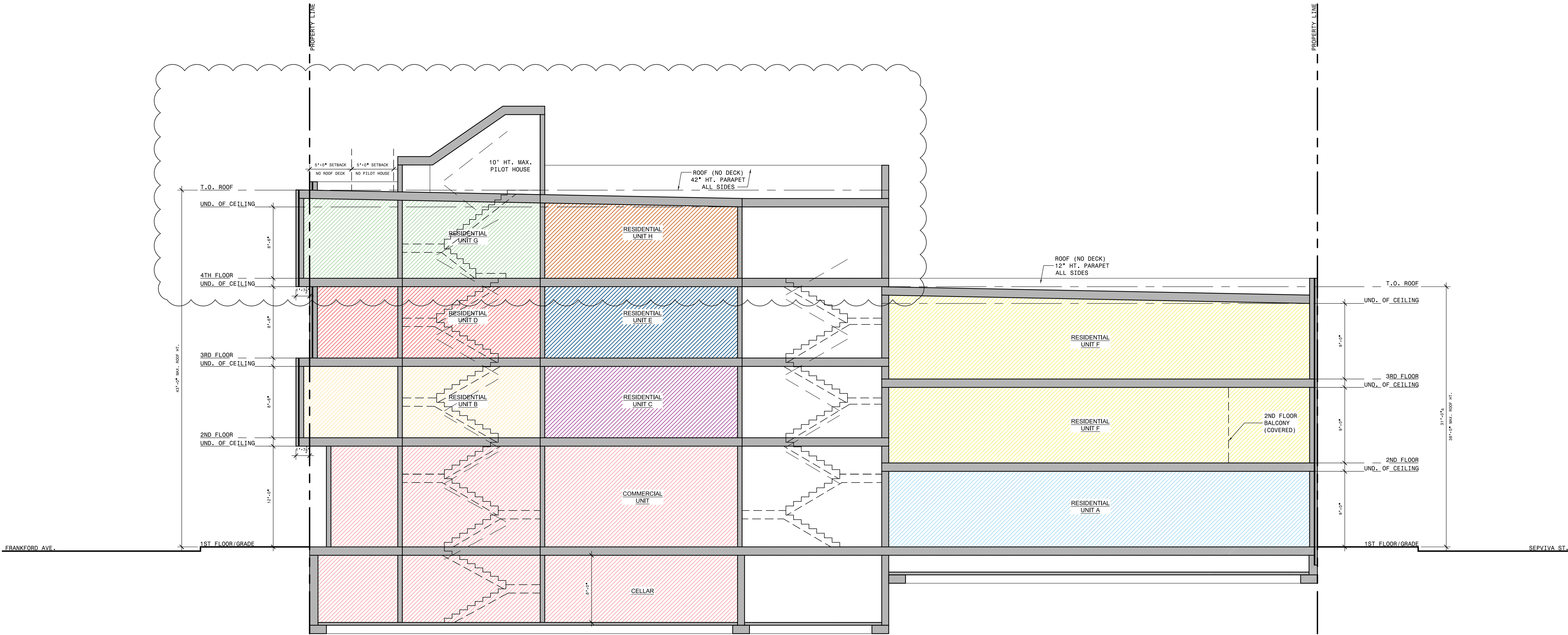
UTILITY NOTES

1. ALL UTILITIES SHOWN ARE DIAGRAMMATIC & FOR REFERENCE ONLY.
2. ALL UTILITY INFORMATION & LOCATIONS SHALL BE DETERMINED BY CIVIL ENGINEER.
3. ALL SIZING SHOWN ARE ESTIMATES. FINAL SIZING SHALL BE DETERMINED BY M/E/P ENGINEER & COORDINATED WITH FINAL PLUMBING DRAWINGS AND PERMITS.



ALL PROPERTY LINE DIMENSIONS / METES & BOUNDS PER AVAILABLE DEED / SCHEDULE **
TO BE VERIFIED BY CERTIFIED LAND SURVEYOR INCL. DISTANCES, ANGLES, RADII, ETC.

1/21 SITE PLAN
1/8"=1'-0"



APPROVED BUILDING SECTION
FOR ZONING ONLY
02/05/21

WHEN THESE PLANS CONTAIN ANY OMISSION,
ERROR OR DISCREPANCY FROM THESE APPROVED
DRAWINGS, THE DESIGNER SHALL BE RESPONSIBLE
FOR CORRECTION AND REVISIONS.

Applied Electronically by L&J User:

Zoning Permit

Permit Number ZP-2020-003716

LOCATION OF WORK 2023 FRANKFORD AVE Parcel C, Philadelphia, PA 19125-1920	PERMIT FEE \$880.00	DATE ISSUED 9/18/2019
	ZBA CALENDAR	ZBA DECISION DATE 9/18/2019
	ZONING DISTRICTS	

PERMIT HOLDER

APPLICANT
Kevin O'Neill DBA: KJO ARCHITECTURE LLC 2424 E York St Ste 110 Philadelphia, PA 19125 USA

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE COMPLETE DEMOLITION OF EXISTING STRUCTURE ON LOT; FOR THE ERECTION OF AN ATTACHED STRUCTURE (MAXIMUM HEIGHT 43' ALONG FRANKFORD AVE SIDE AND 31' ALONG SEPVIVA ST) AND ROOF DECK ACCESSED BY A PILOTHOUSE (ALONG FRANKFORD AVE) WITH BALCONIES (SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
revised plans consisting of 1 page stamped today 9/18/19 by zba

 **CONDITIONS AND LIMITATIONS:**

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.

 **Post a copy of this permit in a conspicuous location along each frontage.**

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-003716

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2023 FRANKFORD AVE Parcel C, Philadelphia, PA 19125-1920

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A VACANT COMMERCIAL SPACE AT FIRST FLOOR (USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) IN THE SAME BUILDING WITH MULTI-FAMILY HOUSEHOLD LIVING (EIGHT (8) DWELLING UNITS) FROM SECOND FLOOR THROUGH FOURTH(4TH) FLOORS. AMENDED PERMIT TO REMOVE ONE(1) OF TWO(2) PREVIOUSLY APPROVED PILOT HOUSES (FRANKFORD AVE SIDE REMAINS). ROOF DECK IS REMOVED. PILOT HOUSE ACCESS TO ROOF FOR MAINTENANCE ONLY OF PREVIOUSLY APPROVED STRUCTURE.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.