

Zoning Permit

Permit Number ZP-2020-001166

LOCATION OF WORK 629-33 W GIRARD AVE, Philadelphia, PA 19123-1321	PERMIT FEE \$850.00	DATE ISSUED 12/20/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1 CMX2.5	

PERMIT HOLDER GIRARD ST BULLIES LLC	1533-35 N SYDENHAM ST GIRARD ST BULLIES LLC PHILADELPHIA PA 19121
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR ERECTION OF AN ATTACHED STRUCTURE WITH CELLAR AND AN ACCESSORY ROOF DECK (FOR RESIDENTIAL USE ONLY) WITH TWO ROOF ACCESS STRUCTURES AND ELEVATOR OVERRUN. (LOW INCOME BONUS APPLIED FOR AN ADDITIONAL 7 FT HEIGHT TO THIS PERMIT (14-702(7)(B)(.6) AND (C)). SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLAN.
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APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

629-33 W GIRARD AVE, Philadelphia, PA 19123-1321

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR VACANT COMMERCIAL SPACE ON FIRST FLOOR (MUST OCCUPY 100% OF THE GROUND FLOOR STREET FRONTAGE (PRIMARY FRONTAGE) WITH A MINIMUM DEPTH OF 30') (USES ONLY PERMITTED IN CMX-2.5 THAT NOT TO REQUIRE OFF STREET PARKING AS PER TABLE 14-802-2, USE REGISTRATION PERMIT IS REQUIRED PRIOR TO OCCUPANCY) AND MULTI-FAMILY HOUSEHOLD LIVING THIRTY SIX (36) DWELLING UNITS (LOW INCOME BONUS APPLIED TO THIS PERMIT (14-702(7) (B).(6)) AND TWELVE (12) OFF STREET BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE.

This permit is subject to the following specific conditions.

CONDITIONS

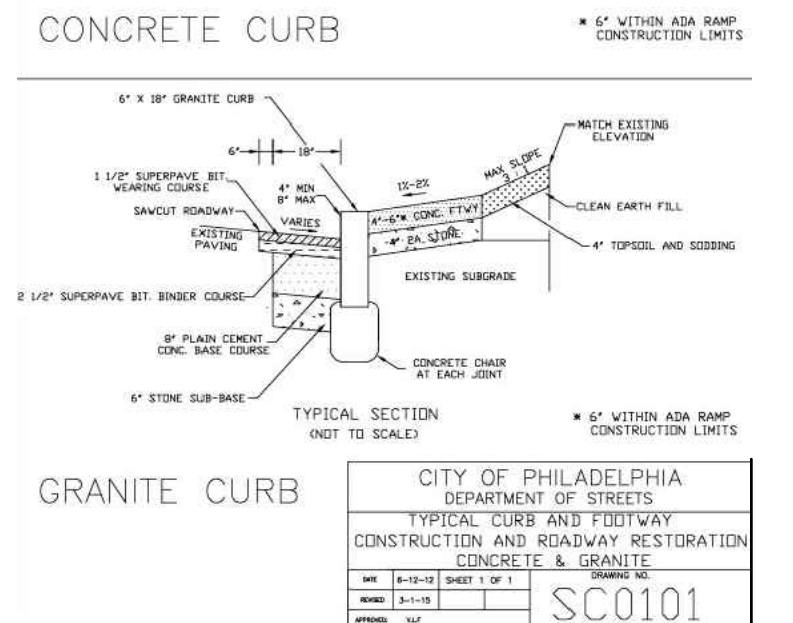
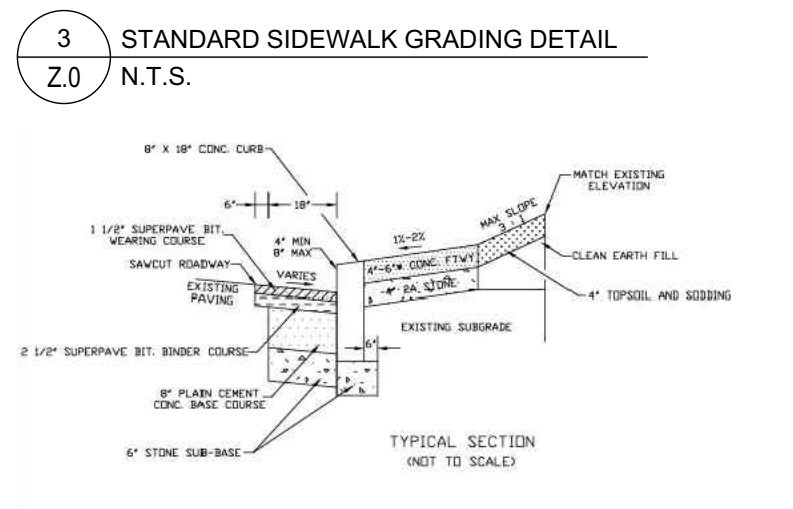
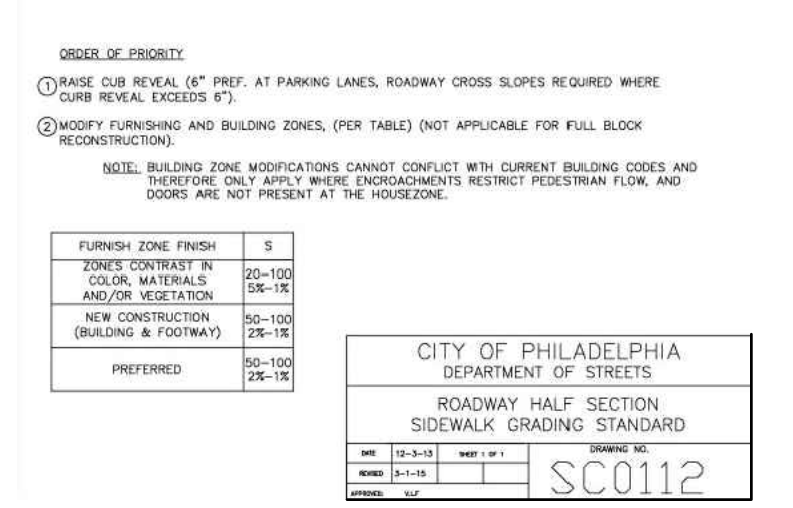
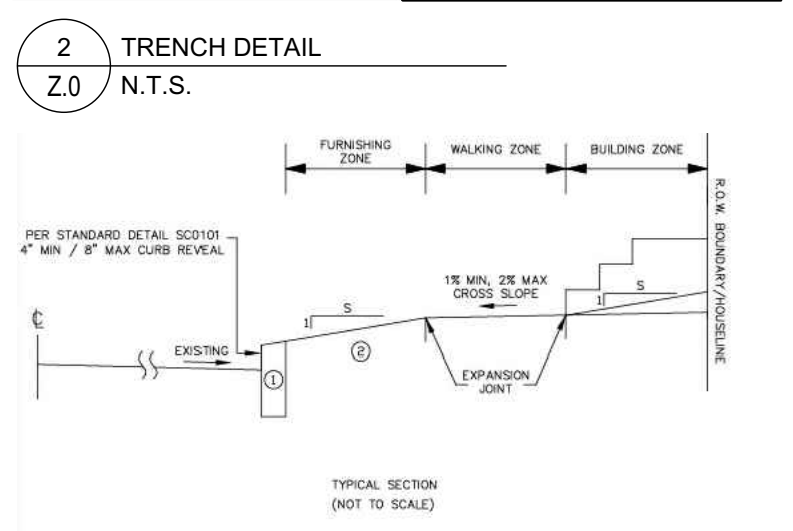
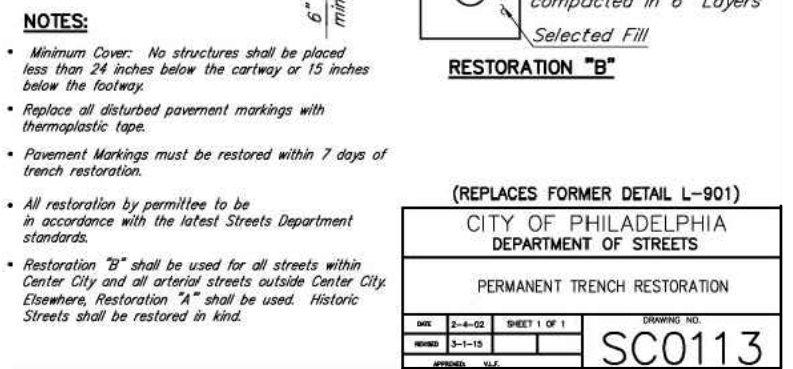
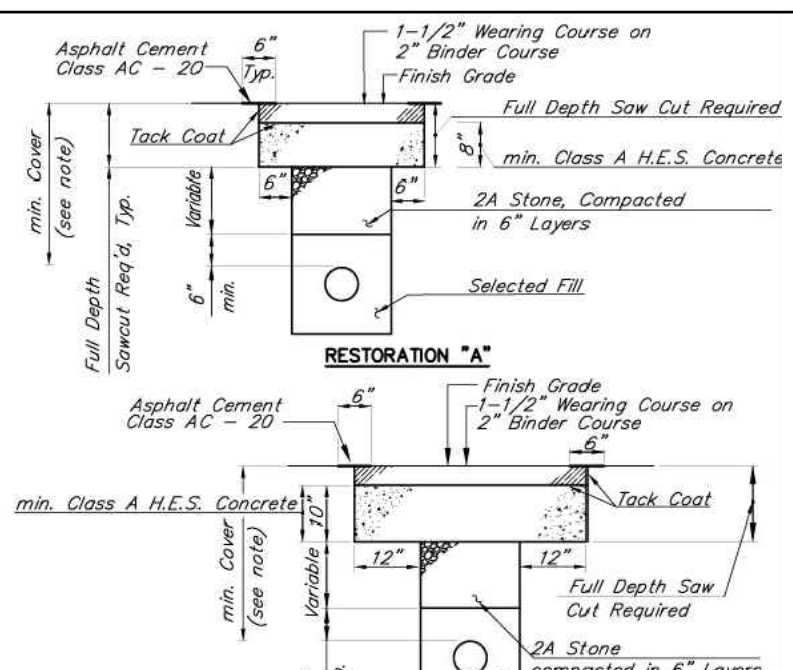
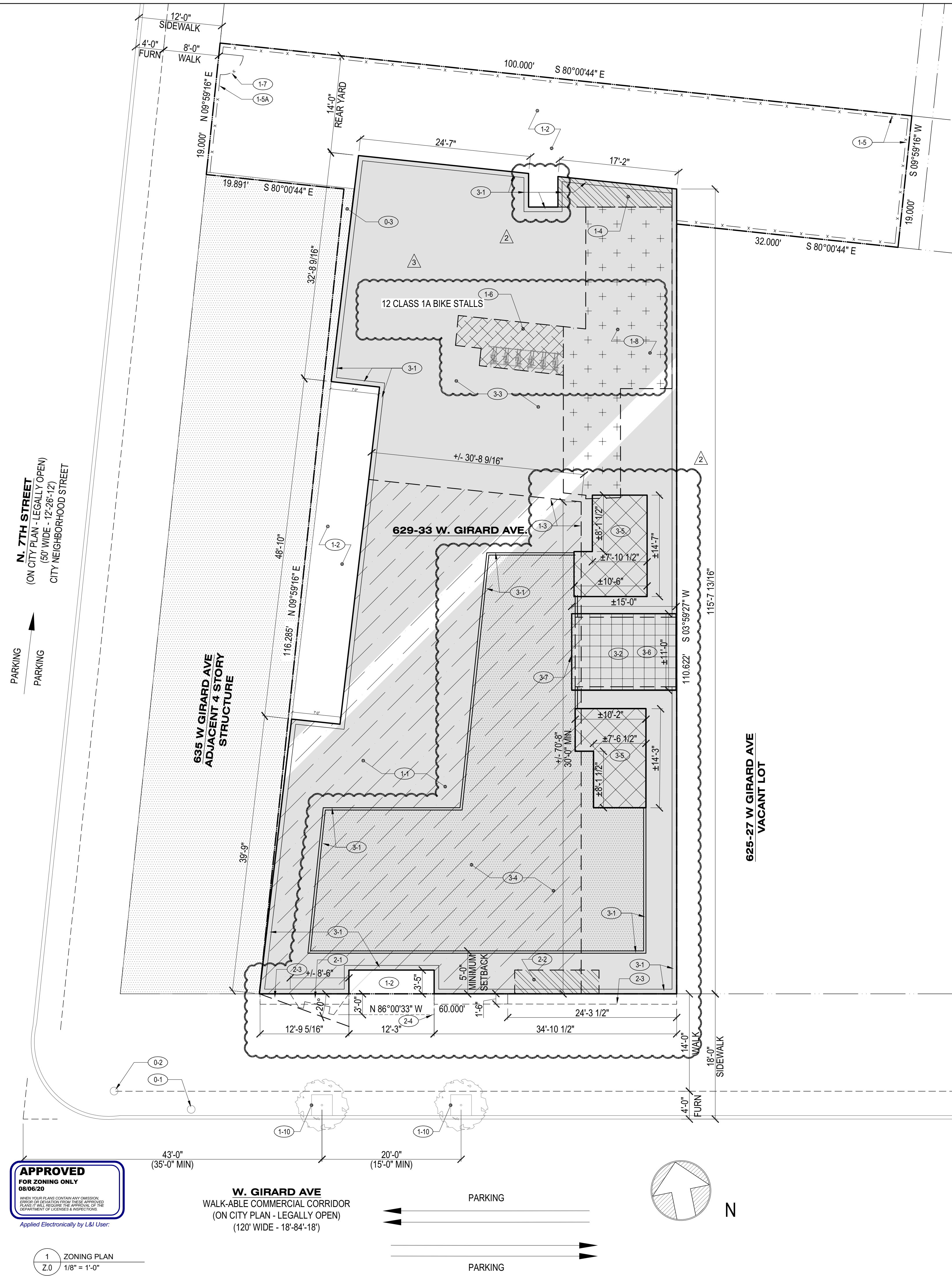
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



ZONING KEYED NOTES	
3-1	42" HIGH GUARDRAIL / PARAPET
3-2	ROOF DECK ACCESS STRUCTURE (NTE 165 SF, TO CONTAIN ELEVATOR)
3-3	ROOF: AREA NOT TO BE OCCUPIED
3-4	ROOF DECK
3-5	ROOF ACCESS STRUCTURE (NTE 125 SF, TO CONTAIN STAIRS & LANDING ONLY)
3-6	ELEVATOR OVERRUN FOR MECH. PURPOSE
3-7	6" EAVE, TYP.
2-1	PROJECTED BAY
2-2	RECESSED BALCONY
2-3	ARCHITECTURAL EMBELLISHMENT
2-4	PROJECTED CANOPY @ FIRST FLOOR
1-1	HATCH REPRESENTS COMMERCIAL SPACE @ FIRST FLOOR
1-2	OPEN AREA
1-3	LINE OF RESIDENTIAL PORTION @ 1ST FLOOR
1-4	RECESSED PORTION @ 1ST FLOOR
1-5	6'-0" H. FENCE (AT PROPERTY LINE, TYPE)
1-5A	4'-0" H. FENCE (50% OPAQUE, MAX.)
1-6	CLASS 1A BIKE STALLS ON ACCESSIBLE ROUTE
1-7	3' WIDE GATE
1-8	PROPOSED ACCESSIBLE ROUTE TO BIKE STALLS
1-9	LANDSCAPED AREA
1-10	PROPOSED STREET TREE
0-1	EXISTING FIRE HYDRANT
0-2	EXISTING UTILITY POLE
0-3	EXISTING BUILDING ENCROACHMENT
0-4	CURB CUT (TO BE FILLED)
0-5	ADA CORNER RAMP

PROJECT SUMMARY: 629-33 W. GIRARD AVE.			
ZONING: CMX-2.5			
ABUTTING ZONING DISTRICT: CMX-2.5, RM-1			
ZONING DISTRICT ACROSS STREET: CMX-2			
LOT AREA: 8,015.8 SF (184 AC)			
USE: MIXED-USE			
DWELLING UNITS	ALLOWED 29	W/ AFFORDABLE 36	PROPOSED 36
DIMENSIONAL STANDARDS			
OPEN AREA	REQUIRED / ALLOWED 2,003.95 SF (25%)	PROPOSED 2,066.34 SF (25.78%)	
OCCUPIED AREA	8,011.85 SF (75%)	5,949.46 SF (74.22%)	
FRONT YARD SETBACK	0'	0'	
SIDE YARD	5' IF USED	0'	
REAR YARD	13.21' (10% LOT DEPTH)	14'-0" (10.5% LOT DEPTH)	
HEIGHT	55'	62' (W/ AFFORDABLE BONUS)	
CORNICE HEIGHT	25'	62'	

DENSITY AND HEIGHT BONUS SUMMARY:			
MODERATE INCOME HOUSING BONUS :			
DWELLING UNITS	ALLOWED 29	EARNED 29 x 25% = 7.25 = 7	TOTAL USED 29 + 7 = 36
BLDG. HEIGHT	ALLOWED 55'-0"	EARNED + 7'-0"	USED 7'-0"
TOTAL HEIGHT 62'-0"			
FEE IN LIEU OF PROVIDING AFFORDABLE UNITS: MODERATE INCOME BONUS SOUGHT (THE GREATER OF THE 2 BELOW GOVERN)			
METHOD 1:	COST PER UNIT FORMULA:	UNITS EARNED x \$30,000/UNIT = FEE 7 x \$25,000/UNIT = \$175,000	
METHOD 2:	COST PER LOT AREA FORMULA:	\$20 PER SF OF LOT AREA = FEE \$20 x 8,015.8 SF = \$160,316.00	
FINAL FEE IN LIEU OF = \$175,000			

ZONING NOTES:

- PILOT HOUSES ARE TO CONTAIN STAIRS AND LANDINGS ONLY.
- PROPOSED ROOF DECKS ARE TO BE SETBACK MIN. 5'-0" FROM RIGHT OF WAYS.
- GUARD RAILS/TYPICAL PARAPETS ARE 42" AFF
- 6' TALL FENCE PROPOSED AT REAR AND SIDE YARDS WHERE APPLICABLE

TYPICAL ENCROACHMENTS INTO RIGHT OF WAYS:		
	W. GIRARD AVE.	N. 7TH ST.
FURNISHING ZONE	4'-0"	4'-0"
PEDESTRIAN ZONE	14'-0"	8'-0"
BUILDING ZONE	0'-0"	0'-0"

STAIR ENCROACHMENT: 0'
EGRESS WELLS (TYP. THROUGHOUT): 0'

EGRESS WELLS SHALL BE COVERED WITH A WALKABLE STEEL GRATE FLUSH WITH THE SIDEWALK AND ACCESSIBLE.

BAY WINDOWS AND BALCONIES: NOT TO BE ERRECTED EXCEPT WITHIN LINES DRAWN FROM THE INTERSECTION OF THE PARTY LINE AND THE STREET LINE AT AN ANGLE OF 20° WITH THE LATTER.
ERECTED AT THE PROPERTY LINE EXTENDING INTO THE RIGHT-OF-WAY NO MORE THAN 3'-0" BAYS TO BE MIN. 10'-0" IN HEIGHT OVER RIGHT OF WAYS.

STREETS DEPARTMENT NOTES:

- PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- PENNSYLVANIA ONE CALL SYSTEM #2019 315 1587
- WARD #14
- UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD.

STREETS DEPARTMENT NOTES:

- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSAL.
- NEW CURB PER CURB, FOOTWAY AND ROADWAY RESTORATION STANDARD DRAWING NUMBER SC-0101
- MINIMUM PEDESTRIAN, BUILDING, AND FURNISHING ZONES PER COMPLETE STREETS POLICY, CHAPTER 11-900
- THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK, TO BE PAID UNDER ITEM #4-1041 AT A COST OF \$345 PER DAY. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION UNIT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION AT (215) 686-5539, A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- STREET TREES MUST BE PERMITTED BY THE PHILADELPHIA DEPARTMENT OF PARKS & RECREATION. CONTACT THE STREET TREE MANAGEMENT DIVISION AT (215) 686-4363.
- ALL EGRESS/LIGHT WELLS IN SIDEWALK SHALL BE CAPPED FLUSH W/ FINISHED SIDEWALK SURFACE W/ WALKABLE STEEL BAR GRATING
- SIDEWALK SPOT ELEVATIONS ARE TAKEN FROM PUBLIC RECORD. MEASUREMENTS ARE SET ABOVE PHILADELPHIA DATUM (A.P.D.). ALL SPOT ELEVATIONS ARE EXISTING AND DO NOT NECESSARY REFLECT PROPOSED CONDITIONS.
- STREET LIGHT POLE LOCATIONS ARE NOT FINAL. THE STREETS DEPARTMENT STREET LIGHTING ENGINEER WILL DETERMINE THE EXACT LOCATIONS OF THE STREET LIGHT POLES DURING CONSTRUCTION. CONTACT THE STREET LIGHTING ENGINEER AT (215) 686 5517 TO COORDINATE STREET LIGHT POLE LOCATIONS.
- FOR PROJECTS ON STATE ROUTES, NOTICE IS HEREBY GIVEN THAT THE RECEIPT OF A PERMIT FROM EITHER THE PHILADELPHIA STREETS DEPARTMENT, OR THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PennDOT) DOES NOT IMPLY A PERMIT FROM THE OTHER. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. WILL BE FURNISHED BY THE 5th SURVEY DISTRICT OF THE CITY OF PHILADELPHIA BASED ON ITEM #4-1040.
NOTE: THIS ITEM, ENGINEERING SERVICES, IS A PRE-DETERMINED AMOUNT TO BE DETERMINED BY THE SURVEYOR & REGULATOR AND TO BE INCLUDED IN THE CONTRACTOR'S BID.
- PERMITS FOR BOLLARDS, CURB, AND SIDEWALK PAVING WILL BE FURNISHED BY THE 3rd HIGHWAY DISTRICT OF THE CITY OF PHILADELPHIA.

**harman
deutsch
ohler
architecture**

1225 n 7th street
philadelphia, pa 19122
hdoarch.com
267.324.3601

PROJECT ADDRESS:

**629-33 W. GIRARD AVE.
PHILADELPHIA, PA**



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CONSULTANTS:

#	DATE	ISSUE / REVISION
1	02.04.2020	ZONING SUBMISSION
2	04.29.2020	ZONING RESUBMISSION
3	07.21.2020	ZONING REVISION

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DRAWINGS PREPARED BY:
BL / SY

DRAWINGS CHECKED BY:
RS / EQ

DRAWING TITLE:

ZONING SITE PLAN

DRAWING NUMBER:

Z.0

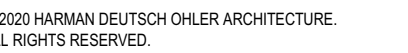
ZONING ONLY



PROJECT ADDRESS:

529-33 W. GIRARD AVE.
PHILADELPHIA, PA

REAL:



CONSULTANTS:

#	DATE	ISSUE / REVISION
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2	04.29.2020	ZONING RESUBMISSION
	07.21.2020	ZONING REVISION

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DRAWINGS PREPARED BY:

L/SY

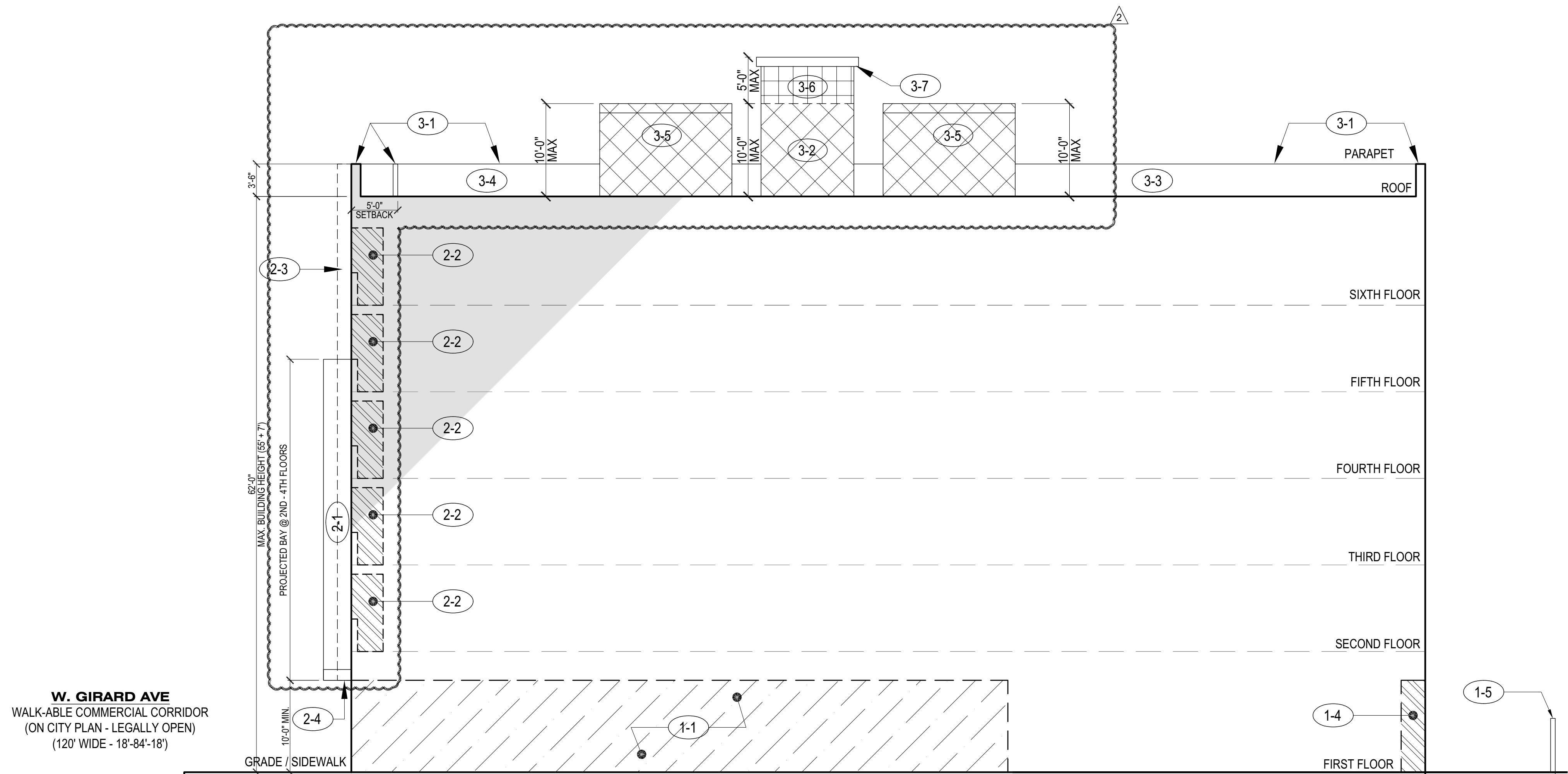
DRAWINGS CHECKED BY:

S / EQ

CLONING SITE PLAN

DRAWING NUMBER:

Z.1



ZONING KEYED NOTES				
3 - ROOF	3-1 42" HIGH GUARDRAIL / PARAPET 3-2 ROOF DECK ACCESS STRUCTURE (NTE 165 SF, TO CONTAIN ELEVATOR) 3-3 ROOF: AREA NOT TO BE OCCUPIED 3-4 ROOF DECK 3-5 ROOF ACCESS STRUCTURE (NTE 125 SF, TO CONTAIN STAIRS & LANDING ONLY) 3-6 ELEVATOR OVERRUN FOR MECH. PURPOSE 3-7 6" EAVE, TYP.			
	2 - FACADE	2-1 PROJECTED BAY 2-2 RECESSED BALCONY 2-3 ARCHITECTURAL EMBELLISHMENT 2-4 PROJECTED CANOPY @ FIRST FLOOR 2-5 RECESSED BALCONY 2-6 MINING 2-7 CORNICE 2-8 DECK		
		1 - SITE	1-1 HATCH REPRESENTS COMMERCIAL SPACE @ FIRST FLOOR 1-2 OPEN AREA 1-3 LINE OF RESIDENTIAL PORTION @ 1ST FLOOR 1-4 RECESSED PORTION @ 1ST FLOOR 1-5 6'-0" FENCE (AT PROPERTY LINE, TYPE 1-5A) 4'-0" FENCE (50% OPAQUE, MAX.) 1-6 CLASS 1A BIKE STALLS ON ACCESSIBLE ROUTE 1-7 3' WIDE GATE 1-8 PROPOSED ACCESSIBLE ROUTE TO BIKE STALLS 1-9 LANDSCAPED AREA 1-10 PROPOSED STREET TREE 1-11 PROPOSED CLASS 1A BIKE STALL 1-12 PROPOSED ADA CORNER RAMP 1-13 PARKING STALL (8'-6" X 18'-0" TYP.) 1-14 ADA STALL MINIMUM 8'-6" X 18'-0" TYP.	
			0 - EXISTING	0-1 EXISTING FIRE HYDRANT 0-2 EXISTING UTILITY POLE 0-3 EXISTING BUILDING ENCROACHMENT 0-4 CURB CUT TO BE FILLED 0-5 ADA CORNER RAMP



Applied Electronically by L&I User:

1 ZONING SECTION
Z.1 1/8" = 1'-0"

ZONING ONLY

PROJECT ADDRESS: