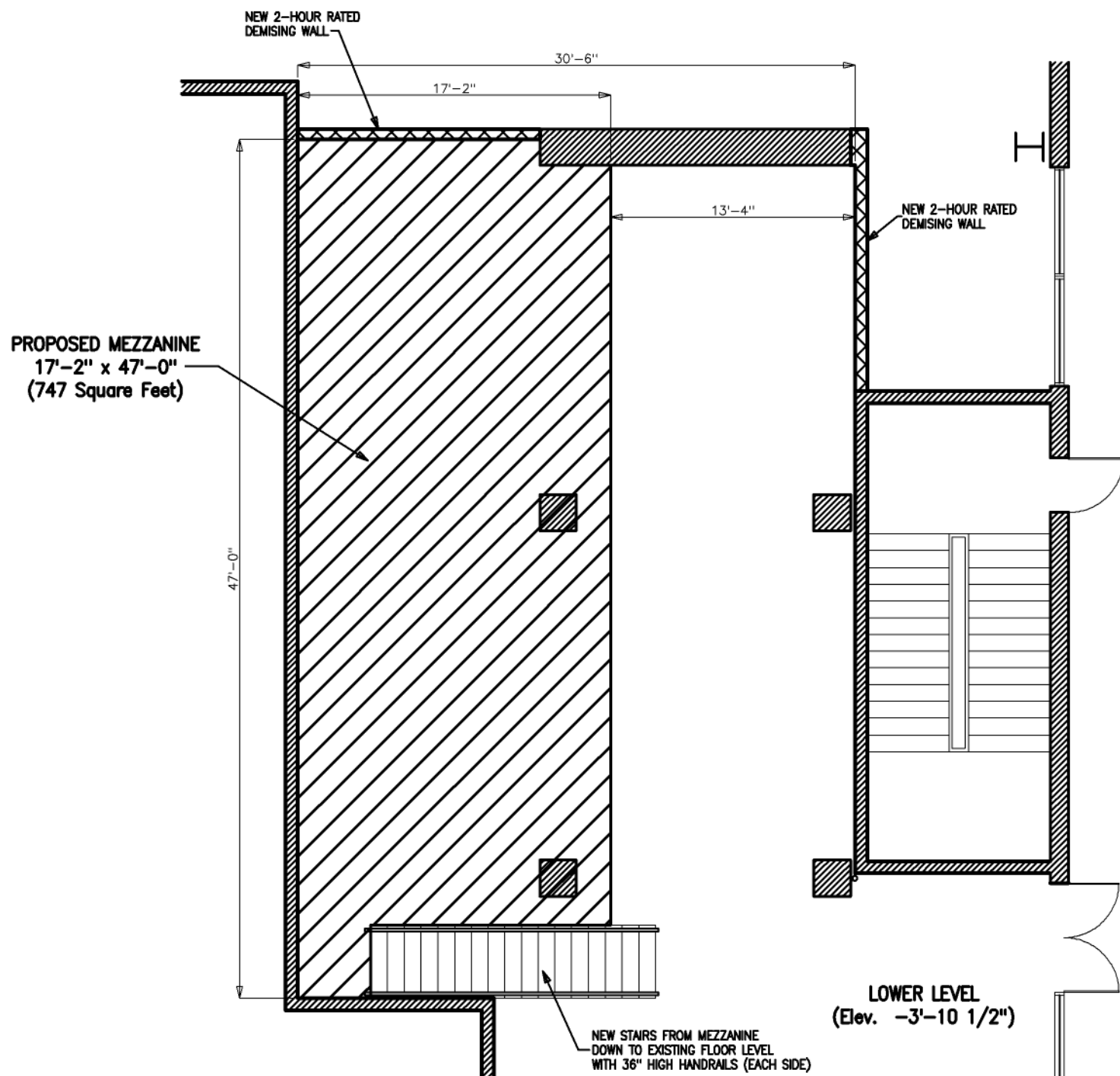




In accordance with the terms and provisions of Sections 14-705 (1) and 14-803 (5) of the Philadelphia Code pertaining to

LANDSCAPE AND TREES

☐ APPROVED ☐ DISAPPROVED ☒ N/A

☐ WAIVED GRANTED, IN-LIEU FEE \$ _____

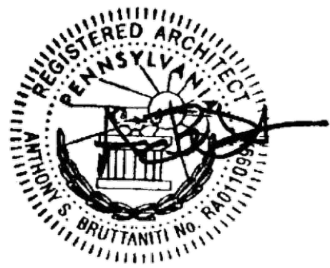
☐ EXEMPT _____

☐ HERITAGE TREE REMOVAL ZBA SPECIAL EXCEPTION REQUIRED

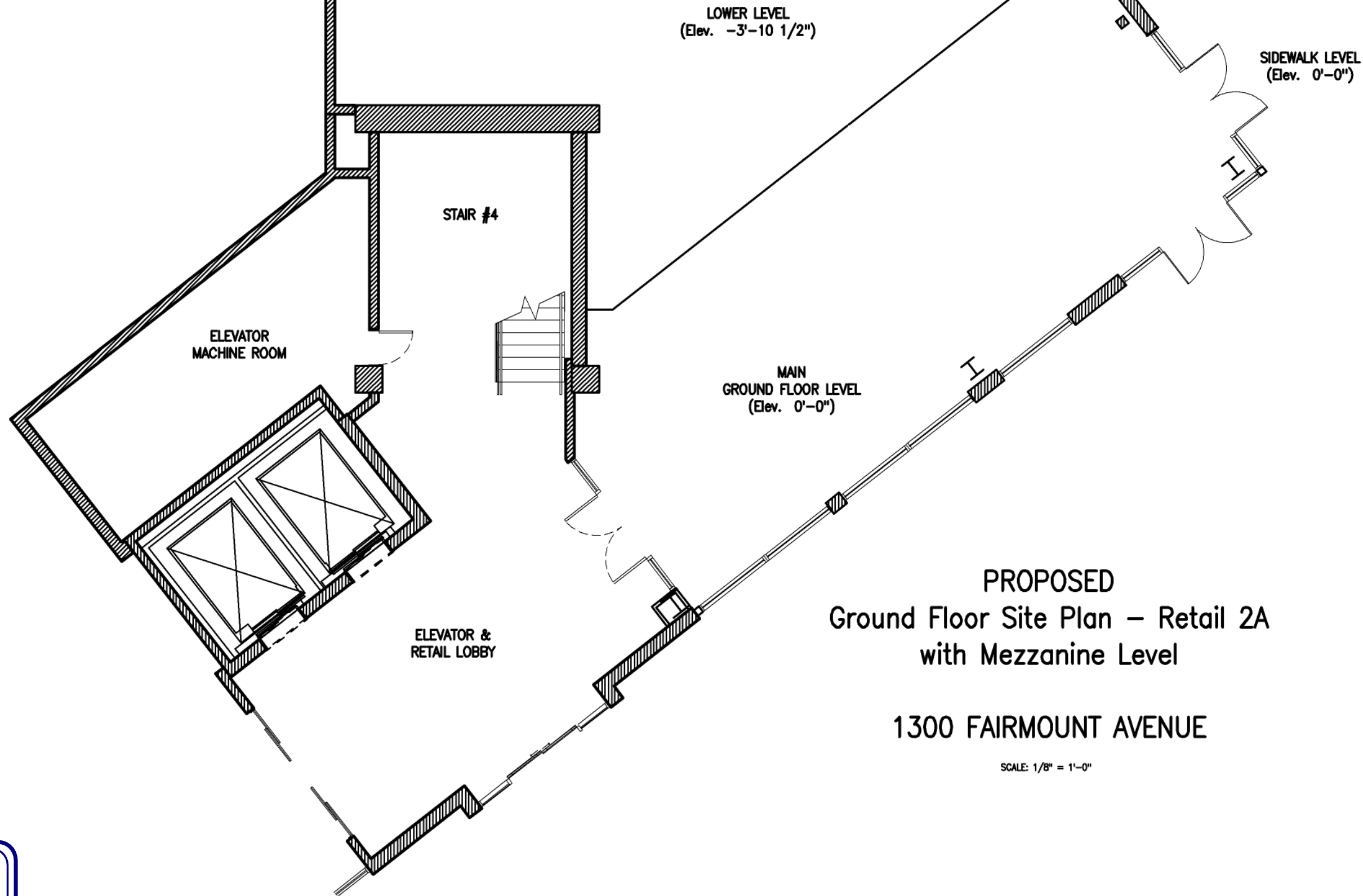
Applied Electronically By: JACK CONVISER Ledger No.: **E-8066**

April 24, 2026

Philadelphia City Planning Commission



BRUTTANITI ARCHITECTURE LLC
1432 South Broad Street
Philadelphia, PA 19146-4808
Phone: (215) 218-0300
Anthony@BruttanitiArchitecture.com



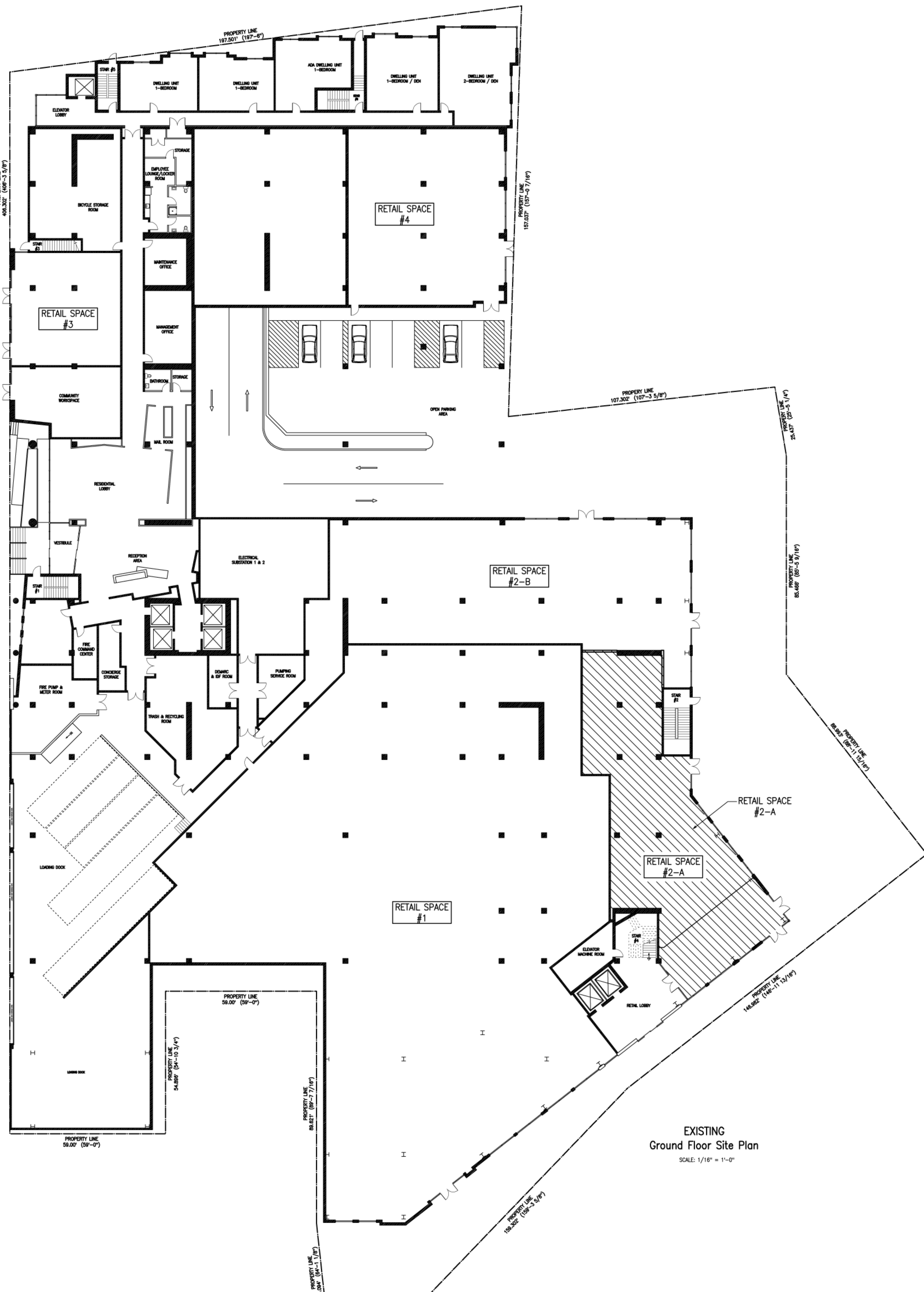
PROPOSED
Ground Floor Site Plan – Retail 2A
with Mezzanine Level

1300 FAIRMOUNT AVENUE

SCALE: 1/8" = 1'-0"



Applied by L&I: Varughese Koithottu



ZONING CODE:

GROSS FLOOR AREA - ZONING CODE SECTION 14-202 (4) (.10) STATES THAT RETAIL SPACE IS EXCLUDED FROM THE GROSS FLOOR AREA, UP TO 25% OF THE GROSS FLOOR AREA

608,784 TOTAL GROSS FLOOR AREA (WITHOUT RETAIL)

152,196 25% OF GROSS FLOOR AREA

24,698 TOTAL RETAIL SPACE (WITH NEW MEZZANINE)

THE TOTAL RETAIL SPACE (WITH THE NEW MEZZANINE) DOES NOT EXCEED THE 25% MAXIMUM ALLOWED

BUILDING SQUARE FOOTAGE CALCULATIONS:

FLOOR #	GROSS SQ.FT.	RETAIL SQ.FT.	TOTAL
GROUND LEVEL	67,787		67,787
RETAIL 1		12,616	12,616
RETAIL 2-A		4,958	4,958
RETAIL 2-B		3,397	3,397
RETAIL 3		918	918
RETAIL 4		2,062	2,062
LEVEL 1	5,649		5,649
LEVEL 2	90,012		90,012
LEVEL 3	78,005		78,005
LEVEL 4	3,441		3,441
LEVEL 4 ROOF	36,186		36,186
LEVEL 5	34,120		34,120
LEVEL 6	34,120		34,120
LEVEL 7	34,120		34,120
LEVEL 8	32,192		32,192
LEVEL 9	32,192		32,192
LEVEL 10	32,192		32,192
LEVEL 11	32,192		32,192
LEVEL 12	32,192		32,192
LEVEL 13	32,192		32,192
LEVEL 14	32,192		32,192
TOTAL GROSS AREA	608,784	23,951	632,735
NEW RETAIL 2-A MEZZANINE		747	
TOTAL RETAIL AREA		24,698	

TOTAL LAND AREA = 112,733 SQUARE FEET (2.588 ACRES)

CMX-4 ZONING = FAR RATIO = 500

TOTAL GROSS FLOOR AREA (WITH FAR) = 563,665 SQUARE FEET

ZONING BOARD PERMIT #659653 (1/21/2016)

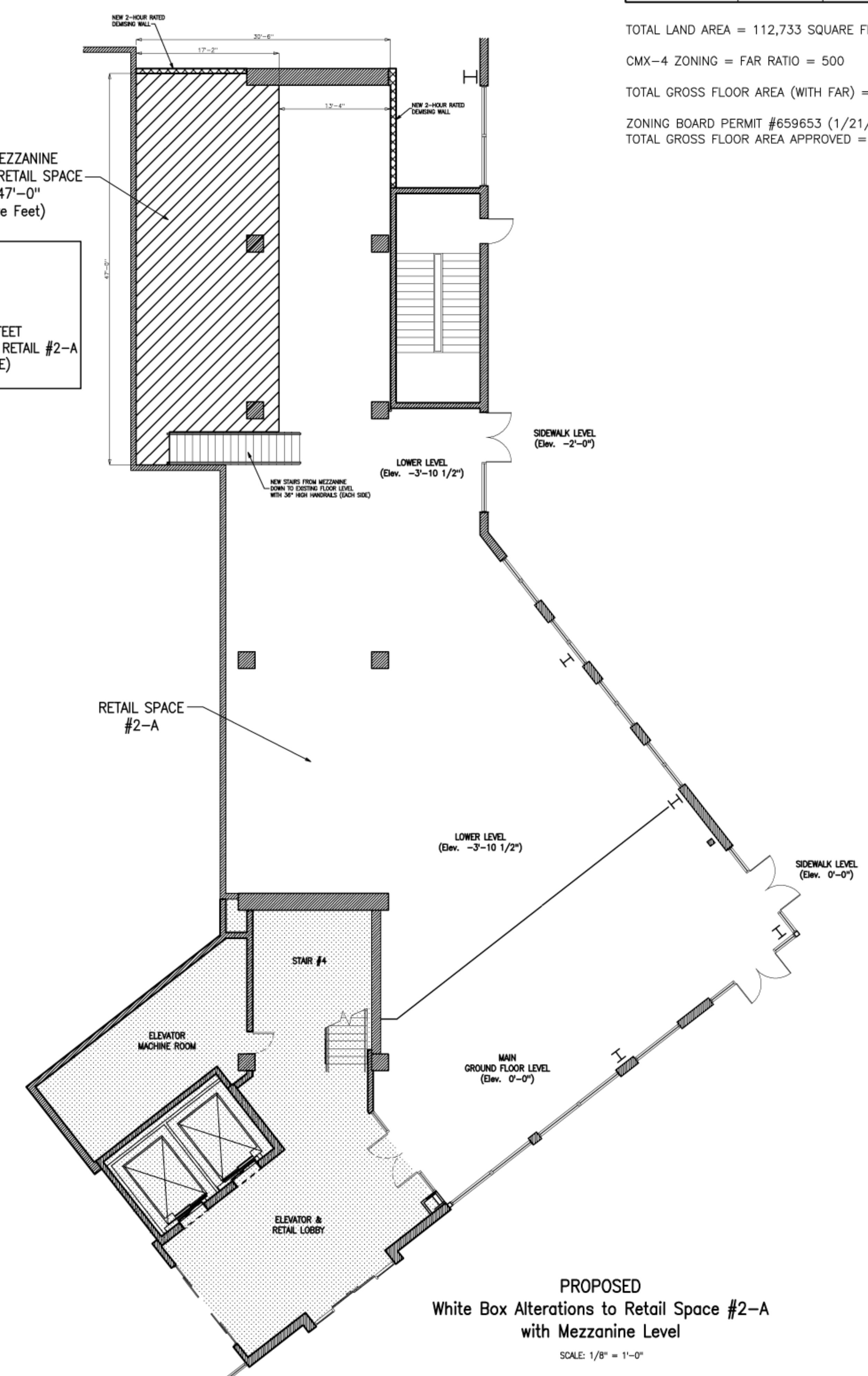
TOTAL GROSS FLOOR AREA APPROVED = 679,610 SQUARE FEET

GROUND FLOOR AREA CALCULATIONS:

91,738 TOTAL GROSS SQUARE FEET

4,958 RETAIL SPACE #2-A SQUARE FEET

747 PROPOSED MEZZANINE WITHIN RETAIL #2-A (FOR ADDITIONAL RETAIL SPACE)



ARCHITECTS SEAL:



BRUTTANITI ARCHITECTURE LLC

1432 South Broad Street
Philadelphia, PA 19146-4808

Phone: (215) 218-0300
Anthony@BruttanitiArchitecture.com

BROADRIDGE
1300 Fairmount Avenue
Philadelphia, PA
19123

1300 FAIRMOUNT AVENUE Ground Floor Site Plan / Retail #2-A

PROJECT ISSUE DATES:
06/15/2026 - CLIENT REVIEW
06/22/2026 - L&P PERMIT REVIEW

DRAWING DESCRIPTION AND INFORMATION:

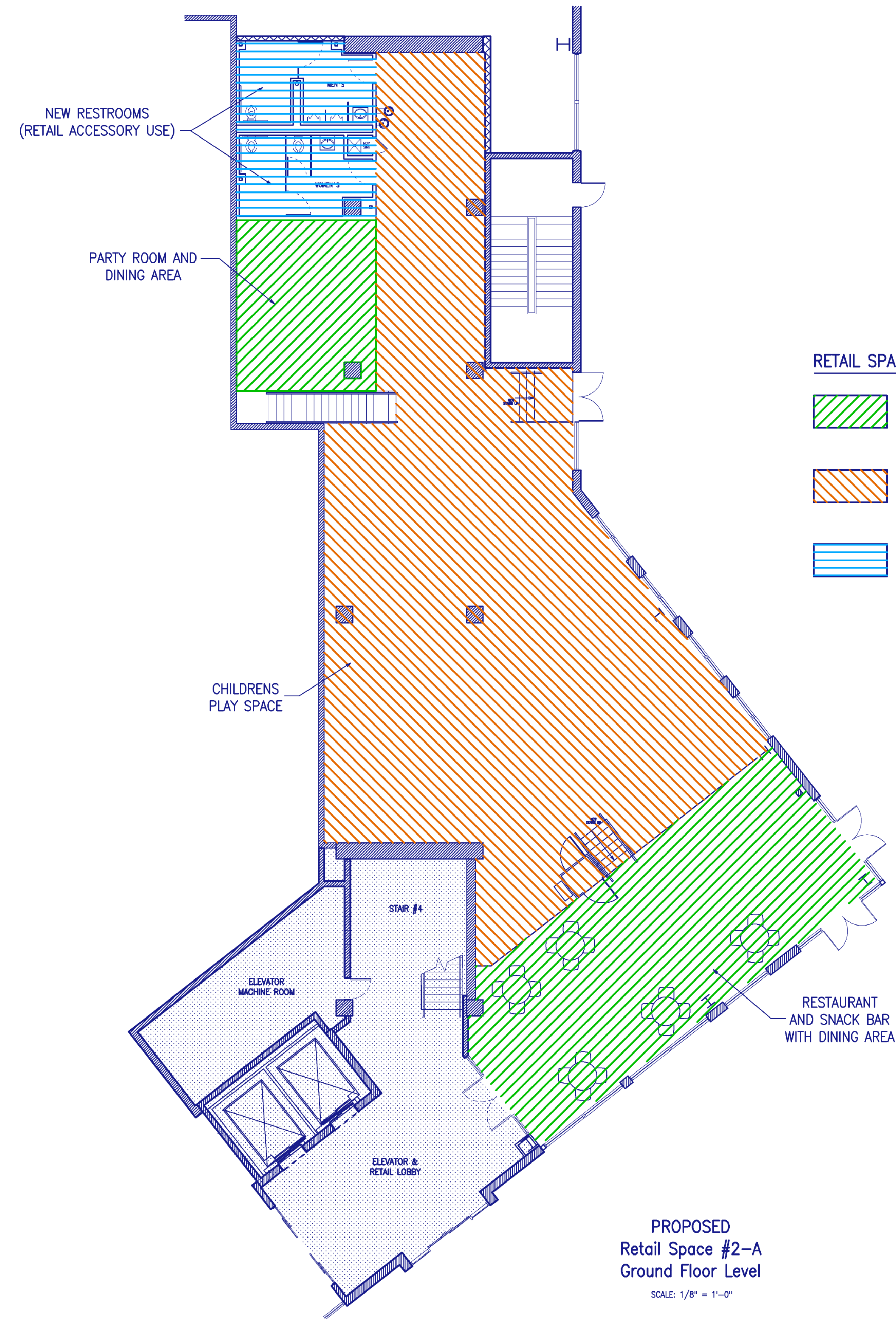
Existing Site Plan
& Retail Space #2-A

copyright Bruttaniti Architecture LLC

PROJECT INFORMATION:

DATE: 22 JUNE 2026
PROJECT NO: 2612.1
DRAWN BY: AB
APPROVED BY: AB
SCALE: AS NOTED

A-1

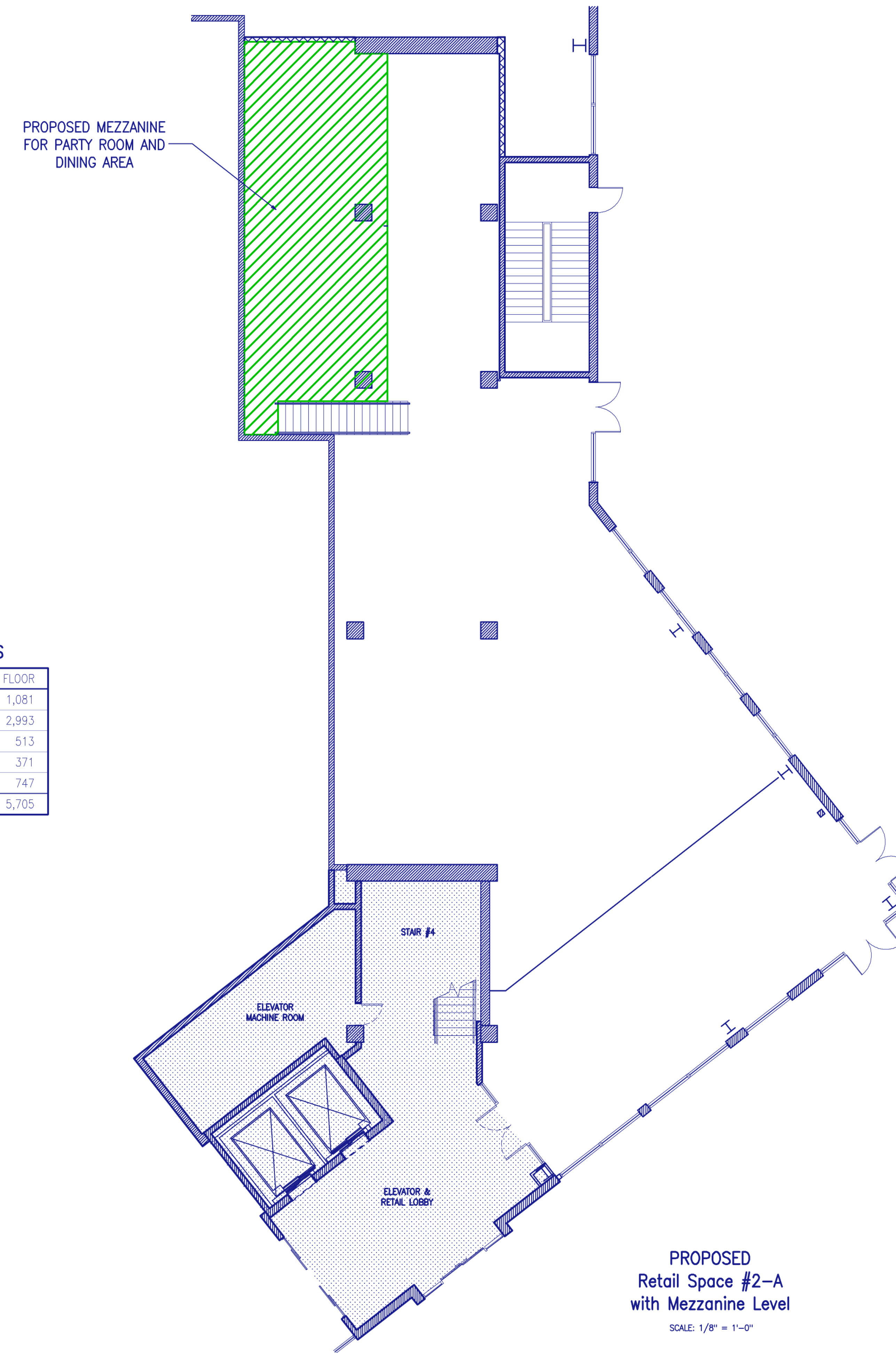


RETAIL SPACE LEGEND:

-  RESTAURANT, SNACK BAR, AND
PARTY ROOMS WITH DINING AREA
-  CHILDRENS PLAY SPACE
-  NEW RESTROOMS
(RETAIL ACCESSORY USE)

SQUARE FOOTAGE CALCULATIONS

SPACE NAME	1st FLOOR
RESTAURANT & SNACK BAR	1,081
CHILDRENS PLAY SPACE	2,993
PARTY ROOM & DINING (LOWER LEVEL)	513
NEW RESTROOMS	371
MEZZANINE PARTY ROOM & DINING	747
TOTAL	5,705



ARCHITECTS SEAL:



BRUTTANITI ARCHITECTURE LLC

1432 South Broad Street
Philadelphia, PA 19146-4808

Phone: (215) 218-0300
Anthony@BruttanitiArchitecture.com

BROADRIDGE
1300 Fairmount Avenue
Philadelphia, PA
19123

1300 FAIRMOUNT AVENUE Retail #2-A

PROJECT ISSUE DATES:

07/15/2026 - CLIENT REVIEW
07/16/2026 - CLIENT REVIEW

DRAWING DESCRIPTION AND INFORMATION:

Retail #2-A
Proposed Floor Plans

copyright Bruttaniti Architecture LLC

PROJECT INFORMATION:

DATE: 16 JULY 2026
PROJECT NO: 2612.1
DRAWN BY: AB
APPROVED BY: AB
SCALE: 1/8" = 1'-0"

A-2

Zoning Permit

Permit Number ZP-2026-004629

LOCATION OF WORK 1300 FAIRMOUNT AVE, Philadelphia, PA 19123-2403 GROUND FLOOR- INTERIOR Space # 2 A	PERMIT FEE \$1,871.00	DATE ISSUED 7/30/2026
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX4	

PERMIT HOLDER 1300 FAIRMOUNT LLC	1745 SHEA CENTER DR SUITE 200 HIGHLANDS RANCH CO 80129
--	---

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change

APPROVED DEVELOPMENT Erection of mezzanine on ground floor of an existing structure to create addition floor area to use as dining and party area as part of children play area (assembly and entrainment). Size and location as shown in the plan.
--

APPROVED USE(S) Assembly and Entertainment
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2026-004629

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1300 FAIRMOUNT AVE, Philadelphia, PA 19123-2403

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement available from Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of building permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of building permit issuance.