

Zoning Permit

Permit Number ZP-2022-001068

LOCATION OF WORK 3030 N BROAD ST, Philadelphia, PA 19132-2406	PERMIT FEE \$2,122.00	DATE ISSUED 3/2/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX3	

PERMIT HOLDER RESIDENCES AT N BROAD LLC	3030 N BROAD ST PHILADELPHIA, PA 19132-
--	---

OWNER CONTACT 1 Nidal Hassen	501 W Harford Street, Milford, PA 18337
---------------------------------	---

OWNER CONTACT 2	
-----------------	--

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE; ROOF DECK ACCESSED BY A PILOTHOUSE AND WITH ELEVATOR . SIZE AND LOCATION AS SHOWN IN THE APPLICATION. ** AMEND TO ADD AN EXTERIOR STAIRCASE TO THE ROOF DECK AS PER AMENDED ZONING PLAN. **

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-001068

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

3030 N BROAD ST, Philadelphia, PA 19132-2406

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

MULTI-FAMILY HOUSEHOLD LIVING (30 DWELLING UNITS) FROM SECOND FLOOR THROUGH SIXTH(6TH) FLOORS WITH NINE(9) ACCESSORY PARKING SPACES INCLUDING WITH ONE(1) VAN ACCESSIBLE SPACE AND WITH TEN(10) BICYCLE SPACES IN AN ACCESSIBLE ROUTE AT FIRST FLOOR GARAGE.*AMENDED PERMIT*THE HEIGHT IS CHANGED FROM 68' TO 57'9". SUBTRACTING 1 FLOOR AND LOWERING THE HEIGHT BY 10'3".CHANGES TO THE ORIENTATION AND LOCATIONS OF THE VERTICAL CONNECTIONS (STAIR TOWERS AND ELEVATOR)(Changes to the number of units per floor. Originally 6 units per floor the new configuration has 2 floors with 7 units and 2 floors with 8 units (maintaining the number total)REMOVING THE BALCONY FACING BROAD ST AND ADDING ALCOVE FACING THE NEIGHBORING LOT TO ALLOW FOR NATURAL LIGHT ; REDUCTION OF FAR FROM 24,546 sf ; 447% TOTAL LOT AREA TO 20,140 SF ; 366% OF TOTAL LOT AREA AND REDUCTION OF 4,406 SF OR 81% OF THE TOTAL LOT AREA , RECONFIGURATION OF THE PARKING SPOTS LAYOUT TO MATCH THE RECONFIGURATION OF AND LOCATION OF STAIR TOWER (NO CHANGES TO NUMBER OF PARKING SPACES) RECONFIGURATION OF GROUND FLOOR USE LAYOUTS (MAIL/PACKAGE ROOM LOCATION , BIKE STORAGE, TRASH ROOM AND EXTRA STORAGE ROOM IN THE PARKING AREA)CHANGES IN ROOF DECK ACCESS (MAIN STAIR TOWER AND ELEVATOR GO UP TO THE ROOF DECK ; RECONFIGURATION OF ROOF DECK LAYOUT TO MATCH THE NEW ACCESS; RECONFIGURATION OF GREEN ROOF (VEGETATED ROOF TO MATCH THE NEW LAYOUT AND REACH THE MIN REQUIRED COVERAGE)

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

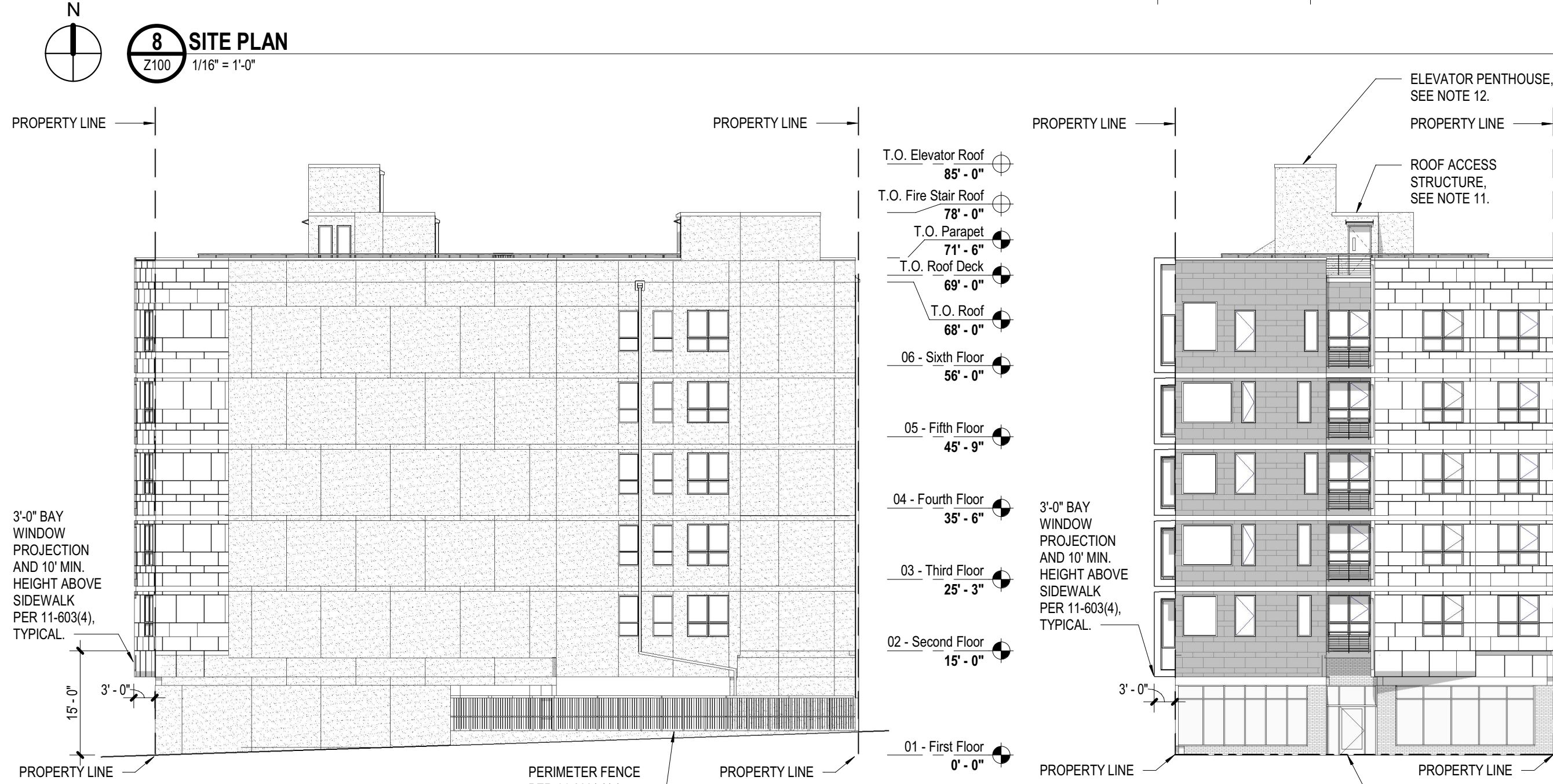
Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.

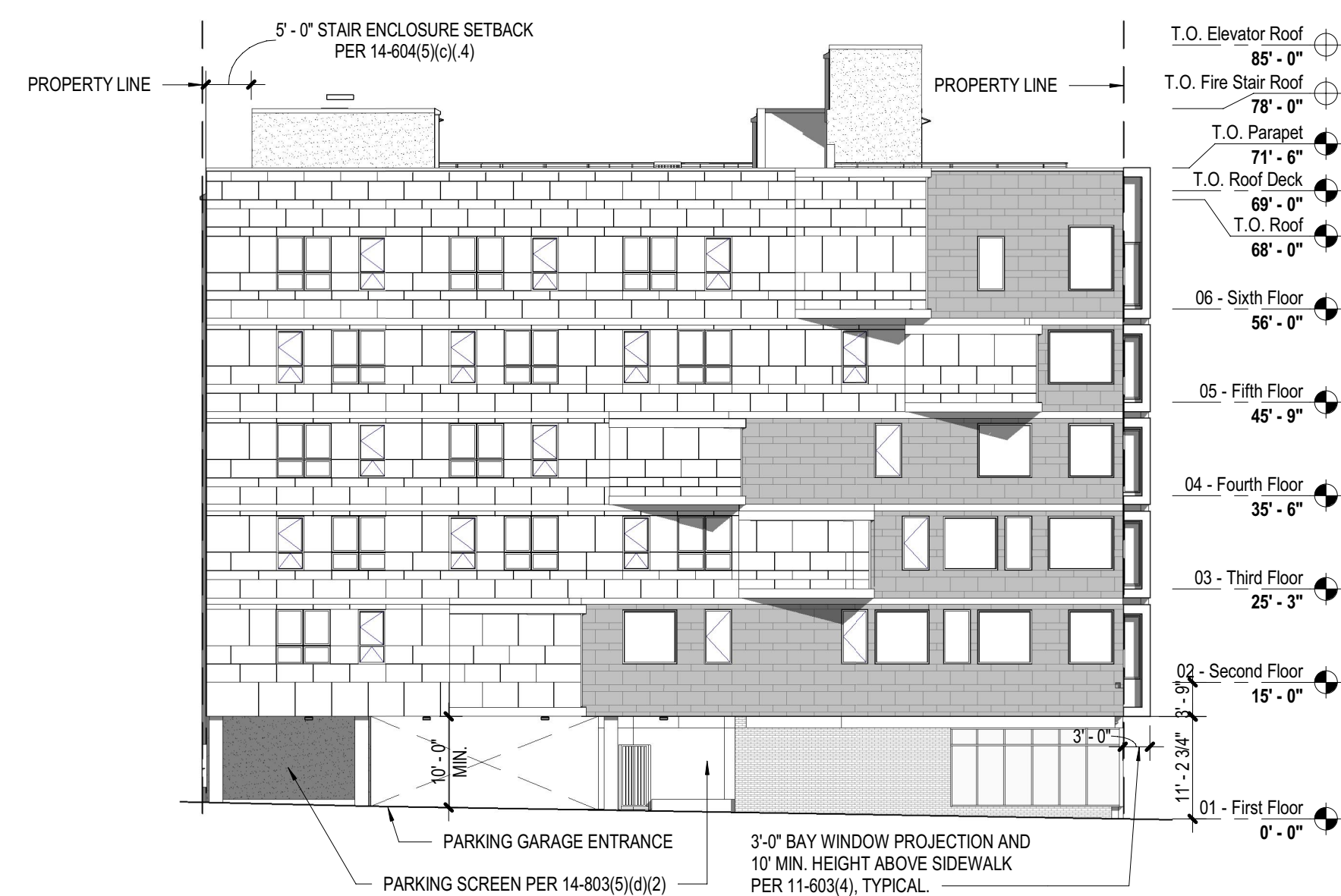


Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

8 SITE PLAN
2100
1/16" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
2100
1/16" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
2100
1/16" = 1'-0"



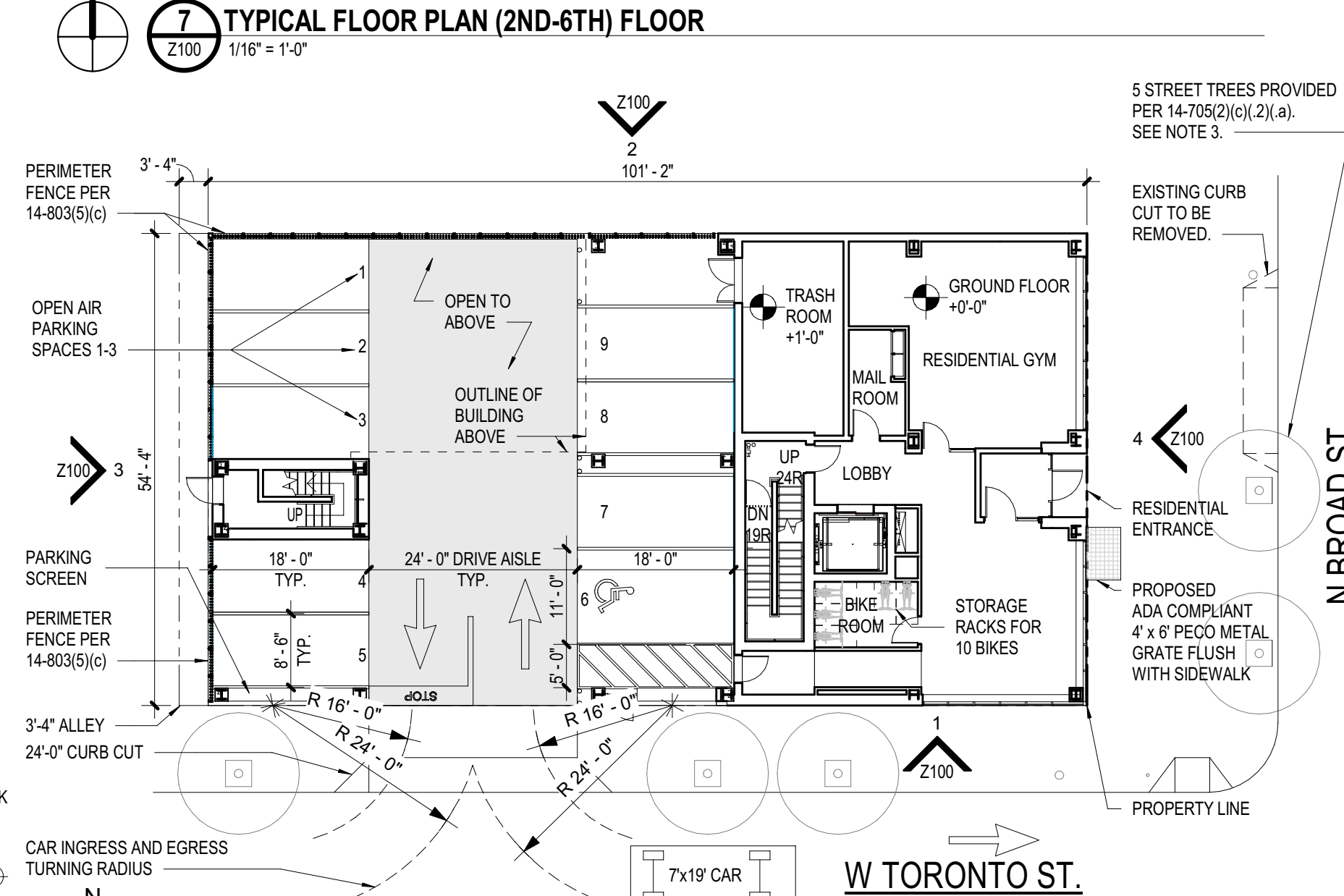
4 EXTERIOR ELEVATION - EAST
2100
1/16" = 1'-0"



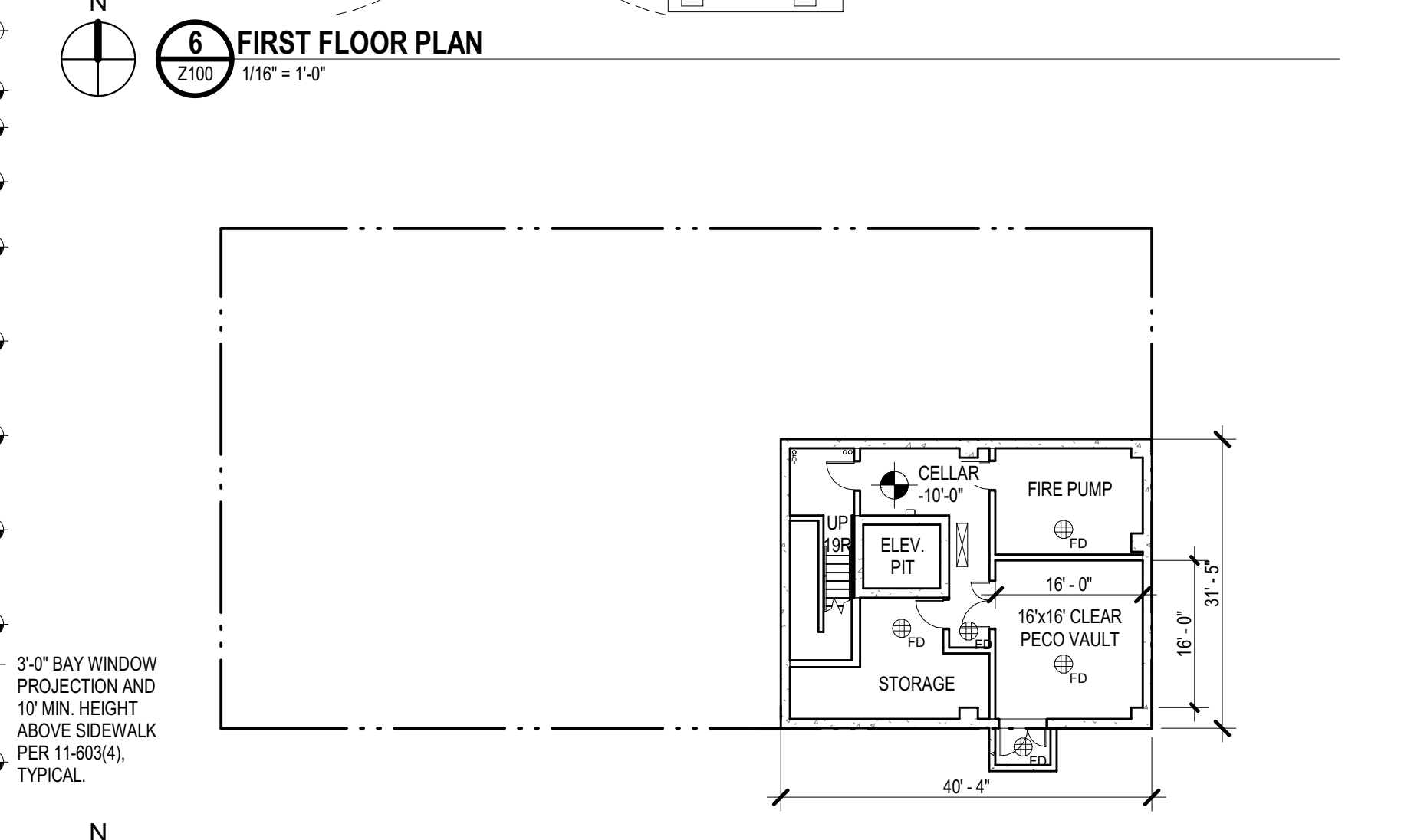
3 EXTERIOR ELEVATION - WEST
2100
1/16" = 1'-0"



7 TYPICAL FLOOR PLAN (2ND-6TH) FLOOR
2100
1/16" = 1'-0"



6 FIRST FLOOR PLAN
2100
1/16" = 1'-0"



5 CELLAR PLAN
2100
1/16" = 1'-0"



AREA REGULATIONS

AREA REGULATIONS

LOT INFORMATION		
LOT ADDRESS(ES):	3026-NORTH BROAD STREET, PHILADELPHIA, PA, 19132	
LOT AREA(S):	5,497 SF (U.S.S.)	
OPA NUMBER:	88-1-0639-10	
BASE ZONING DISTRICT:	CMX-3	
OVERLAY ZONING DISTRICT:	N/A	
USE REGULATIONS		
PROPOSED & PERMITTED USES:	CELLAR THRU 1ST	RESIDENTIAL LOBBY, MECHANICAL
	2ND THRU 6TH	MULTI-FAMILY HOUSING
	ROOF	TERRACE DECK, MECH.
	REQUIRED	PROPOSED
DISTRICT & LOT DIMENSIONS		
MINIMUM LOT WIDTH (FT)	N/A	NO CHANGE
MINIMUM LOT AREA (SF)	N/A	NO CHANGE
MAXIMUM OCCUPIED AREA (% OF LOT)	80%	79% (4,368 SF BLDG)
MAXIMUM FLOOR AREA (% OF LOT AREA)	500	447
MAXIMUM UNITS ALLOWED	N/A	30
YARDS		
MINIMUM FRONT YARD DEPTH (FT)	N/A	0' - 0"
MINIMUM SIDE YARD WIDTH, EACH (FT)	8 FT if used	0' - 0"
MINIMUM REAR YARD DEPTH (FT)	N/A	0' - 0"
HEIGHT		
MAXIMUM HEIGHT (FT)	N/A	68'-0"
OFF STREET PARKING REQUIREMENTS		
CAR PARKING	9 (8 + 1 Accessible)	9 (8 + 1 Accessible)
BICYCLE PARKING	10 (1 bicycle per 3 units)	10
LOADING	0	0
NOTES		
Note 1: Building occupied area = 4,368 sf (excludes bay windows over street line) / 5,497 sf = 79%		
Note 2: FAR = 2,491 SF (1st Floor) + 4,411 SF (2nd Floor) + 4,411 SF (3rd Floor) + 4,411 SF (4th Floor) + 4,411 SF (5th Floor) + 4,411 SF (6th Floor) = 24,546 SF / 5,497 SF = 4.4663 x 100% = 447% FAR		
Note 3: Section 14-705(2)(c), (2)(a) At least one street tree per 35 ft. of linear frontage shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks. The linear frontage is 155'-4" building frontage / 35' = 4.43 = 5 street trees.		
Note 4: Section 14-802(2) The minimum required parking spaces for multi-family housing shall be 3 for every 10 units. 30 units x (3/10) = 9 car parking spaces required.		
Note 5: Section 14-804(1) One bicycle parking space is required per every three dwelling units. 30 units / 3 = 10 bicycles parking spaces required.		
Note 6: Per 14-604(5) Roof decks are permitted in the CMX-3 district for residential use. Roof decks must be set back at least 5 feet from the front building line. A roof deck and assorted railings & fencing is not subjugated to the height limitations of CMX-3 provided that no part of the roof deck surface extends more than 48" above the plane that is midway between the lowest & highest points of the roof surface supporting the roof deck.		
Note 7: Section 14-605(5)(c) Except in CMX-3 districts, the roof deck access structure may not exceed 125 SF in area.		
Note 8: Section 11-603(4) Bay windows may not project more than 3 feet beyond the street line and have a frontage greater than 15 feet. The lower edge of a bay window may not be less than 10 feet above the sidewalk. There shall be not more than 2 balconies or bay windows for 38 feet of frontage and no bay window or balcony upon the same story shall be nearer to each other than 5 feet. No bay window may be erected except within lines drawn from the intersection of the party lines and street line at an angle of 20 degrees.		
Note 9: Section 14-803(5)(d), (2) Where a five foot wide perimeter landscape area is not feasible based on existing site or topography constraints, as an alternative to the tree and shrub plantings required by 14-803(5)(d), (1), a decorative masonry wall or ornamental fence at least three feet in height may be installed. The ornamental fence will satisfy the requirements for screening fences in 14-803(5)(c), (3) as required.		
Note 10: Section 14-803(5)(a), (1) states that a minimum of 10% of the interior surface parking lot in all districts and off-street loading areas, calculated as the total of area in all surface parking spaces and surface drive aisles, shall be planted with landscape. Per Section 14-803(5)(a), (2) If the applicant installs a vegetated roof on a primary or accessory structure on the same lot, the amount of interior parking lot landscape may be reduced by one sq. ft. for each one sq. ft. of vegetated roof area installed. 2,918 SF Parking Lot x 10% = 291 SF Interior Landscape. The project includes a 300 SF vegetated roof, thus offsetting the interior landscape requirement to the roof.		
Note 11: Section 14-604(5)(c) Roof deck access structures may only serve to enclose access stairs, elevators, or other means of access. The roof deck access structure may not exceed 125 square feet except in CMX-3 districts. Roof deck access structures may not exceed 10 ft. in height above the surface of the roof deck. Roof deck access structures must meet the same setback requirements as the associated roof deck, provided that any part of the roof deck access structure located more than 42 in. above the surface of the roof deck must be set back an additional 5 ft. from the required setback of the associated roof deck.		
Note 12: Section 11-603(4) Penthouses in commercial districts for roof structures housing elevators are exceptions to dimensional standards.		
GROSS SQUARE FOOTAGE MATRIX		
LOCATION	TOTAL GROSS SQUARE FOOTAGE	
FIRST FLOOR	2,491 SF	
SECOND FLOOR	4,411 SF (including bay windows)	
THIRD FLOOR	4,411 SF (including bay windows)	
FOURTH FLOOR	4,411 SF (including bay windows)	
FIFTH FLOOR	4,411 SF (including bay windows)	
SIXTH FLOOR	4,411 SF (including bay windows)	
TOTAL GSF	24,546 SF	

Architect

COSCIA MOOS ARCHITECTURE

Coscia Moos Architecture
1616 Walnut Street, Suite 101
Philadelphia, PA 19103
267.761.9416

cooke brown

Cooke Brown Structural Engineers
7 East Skippack Pike, Suite 310
Broad Ave, PA 19002
245-654-0105

Chestrut Engineering
16 E Lancaster Ave, Suite 205
Philadelphia, PA 19003
610-304-0251

Stantec
1500 Spring Garden Street, Suite 1100
Philadelphia, PA 19130
215.665.7000

Signature and Seal
Project

3030 North Broad Street
3030 N Broad St.
Philadelphia, PA 19132

Sheet Title
ZONING TABLES & PLANS

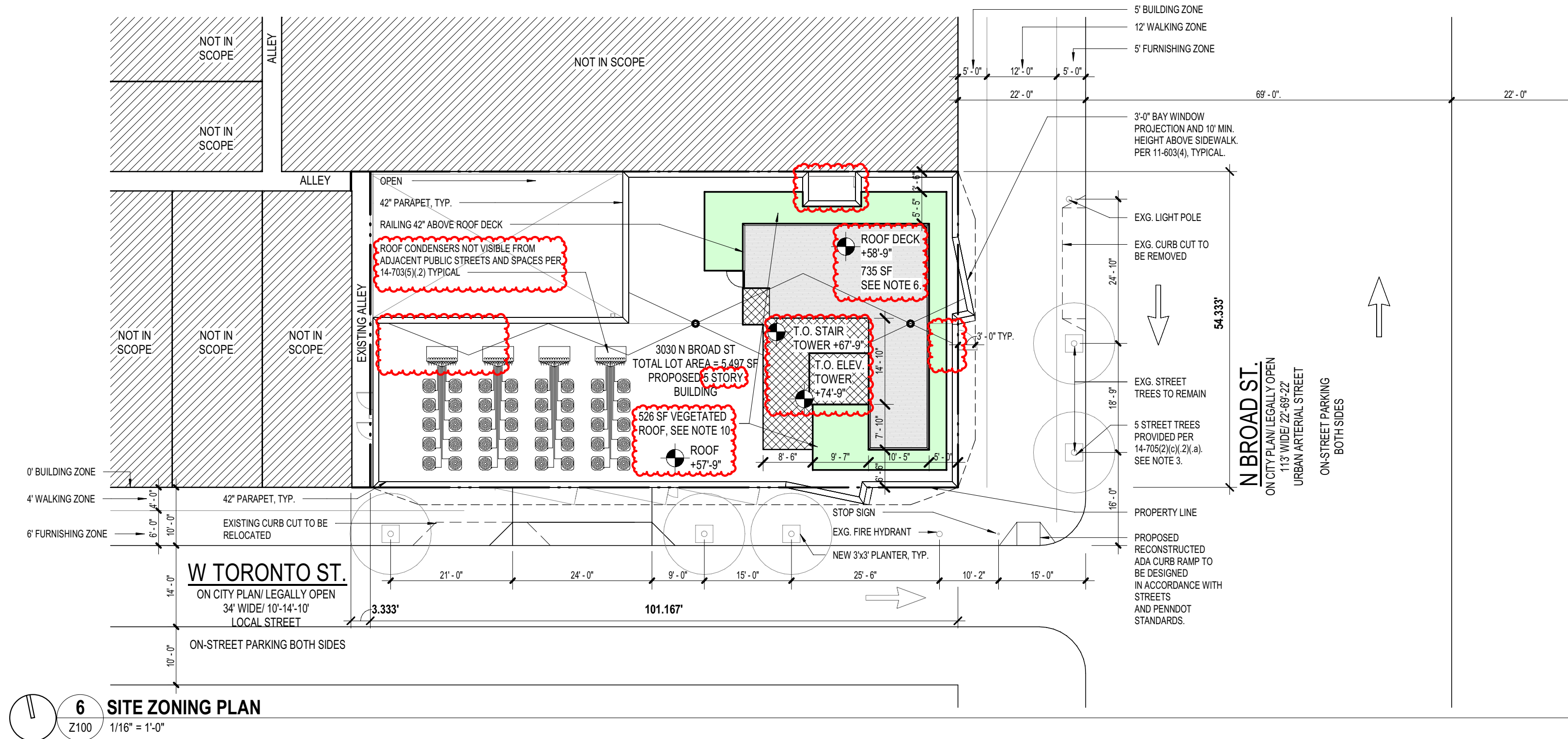
Date
09/18/2020

Scale
As Indicated

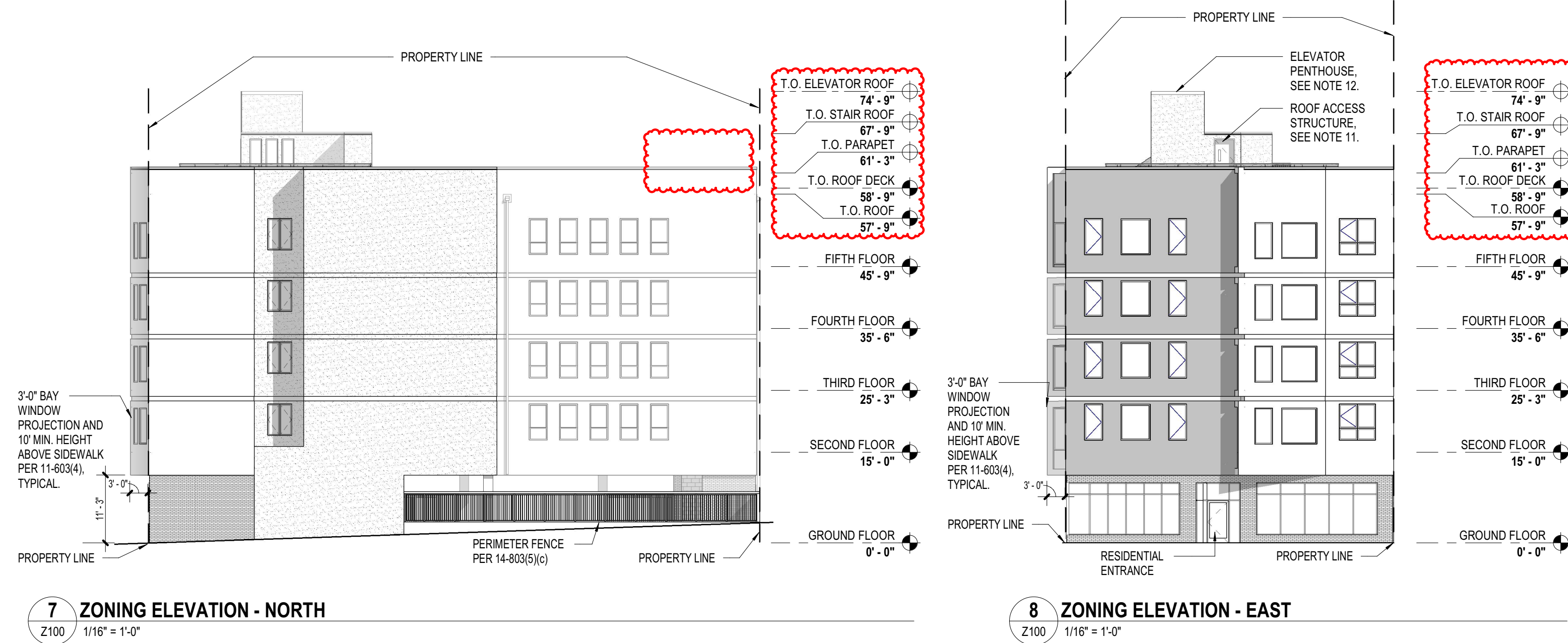
Drawn
JW

Project No.
359

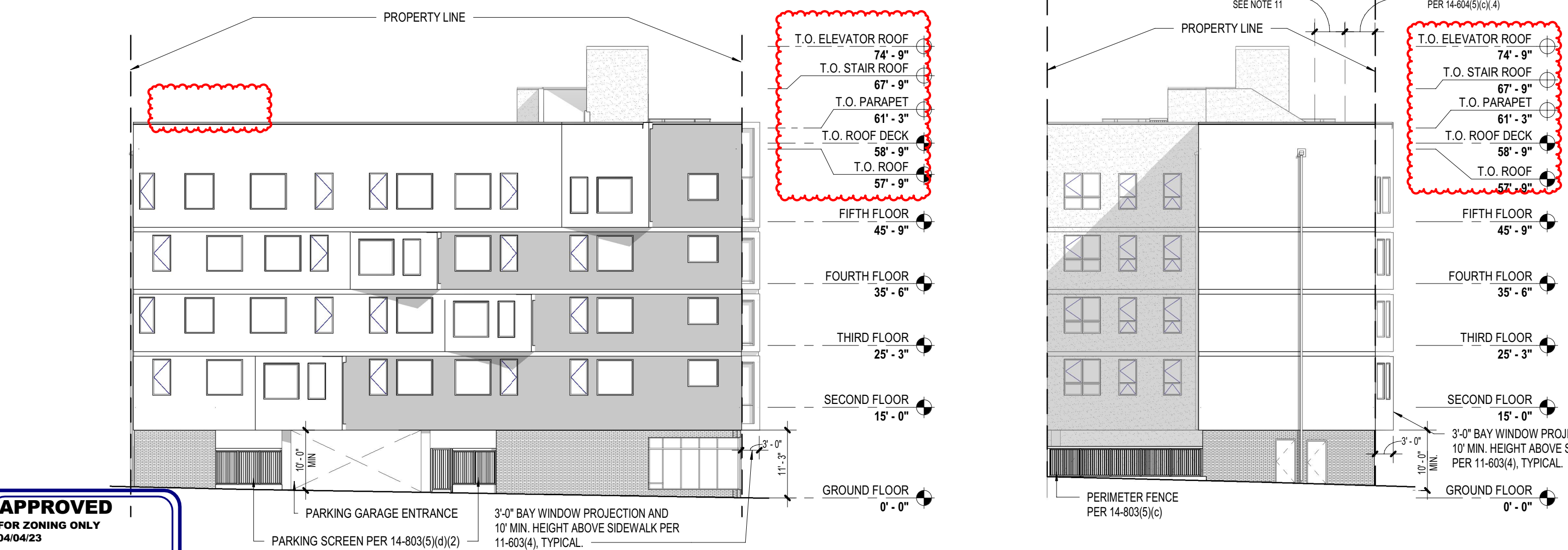
Z100



6 SITE ZONING PLAN
Z100 1/16" = 1'-0"



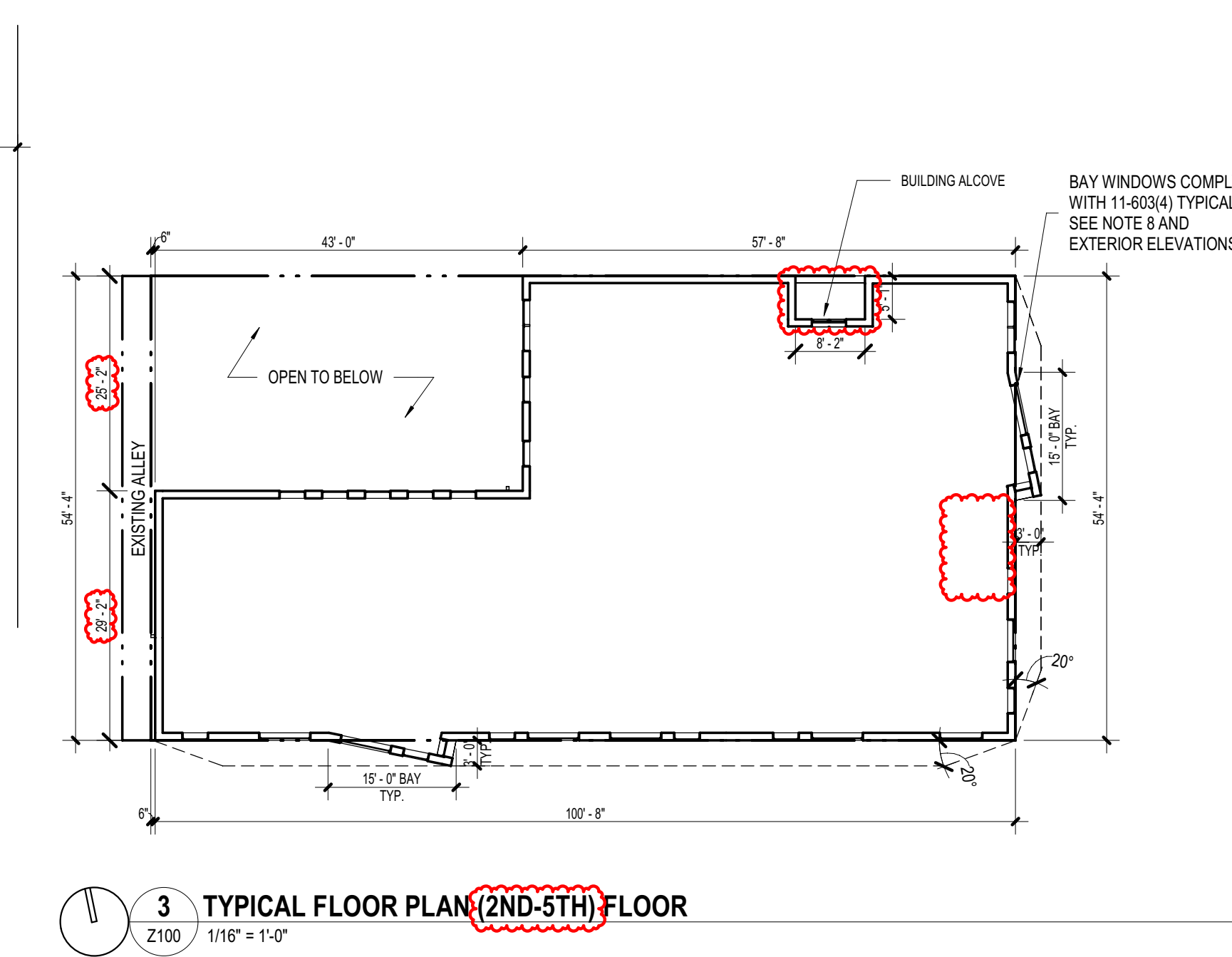
7 ZONING ELEVATION - NORTH
Z100 1/16" = 1'-0"



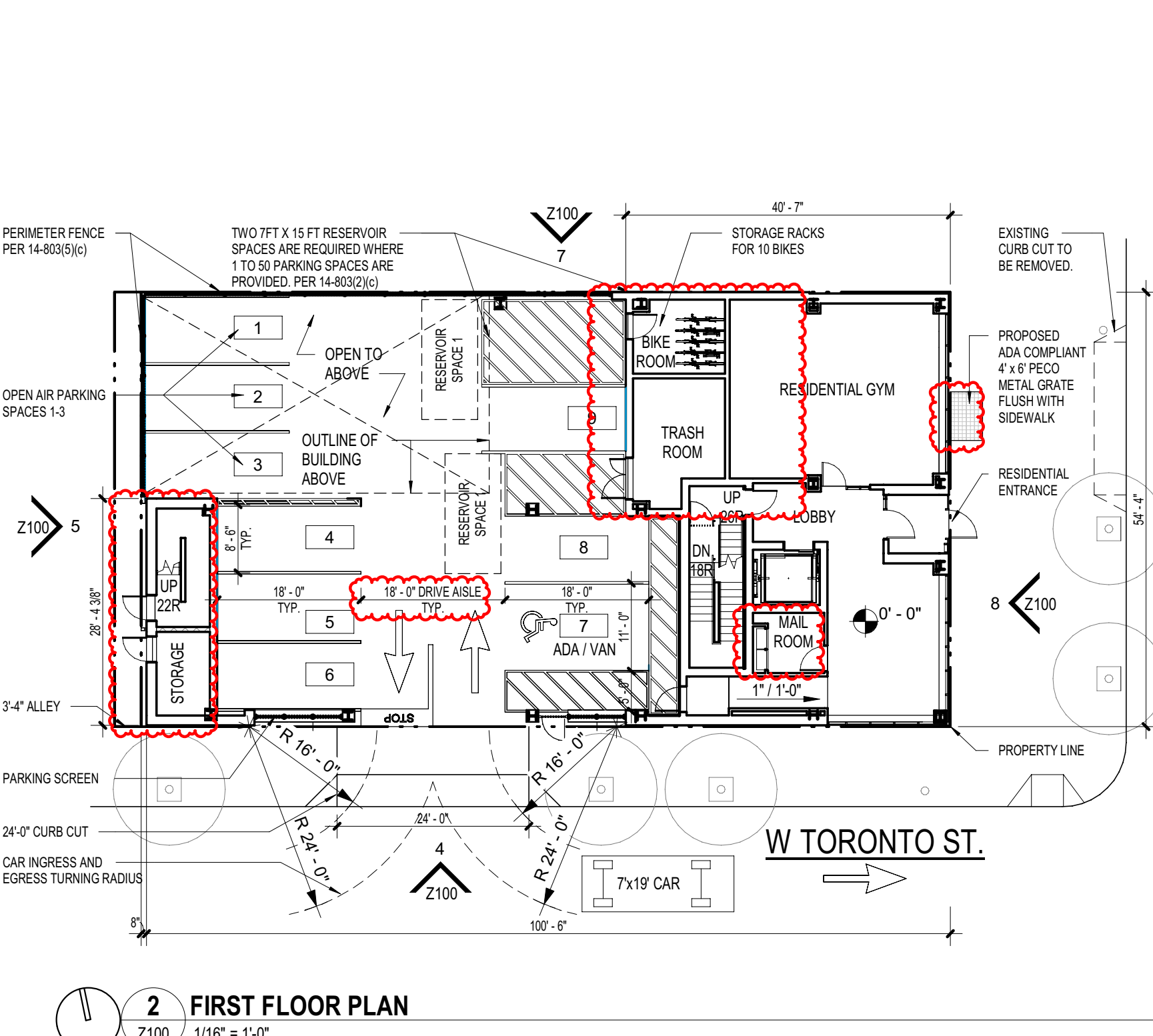
4 ZONING ELEVATION - SOUTH
Z100 1/16" = 1'-0"

5 ZONING ELEVATION - WEST
Z100 1/16" = 1'-0"

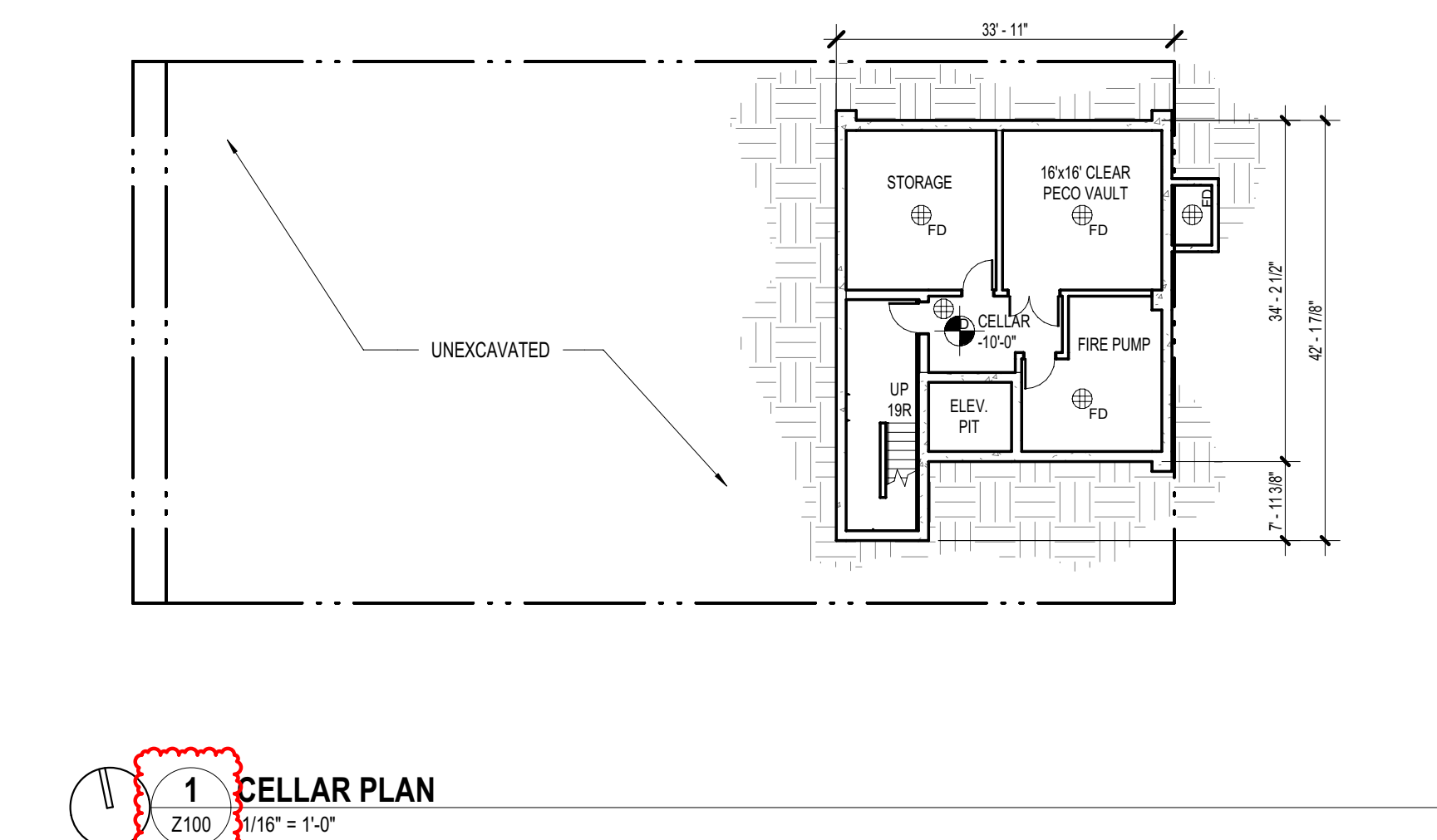
8 ZONING ELEVATION - EAST
Z100 1/16" = 1'-0"



3 TYPICAL FLOOR PLAN (2ND-5TH) FLOOR
Z100 1/16" = 1'-0"

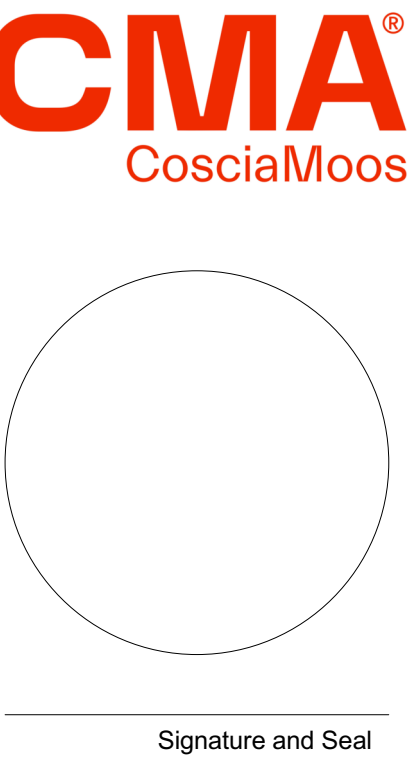


2 FIRST FLOOR PLAN
Z100 1/16" = 1'-0"



1 CELLAR PLAN
Z100 1/16" = 1'-0"

AREA REGULATIONS		
LOT INFORMATION		
LOT ADDRESS(ES): 3026-30 NORTH BROAD STREET, PHILADELPHIA, PA, 19132		
LOT AREA(S): 5,497 SF (U.S.S.)		
OPA NUMBER: 88-1-0639-10		
BASE ZONING DISTRICT: CMX-3		
OVERLAY ZONING DISTRICT: N/A		
USE REGULATIONS		
PROPOSED & PERMITTED USES:	CELLAR THRU 1ST	RESIDENTIAL LOBBY, MECHANICAL
	2ND THRU 5TH FLOOR	MULTI-FAMILY HOUSING TERRACE DECK, MECH.
DISTRICT & LOT DIMENSIONS		
MIN LOT WIDTH (FT)	N/A	NO CHANGE
MIN LOT AREA (SF)	N/A	NO CHANGE
MAX OCCUPIED AREA (% OF LOT)	80%	79.8% (4,389 SF BLDG)
MAX FLOOR AREA (% OF LOT AREA)	500%	366% (PREV 447%)
MAX UNITS ALLOWED	N/A	30
YARDS		
MIN FRONT YARD DEPTH (FT)	N/A	0' - 0"
MIN SIDE YARD WIDTH, EACH (FT)	8 FT if used	0' - 0"
MIN REAR YARD DEPTH (FT)	N/A	0' - 0"
HEIGHT		
MAX HEIGHT (FT)	N/A	57' - 9" (PREV 68'-0")
OFF STREET PARKING REQUIREMENTS		
CAR PARKING	9 (8 + 1 Accessible)	9 (8 + 1 Accessible)
BICYCLE PARKING	10 (1 bicycle per 3 units)	10
BICYCLE PARKING	0	0
NOTES		
Note 1: Building occupied area = 4,389 sf (excludes bay windows over street line) / 5,497 sf = 79.8%		
Note 2: FAR = 2,261 SF (1st Floor) + 4,386 SF (2nd Floor) + 4,386 SF (3rd Floor) + 4,386 SF (4th Floor) + 4,386 SF (5th Floor) = 20,140 SF / 5,497 SF = 3.6638 x 100% = 366% FAR		
Note 3: Section 14-803(2)(c) (2) (a) At least one street line per 35 ft. of linear frontage shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.		
The linear frontage is 155'-4" building frontage / 35' = 4.43 = 5 street trees.		
Note 4: Section 14-802(2) The minimum required parking spaces for multi-family housing shall be 3 for every 10 units.		
30 units x (3/10) = 9 car parking spaces required.		
Note 5: Section 14-804(1) One bicycle parking space is required per every three dwelling units.		
30 units / 3 = 10 bicycles parking spaces required.		
Note 6: Per 14-804(5) Roof decks are permitted in the CMX-3 district for residential use. Roof decks must be set back at least 5 feet from the front building line. A roof deck & associated railings & fencing is not subjugated to the height limitations of CMX-3 provided that no part of the roof deck surface extends more than 48" above the plane that is midway between the lowest & highest points of the roof surface supporting the roof deck.		
Note 7: Section 14-805(5)(c) Except in CMX-3 districts, the roof deck access structure may not exceed 125 SF in area.		
Note 8: Section 11-603(4) Bay windows may not project more than 3 feet beyond the street line and have a frontage greater than 15 feet. The lower edge of a bay window may not be less than 10 feet above the sidewalk. There shall be not more than 2 balconies or bay windows for 38 feet of frontage and no bay window or balcony upon the same story shall be nearer to each other than 5 feet. No bay window may be erected except within lines drawn from the intersection of the party lines and street line at an angle of 20 degrees.		
Note 9: Section 14-803(5)(d) (2) Where a five feet wide perimeter landscape area is not feasible based on existing site or topography constraints, as an alternative to the tree and shrub plantings required by 14-803(5)(d) (1), a decorative masonry wall or ornamental fence at least three feet in height may be installed. The ornamental fence will satisfy the requirements for screening fences in 14-803(5) (c) (3) as required.		
Note 10: Section 14-803(5)(e) (1) states that a minimum of 10% of the interior surface parking lot in all districts and off-street loading areas, calculated as the total of area in all surface parking spaces and surface drive aisles, shall be planted with landscape. Per Section 14-803(5)(e) (2) If the applicant installs a vegetated roof on a primary or accessory structure on the same lot, the amount of interior parking lot landscape may be reduced by one sq. ft. for each one sq. ft. of vegetated roof area installed.		
3,151 SF Parking Lot x 10% = 315 SF Interior Landscape.		
The project includes a 526 SF vegetated roof, thus offsetting the interior landscape requirement to the roof.		
Note 11: Section 14-804(5)(c) Roof deck access structures may only serve to enclose access stairs, elevators, or other means of access. The roof deck access structure may not exceed 125 square feet except in CMX-3 districts.		
Roof deck access structures may not exceed 10 ft. in height above the surface of the roof deck. Roof deck access structures must meet the same setback requirements as the associated roof deck, provided that any part of the roof deck access structure located more than 42 in. above the surface of the roof deck must be set back an additional 5 ft. from the required setback of the associated roof deck.		
Note 12: Section 11-603(4) Penthouses in commercial districts for roof structures housing elevators are exceptions to dimensional standards.		
Note 13: Section 14-803(2)(c) All surface parking lots and garages in CMX-3 districts shall provide the number of off-street reservoir spaces required by Table 14-803-2 between the street line and valet pick-up point, or the ticket issuing mechanisms or booths.		
Two 7ft x 15 ft reservoir spaces are required where 1 to 50 parking spaces are provided.		
GROSS SQUARE FOOTAGE MATRIX		
LOCATION	TOTAL GROSS SQUARE FOOTAGE	
FIRST FLOOR	2,261 SF	
SECOND FLOOR	4,386 SF	(including bay windows)
THIRD FLOOR	4,386 SF	(including bay windows)
FOURTH FLOOR	4,386 SF	(including bay windows)
FIFTH FLOOR	4,386 SF	(including bay windows)
ROOF	335 SF	
TOTAL GSF	20,140 SF	



3026-30 North Broad St.
Philadelphia PA

PROJECT NO: 359

OWNER:
Residences at North Broad, LLC
Nidal Hassen
501 W Harford Street,
Milford, PA 18337

ARCHITECT:
CosciaMoos Architecture
123 South Broad Street
Suite 220, South Lobby
Philadelphia PA 19109
www.cosciamoos.com
267-761-9416

CIVIL ENGINEER:
Chestnut Engineering
2 E Lancaster Ave, 2nd Floor
Ardmore, PA 19003

www.chestnut-engineering.com
601-642-1750

STRUCTURAL ENGINEER:
Cooke Brown Structural Engineers
7 East Skippack Pike, Ste 310
Broad Ave, PA 19002

www.cookebrown.com
215-654-0122

MEPPF ENGINEER:
Slantec
1500 Spring Garden Street,
Suite 1100
Philadelphia, PA 19130

www.slantec.com
215-665-7000

4 ZONING AMENDMENT 02/06/2023
3 ZONING RESUBMISSION 001 01/19/2022
2 PARKING REVISION 11/19/2019
1 ZONING COMMENTS 10/30/2019

02/22/2023

ISSUED FOR CONSTRUCTION

SCALE: As indicated

DRAWN BY: LMA

ZONING TABLES & PLANS

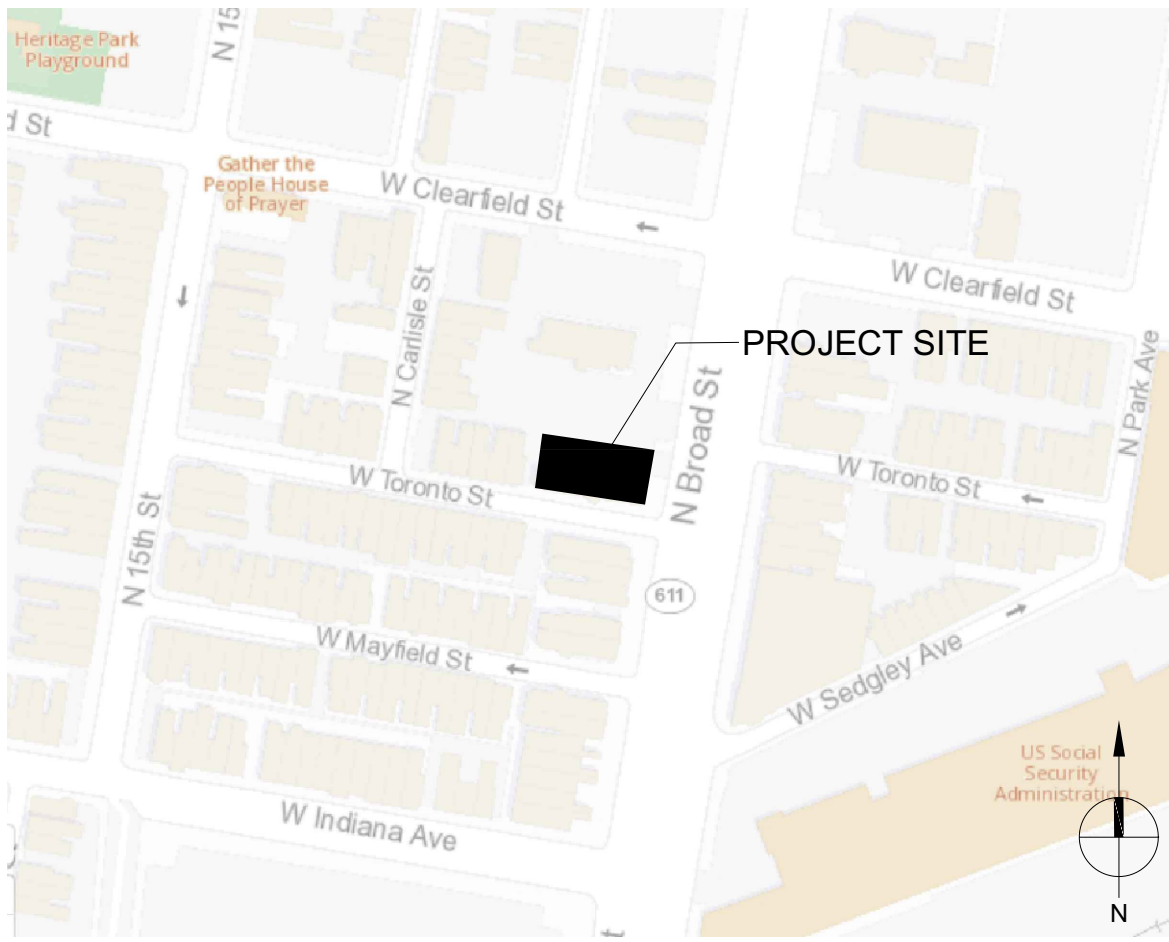
Z100

ZONING DATA			
CMX-3 ZONING		REQ'D/ALLOWED	PROPOSED
LOT AREA	NOT REQ'D		5497
USE	COMM. OR MULTI FAM. DWELLING		30 UNIT DWELLING
COVERAGE	80% MAX	4387.00 SF	(79.8%)
OPEN AREA	20% MIN	1110.00 SF	(20.2%)
FRONT YARD	NOT REQ'D		NONE
SIDE YARD	8'-0" IF USED		NONE
REAR YARD	NOT REQ'D		0'-6"
HEIGHT	NOT REQ'D		NTE 57'-9"
F.A.R.	500% MAX	[19801/5497] x 100 = 360%	
PROPOSED BUILDING INFORMATION			
TOTAL BUILDING GSF	20,421 GSF (SEE GSF TABLE BELOW FOR BREAKDOWN)		
STREET ENCROACHMENTS	BAY PROJECTIONS (SEE PLANS)		
	(5) STREET TREES		
	(1) 24'-0" CURB CUT		
	2'-0 x 8'-0" PECO WELL (SEE PLANS)		
SITE STANDARDS			
OFF STREET PARKING		9 SPACES (1 H/C SPACE + 8 STALLS)	
OFF STREET RESERVOIR SPACES		(2) 7x15 RESERVOIR SPACES	
BIKE SPACES		10 SPACES (1 PER 3 UNITS)	
INTERIOR LANDSCAPE		3121 SF PARKING LOT X 10% = 315 SF REQ (VEG. ROOF ALTERNATIVE PER 14-803(5)(E)(.1) // ± 640 SF PROVIDED	
GROSS SF INFORMATION			
FLOOR LEVEL		GROSS SQ. FT.	
CELLAR (NOT INCLUDED IN F.A.R.)		2014	
FIRST FLOOR		2274	
SECOND FLOOR		4321 (INCLUDING BAYS)	
THIRD FLOOR		4321 (INCLUDING BAYS)	
FOURTH FLOOR		4321 (INCLUDING BAYS)	
FIFTH FLOOR		4321 (INCLUDING BAYS)	
PILOT HOUSE		243	
TOTAL GSF		20,421	



EXISTING SITE PHOTOS

Scale: N.T.S.



SITE VICINITY MAP

Scale: N.T.S.

PLEASE NOTE: EXISTING SITE UTILITY INFORMATION SHOWN PER CITY OF PHILADELPHIA BOARD OF HIGHWAY SUPERVISORS RECORD, V.I.F. CONTRACTOR TO CONTACT 1-800-242-1776 FOR THE PA ONE CALL SYSTEM 3 DAYS NOTIFICATION IN ADVANCE PRIOR TO GROUND EXCAVATION OF THE SITE



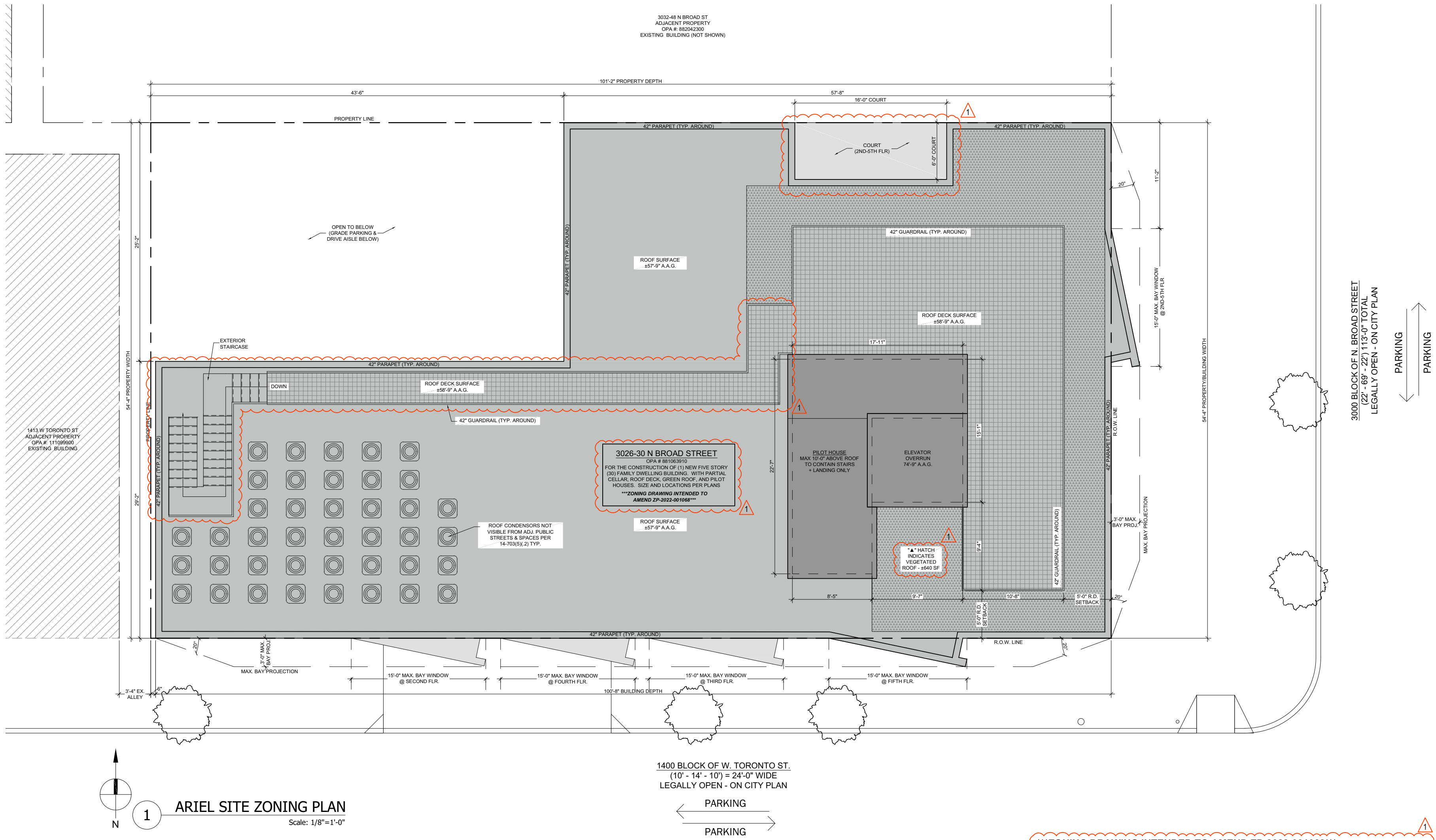
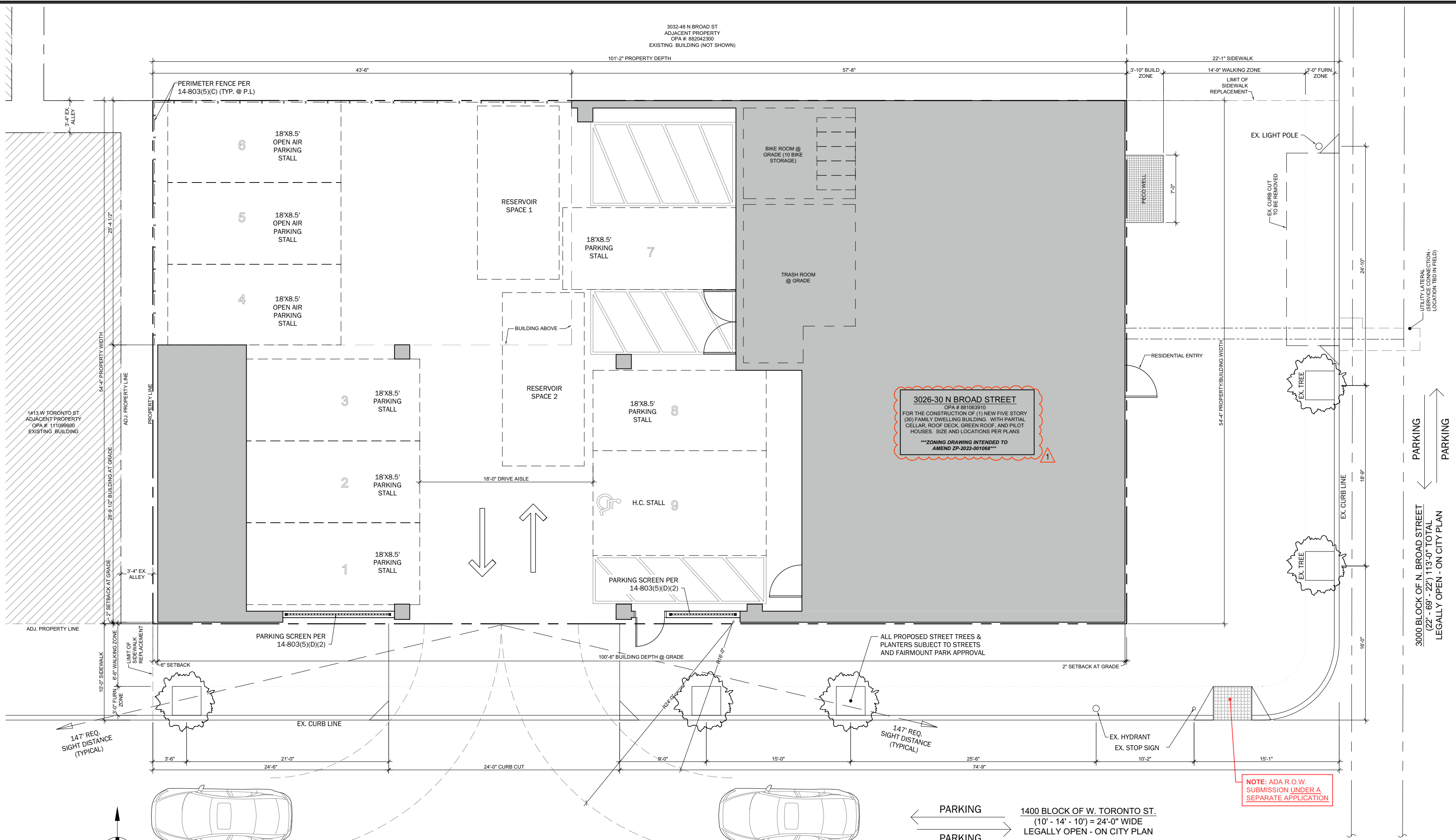
DIAL 8-1-1 OR 1-800-242-1776 NOT LESS THAN 3 BUSINESS DAYS NOR MORE THAN 10 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION

PENNSYLVANIA ONE CALL SYSTEM SERIAL NUMBER: 3026-30 N BROAD - 20193030425

APPROVALS STAMPS



Applied by L&I: Chanwoo Jung



ZONING DRAWING INTENDED TO AMEND ZP-2022-001068
ZONING AMENDMENT - 2023.09.05



Gnome Architects LLC
1901 S. 9th St. Rm.310
Philadelphia PA 19148

O: 215 279 7531

www.gnomearch.com

CONSULTANTS

PROJECT

N. BROAD STREET
MULIPLEX

3026-30 N BROAD STREET,
PHILADELPHIA, PA

OWNER

RESIDENCES AT
N BROAD, LLC

REV #	DATE	DESCRIPTION
1	2023.05.09	ZONING AMENDMENT

SEALS



Gnome Architects LLC
All ideas, designs, arrangements and plans indicated or represented by this drawing and written material appearing hereon constitute the original and unpublished work of Gnome Architects LLC and the same may not be duplicated, used or disclosed to any person, firm or corporation for any purpose whatsoever without the written consent of the architect.

Job No: 0419
Drawn By: CR
Checked By: DS

DRAWING TITLE:

ZONING PLAN

DRAWING No:

Z.0

