

Zoning Permit

Permit Number ZP-2022-005527

LOCATION OF WORK 328-30 W QUEEN LN, Philadelphia, PA 19144-4010	PERMIT FEE \$1,977.00	DATE ISSUED 6/16/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2.5	

PERMIT HOLDER QUEEN SENIOR LLC	1717 W 6TH ST STE 260 QUEEN SENIOR LLC AUSTIN TX 78703
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OWNER CONTACT 1 Tom McInerney	1583 Wrightstown Road, Newtown, PA 18940
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT **AMENDED 3/4/25- The building height decreased from 53'-6" to 52'-1". This is allowable per the amended zoning permit process. The occupied area INCREASED from 62.6% to 64.3%. This is allowable per the amended zoning permit process. Side and rear yards have been revised but still meet the allowable. This does not affect the allowable floor area for the site. The height of the fence adjacent to 326 W Queen Lane has been changed to 4' in height. The height of the fence around the

APPROVED USE(S) Public, Civic, and Institutional - Community Center; Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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remainder of the project has changed from 6' to 8' in height. No refusal generated and no changes exceeding 10% as per allowable changes. FOR THE ERECTION OF A SEMI-DETACHED STRUCTURE (55' HIGH) WITH SIXTEEN(16) 1A CLASS BICYCLE SPACES AT FIRST FLOOR. SIZE AND LOCATION AS SHOWN IN THE APPLICATION.**AMENDED 7/7/25-EXTEND FOR A PERIOD OF ONE YEAR PER SECTION 14-303(10)(d) OF THE PHILADELPHIA ZONING CODE. A BUILDING PERMIT MUST BE OBTAINED BY 6/16/2026



APPROVED USE(S)

Public, Civic, and Institutional - Community Center; Residential - Household Living - Multi-Family

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 - **3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - **60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

328-30 W QUEEN LN, Philadelphia, PA 19144-4010

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A COMMUNITY CENTER (must be within the first 30 ft. of building depth, measured from the front building line) AT FIRST FLOOR FRONT WITH MULTI-FAMILY HOUSEHOLD LIVING(49 DWELLING UNIT) IN THE BUILDING.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

The diagram shows a building footprint with several annotations:

- ADJOINING PROPERTY LINE**: Indicated by a dashed line at the top.
- CURB**: Indicated by a solid line at the top.
- FENCE LINE, GATE POST**: Indicated by a line with 'X' marks on the left side.
- BUILDING FOOTPRINT AT GROUND LEVEL**: The main building footprint is shaded with diagonal lines.
- BUILDING STRUCTURE ABOVE (BAY/CORNIC/BALCONY AS NOTED)**: A smaller structure on the right side of the main footprint is also shaded.
- SPOT GRADE ELEVATION DESCRIPTIONS**: A table on the right lists various features and their elevations.
- ABBREVIATIONS**: A table at the bottom lists various symbols and their meanings.

SPOT GRADE ELEVATION DESCRIPTIONS

SURFACE	TOP OF CURB	BUILDING CORNER
UTILITY POLE W/ LIGHT	214.54	CONFIRMED CITY PLAN CURB ELEVATION
BOLLARD	0.05	CONFIRMED CITY PLAN CURB GRADIENT

ABBREVIATIONS

Symbol	Meaning	Symbol	Meaning
B	BOLLARD	SAN	SANITARY
BT	BELL TELEPHONE (VERTICAL)	TOP OF CURB	TOP OF CURB
C.F.W.	CONCRETE FOOTWAY	TL	TRAFFIC LIGHT
CATV	CABLE TV	TS	TRAFFIC SIGN
COMM	COMMUNICATION	TW	TOP OF WALL
DS	DOOR SILL	UP	UTILITY POLE
FH	FIRE HYDRANT	UPWL	UTILITY POLE (WITH LIGHT)
G	GUTTER	V	SEWER VENT (FRESH AIR INLET)
KT	KEYSTONE TELEPHONE	WV	WATER VALVE
PECO	PECO ENERGY COMPANY	YD	YARD DRAIN
PL	PROPERTY LINE		
RC	RAIN CONDUCTOR		

	METAL FENCE
	TURF OR PLANTED AREA
	CONCRETE PAVING
	ASPHALT PAVING

Diagram illustrating the building limit at ground level and the building limit at outermost elements. The diagram shows a cross-section of a building with a door location indicated. The building limit at ground level is shown as a dashed line, and the building limit at outermost elements is shown as a solid line. The door location is marked with a small square.

ZONING DATA - ZONE CM-2.5 NEIGHBORHOOD COMMERCIAL MIXED-USE*			
328 W. Queen Lane			
CM-2.5 Neighborhood Commercial Mixed Use			
District Name	Allowed/Required	Proposed	
Uses (from Table 14-602.2)	See Proposed Unit and GFA Court Table	Multi-Family Residential (43 Dwelling Units)	
District and Lot Dimensions (from Table 14-701.3)			
Net Lot Area (Ac. +/-)	N/A	18,922 P.D.S	
Max. Floor Area (sq. ft. of lot area)	N/A	See Proposed Unit and GFA Court Chart	
Min. Street Frontage (ft.)	N/A	135.00' +/-	
Max. Building Height (ft.)	N/A	52' +/-	
Max. Covered Area	75% Intermediate Lot (57% = 18,922 SF x 14.191 S.F.)	52' 169' +/- 18,922 SF = 44.33%	
Uses (from Table 14-701.3)			
Min. Front Yard Depth (ft.)	N/A	25.7'	
Min. Side Yard Width (Each Side)	8' and	8.1'	
Min. Rear Yard Depth (ft.)	The greater of 8' or 10% of lot depth 10' +/- 25' +/- 25.8' Required	25.7'	
Min. Parking Spaces (Per use, from Table 14-802.2)			
Residential Multi-Family	0 Required		
Min. Loading Spaces (Per use, from Table 14-806.3)			
Residential	GFA = 100,000 sq. 0 Required		
Street/Parking (Per use, from Table 14-804.1)			
Residential	12 or more dwelling units - 15 Units 40 Units = 15 Bicycle parking spaces Req.	16 Type 1A spaces with 1st floor	
Street Trees (Per 14-602.6)	1 tree/50 sq. of lot coverage	0	
Proposed Street Types	Available Street Options	Front to residential activities and driveway apron corners	
Note: All dimensions in U.S. Standard except where so Philadelphia District Government (P.D.S.)			
NCA Neighborhood Commercial Area Overlay District - North and Central Corridors			
NCA is a part of the City of Philadelphia's Comprehensive Zoning Code			

GROSS FLOOR AREA CHART				
		RESIDENTIAL	COMMON*	
Level	Use	GFA (S.F.)	GFA (S.F.)	Residential Units
1	Residential	7,203	3,352	10
2	Residential	9,055	2,608	13
3	Residential	9,055	2,608	13
4	Residential	9,055	2,608	13
	Subtotals	34,368	11,176	49
*Amenity/Storage/Utility/Support				

[illegible]

1. THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT ARE AS FOLLOWS:
A. THE PENNOD ROADWAY CONSTRUCTION SPECIFICATIONS (LATEST EDITION)
B. CONSTRUCTION SPECIFICATIONS (MOST CURRENT EDITION)
C. STREET LIGHTING: PHILADELPHIA STREETS DEPARTMENT, 1500 MARKET STREET, PHILADELPHIA, PA 19102
D. TRAFFIC LIGHTING AND TRAFFIC DEVICES: PHILADELPHIA STREETS DEPARTMENT, 1500 MARKET STREET, PHILADELPHIA, PA 19102
E. TRAFFIC SIGNALS: PHILADELPHIA STREETS DEPARTMENT, 1500 MARKET STREET, PHILADELPHIA, PA 19102
F. STANDARD LIGHTING AND TRAFFIC DEVICES: PHILADELPHIA STREETS DEPARTMENT, 1500 MARKET STREET, PHILADELPHIA, PA 19102
G. STANDARD DETAILS: PHILADELPHIA STREETS DEPARTMENT, 1500 MARKET STREET, PHILADELPHIA, PA 19102
H. THE MOST RECENT EDITION OF THE PENNOD ROADWAY CONSTRUCTION STANDARDS AND DESIGN MANUALS WILL APPLY.

2. WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE PENNOD ROADWAY CONSTRUCTION SPECIFICATIONS DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND THE PENNOD ROADWAY CONSTRUCTION SPECIFICATIONS DEPARTMENT.

3. PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 1 WORKING DAY PRIOR TO ANY EXCAVATION. PENNSYLVANIA ONE CALL SYSTEM NO. 5 202110210328, WARD #8.

4. UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD, THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH.

5. HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. WILL BE FURNISHED BY THE 9TH CONSTRUCTION DISTRICT OF THE CITY OF PHILADELPHIA BASED ON ITEM #4-1040.

6. FURNISH OR BOLLARDS, CURBS, & SIDEWALK PAVING WILL BE CITY OF PHILADELPHIA.

7. THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR THE PROPOSED SIDEWALKS AND CURBS UNDER ITEM # 4-1041 AT A COST OF \$345 PER DAY. THE CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION (215) 686-5539. A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL ADVISE THE CITY OF PHILADELPHIA OF THE INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

8. ALL PROPOSED CURB AND SIDEWALK TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STREETS DEPARTMENT STANDARDS.

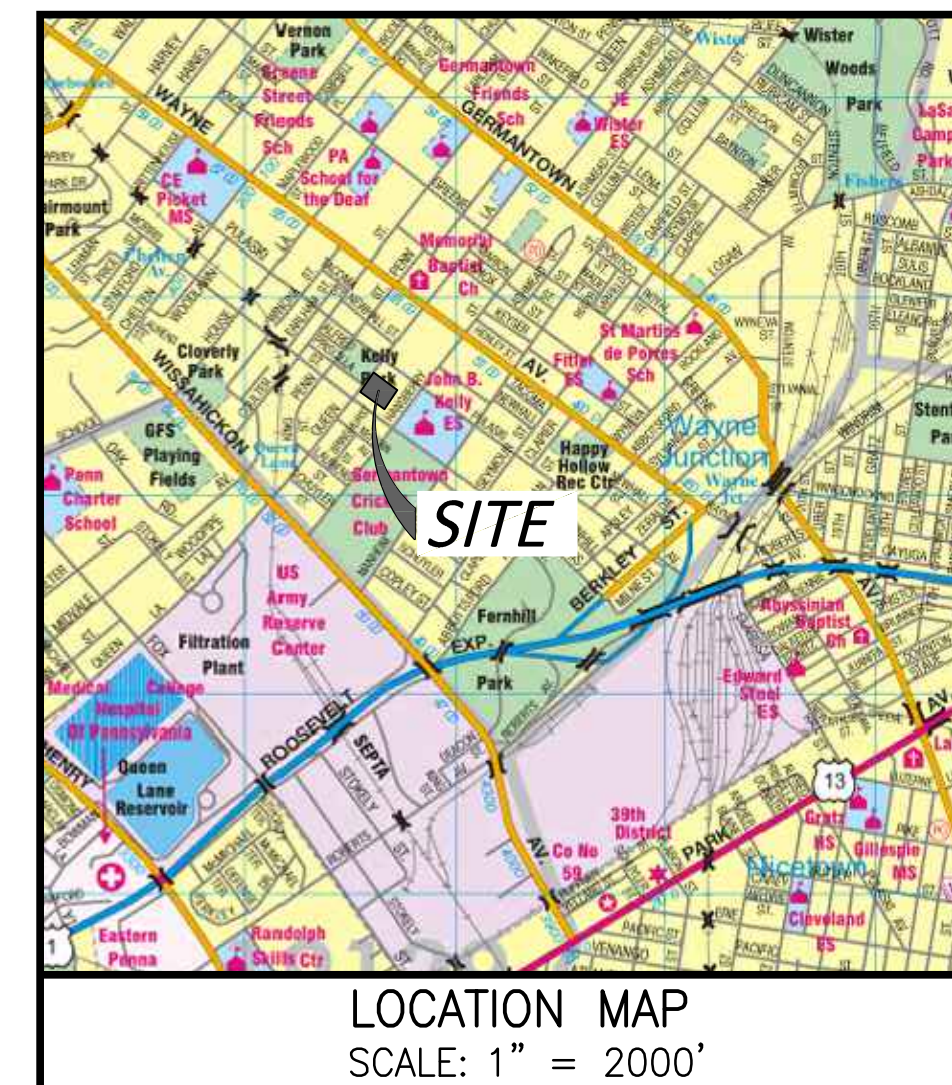
9. THE PROPOSED CURB CUTS WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STREETS DEPARTMENT STANDARDS.

10. ALL DRIVEWAYS CROSSING PUBLIC SIDEWALKS SHALL COMPLY WITH SECTION 14-803(4)(b)(i),(4).

11. PER PHILADELPHIA STANDARD STREETS:

A. W. QUEEN LANE IS A CITY NEIGHBORHOOD STREET AND REQUIRES A 6'-WIDE WALKING ZONE AND A 4'-WIDE M/F FURNISHING ZONE.

12. STREET LIGHT POLE LOCATIONS ARE NOT FINAL. THE STREETS DEPARTMENT LIGHTING ENGINEER WILL DETERMINE THE EXACT LOCATIONS OF THE STREET LIGHT POLES DURING THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF PHILADELPHIA (215) 686-5517 TO COORDINATE STREET LIGHT POLE



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1500 Spring Garden, Suite 1100
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Tel: 215.665.7000
www.stantec.com

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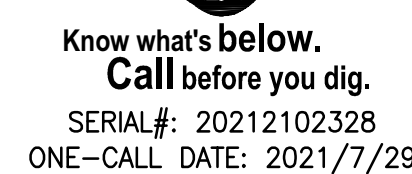
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GENERAL NOTES:

- THIS PLAN IS NOT TO BE USED FOR TITLE OR CONVEYANCE PURPOSES.
2. PLAN MADE AS PER INSTRUCTIONS OF APPLICANT.
3. ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED. PROPERTY IS ZONED CMX-2.5.
4. BENCHMARK IS A SEWER MANHOLE WITH AN ELEVATION OF 218.49' LOCATED IN QUEEN LANE. PHILADELPHIA CITY DATA IS SHOWN ON PLAN.
5. PHILADELPHIA DISTRICT STANDARD DISTANCES TO BE USED FOR TITLE PURPOSES ONLY.
6. FOR PROPERTY DIMENSIONS ARE PHILADELPHIA DISTRICT STANDARD, THE LEGAL STANDARD OF MEASURE WITHIN THE CITY OF PHILADELPHIA. DESIGN DISTANCES ARE IN UNITS OF FEET AND DECIMALS THEREOF.
7. CURB GRADUES TO BE REGULATED BY THE 8TH SURVEY DISTRICT.
8. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A FEDERAL FLOOD HAZARD AREA (FHA) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL CHANCE OF FLOODING) AND ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 420757 SHOWN, 009562 DATED 11/17/2007.
9. INFORMATION USED TO PREPARE THIS PLAN IS AS FOLLOWS:
- CITY PLAN NO. 16 DATED 11/16/1987
 - CITY PLAN NO. 145
 - FIELD SURVEY PERFORMED IN JULY 2021
 - DEEDS FURNISHED BY CLIENT
10. ALL PROPERTIES HAVE DIRECT ACCESS TO A LEGALLY OPEN STREET ON THE CITY PLAN.
11. UTILITIES ENTER THE PREMISE FROM PUBLIC STREETS OR RIGHT-OF-WAYS.
12. ENGINEER'S CERTIFICATION THAT ALL VALVES, MANHOLES, INLETS, AND OTHER UTILITY STRUCTURES HAVE BEEN FIELD VERIFIED AND WILL NOT BE AFFECTED BY PROPOSED CONSTRUCTION.
13. THIS PROJECT INVOLVES THE EARTH DISTURBANCE OF APPROXIMATELY 13,916.0 SF IN THE SCHUYLKILL TRACT WATERSHED. AS SUCH, STORMWATER DISSEMINATION CONTROLS ARE REQUIRED. (ERFA TRACKING NO. FY22-5627--6617-01)
14. INFORMATION SHOWN ON THIS PLAN IS FOR THE ULTIMATE USER. NAMED HEREON AND IS NOT VALID TO ANY OTHER PARTIES.
15. ANY ELECTRONIC REPRODUCTION OF THIS SURVEY AND PLAN IS TO BE FOR THE USER'S USE. THE CLIENT OR USER IS RESPONSIBLE FOR ANY REPRODUCTION OF THE ORIGINAL FILE AND ANY FUTURE PARTIES UTILIZING SAID COPY DO NOT HAVE ANY STANDING OR CLAIM AGAINST ANY ADD'L. CLAIMS FOR DAMAGES AS A RESULT OF SAID DISCREPANCIES.
16. COPYRIGHT 2025 - ALL RIGHTS RESERVED - STATENC NO PART OF THIS SURVEY OR PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM, OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING OR OTHERWISE.

STREETS TRACKING #: SR-2022-013260

ERSA TRACKING #: FY22-WEST-6617-01



ENGINEER: OMAR ROSA, PE 1500 SPRING GARDEN STREET SUITE 1100 PHILADELPHIA, PA 19130 EOMAR.ROSA@STANTEC.COM	OWNER/DEVELOPER: OTH COMMUNITIES, LLC C/O TOM MCINERNEY 1583 WRIGHTSTOWN ROAD NEWTOWN, PA 18940 TMCINERNEY@OTHCAPITAL.COM
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3. REVEID PER L&C COMMENTS	ALD	ECR	2025.02.28
3. TONING AMENDMENT	KAL	ECR	2025.01.28
1. REVEID PER STREETS DEPARTMENT COMMENTS	KAL	W/S	2022.06.03
Revision	By	Asptd	YYYY.MM.DD
Issued	By	Asptd	YYYY.MM.DD
File Name: 202711841C-1112P	KL	BS	KFS 2022.05.06
	Dwn.	Digh.	Chkd. YYYY.MM.DD

Permit/Seal



Client/Project
OTH COMMUNITIES, LLC

328 W. QUEEN LANE

PHILADELPHIA, PA 19144

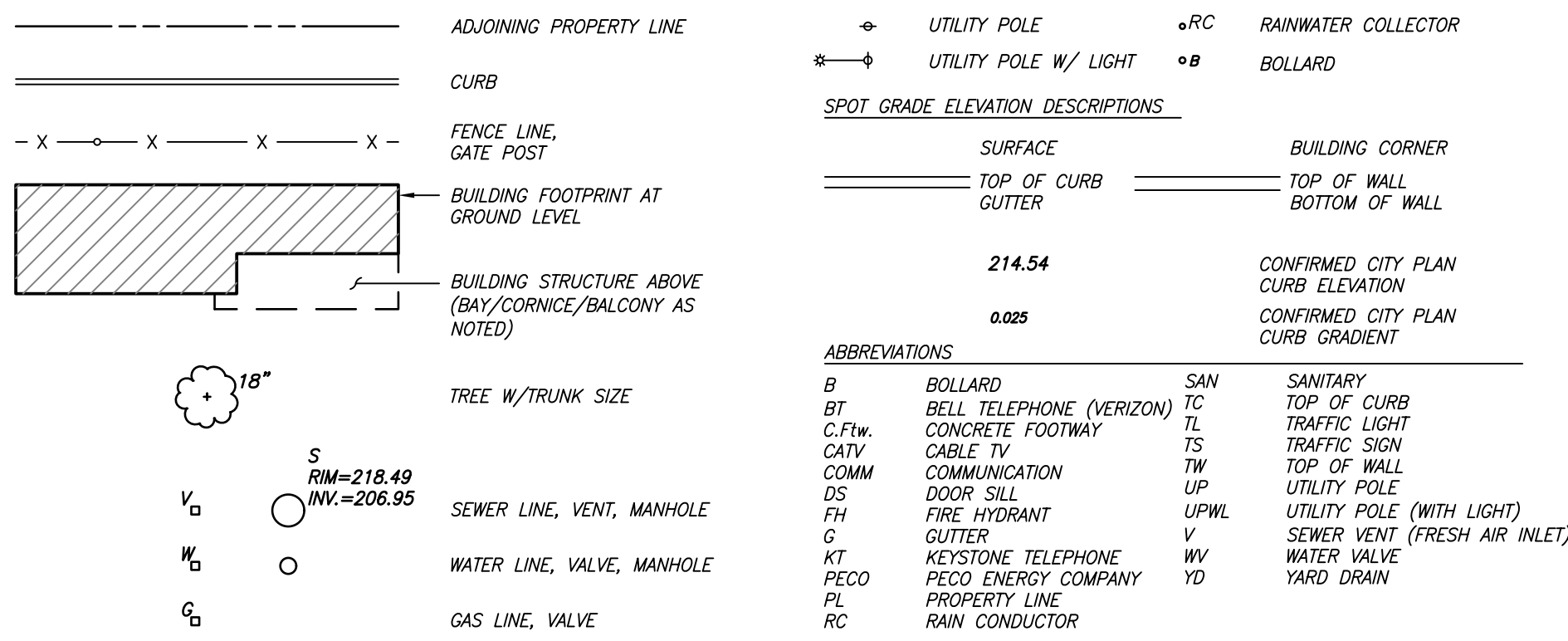
Title
ZONING PLAN

Project No. 202711841		Scale AS NOTED
Revision	Sheet	Drawing No.
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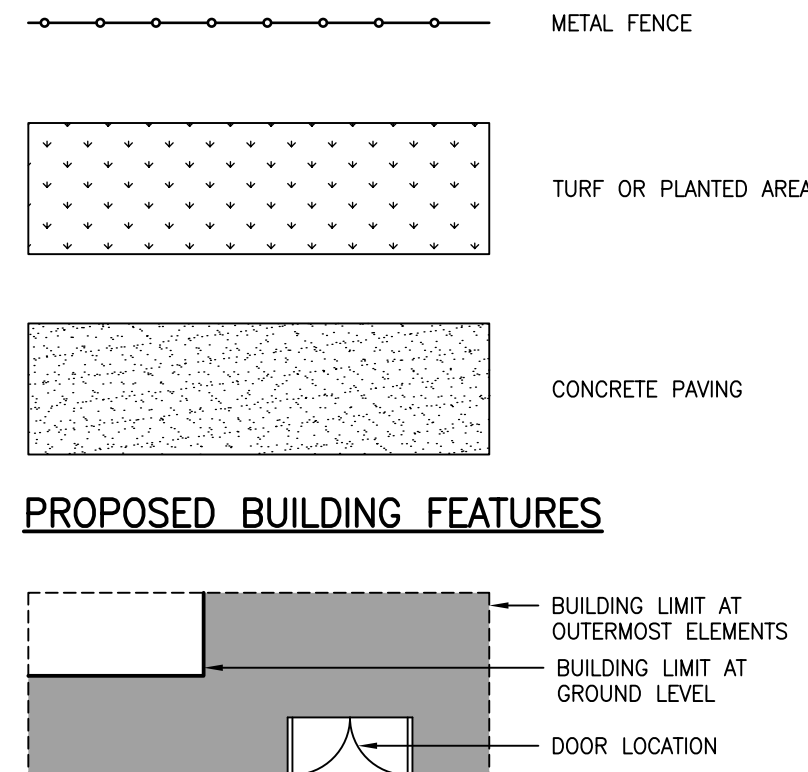
PLANS APPROVED
AS NOTED FOR COMPLIANCE WITH PA UCC
03/04/25
CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES & INSPECTIONS
Richard Maggetti
Richard Maggetti
PA UCC CERT # 004286

A3.10

LEGEND – EXISTING FEATURES



PROPOSED FEATURES



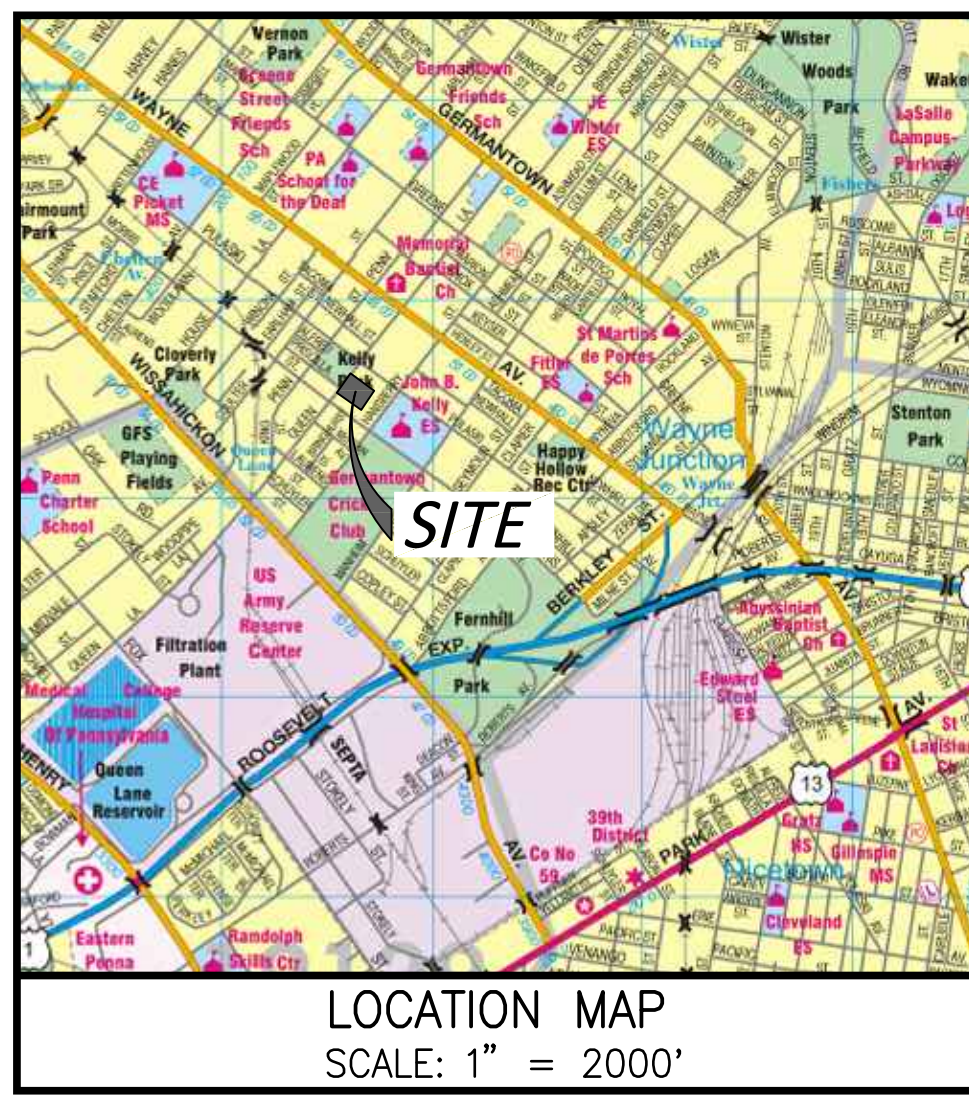
GROSS FLOOR AREA CHART				
Level	Use	RESIDENTIAL GFA (S.F.)	COMMON* GFA (S.F.)	Residential Units
1	Residential	7,006	3,590	10
2	Residential	9,379	2,166	13
3	Residential	9,379	1,998	13
4	Residential	9,379	1,998	13
Subtotals		35,143	9,752	49
*Amenity/Storage/Utility/Support				

ZONING DATA - ZONE CMX-2.5 "NEIGHBORHOOD COMMERCIAL MIXED-USE"		
328 W. Queen Lane		
CMX-2.5 (Neighborhood Commercial Mixed-Use)		
Uses (From Table 14-602-2)	Allowed/Required	Proposed
See "Proposed Unit and GFA Count" Table		
Multi-Family Residential (49 Dwelling Units)		
District and Lot Dimensions (From Table 14-701-3)		
Min. Lot Area (sq. ft.)	N/A	18,922 P.D.S
Max. Floor Area (% of lot area)	N/A	See Proposed Unit and GFA Count Chart
Min. Street Frontage (ft.)	N/A	33,708 P.D.S.
Max. Building Height (ft.)	55	53'-6"
Max. Occupied Area	75% Intermediate Lot (75% x 18,922 SF = 14,191.5 SF)	11,653 SF / 18,922 SF = 62.6%
Yards (From Table 14-701-3)		
Min. Front Yard Depth (ft.)	N/A	0'
Min. Side Yard Width, Each (ft.)	5 ft. if used	7.9'
Min. Rear Yard Depth (ft.)	The greater of 9 ft. or 10% of lot depth 10% 251.5=25.15 ft. Required	26.4'
Min. Parking Spaces (Per use, from Table 14-802-2)		
Residential Multi-Family	0 Required	0
Min. Loading Spaces (Per use, from Table 14-806-2)		
Residential	GFA <100,000 SF: 0 Required	0
Bicycle Parking (Per use, from Table 14-804-1)		
Residential	12 or more dwelling units - 1/3 Units: 49 Units = 16 Bicycle parking spaces Req.	16 Type 1A spaces within 1st floor
Street Trees (Per 14-705(2))		
Required Street Trees	1 tree/35 ft. of linear frontage: Available Street Frontage=0' due to residential utilities and driveway apron conflicts	0

Note: All dimensions in U.S. Standard except noted as Philadelphia District Standard (P.D.S.)

NCA Neighborhood Commercial Area Overlay District - Lower and Central Germantown

EDO Eighth District Overlay District



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- PLAN MADE AS PER INSTRUCTIONS OF APPLICANT.
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- BENCHMARK IS A SEWER MANHOLE WITH AN ELEVATION OF 219.49' LOCATED IN QUEEN LANE. PHILADELPHIA CITY DATUM IS AS SHOWN ON PLAN.
- PHILADELPHIA DISTRICT STANDARD DISTANCES TO BE USED FOR TITLE PURPOSES ONLY.
- ALL PROPERTY DIMENSIONS ARE PHILADELPHIA DISTRICT STANDARD. THE LEGAL STANDARD OF MEASURE WITHIN THE CITY OF PHILADELPHIA. DESIGN DIMENSIONS ARE IN UNITED STATES STANDARD MEASURE.
- CURB GRADES TO BE REGULATED BY THE 9TH SURVEY DISTRICT.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X (AREA OF 0.2% ANNUAL CHANCE OF FLOOD) AND ZONE Y (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 420757 PANEL 00950 DATED 1/17/2007.
- INFORMATION USED TO PREPARE THIS PLAN IS AS FOLLOWS:
• CITY PLAN NO. 16 DATED AUGUST 17, 1931
• CITY PLAN NO. 145
• FIELD SURVEY PERFORMED IN JULY 2021
• DEEDS FURNISHED BY CLIENT.
- ALL PROPERTIES HAVE DIRECT ACCESS TO A LEGALLY OPEN STREET ON THE CITY PLAN.
- UTILITIES ENTER THE PREMISE FROM PUBLIC STREETS OR RIGHT-OF-WAYS.
- ENGINEER OR SURVEYOR'S CERTIFICATION THAT ALL VALVES, MANHOLES, INLETS, AND OTHER UTILITY STRUCTURES HAVE BEEN FIELD VERIFIED AND WILL NOT CONFLICT WITH PROPOSED CURB ALIGNMENTS.
- THIS PROJECT INVOLVES THE EARTH DISTURBANCE OF APPROXIMATELY 15,000 SF IN THE SCHUYLKILL DIRECT WATERSHED. AS SUCH, STORMWATER MANAGEMENT CONTROLS ARE REQUIRED. (ERSA TRACKING NO. #FY22-WEST-6617-01)
- THE INFORMATION SHOWN ON THIS PLAN IS FOR THE ULTIMATE USER NAMED HEREON AND IS NOT VALID TO ANY OTHER PARTIES.
- ANY ELECTRONIC REPRODUCTION OF THIS SURVEY AND PLAN IS TO BE FOR THE USE OF THE CLIENT ONLY. STANTEC IS NOT RESPONSIBLE FOR ANY DISCREPANCIES, WHICH MAY ARISE BY THE ELECTRONIC REPRODUCTION OF THE ORIGINAL FILE AND ANY FUTURE PARTIES UTILIZING SAID COPY DO HEREBY RELEASE STANTEC FROM ANY AND ALL CLAIMS FOR DAMAGES AS A RESULT OF SAID DISCREPANCIES.
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ERSA TRACKING #: FY22-WEST-6617-01



Know what's below.
Call before you dig.
SERIAL#: 20212102328
ONE-CALL DATE: 2021/7/29

ENGINEER:
BILL SCHNOOR, PE
1500 SPRING GARDEN STREET
SUITE 1100
PHILADELPHIA, PA 19130
BILL.SCHNOOR@STANTEC.COM

OWNER/DEVELOPER:
OTH COMMUNITIES, LLC
C/O TOM MCINERNEY
1583 WRIGHTSTOWN ROAD
NEWTOWN, PA 18940
TMCINERNEY@OTHCAPITAL.COM
215-262-8452

REVISION	BY	DATE
1	KAL	2022.06.03
2	W.S.	2022.06.03
3	By	YYYY-MM-DD
4	Appd	YYYY-MM-DD
5	By	YYYY-MM-DD
6	Appd	YYYY-MM-DD
7	By	YYYY-MM-DD
8	Appd	YYYY-MM-DD
9	By	YYYY-MM-DD
10	Appd	YYYY-MM-DD
11	By	YYYY-MM-DD
12	Appd	YYYY-MM-DD
13	By	YYYY-MM-DD
14	Appd	YYYY-MM-DD
15	By	YYYY-MM-DD
16	Appd	YYYY-MM-DD
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24	Appd	YYYY-MM-DD
25	By	YYYY-MM-DD
26	Appd	YYYY-MM-DD
27	By	YYYY-MM-DD
28	Appd	YYYY-MM-DD
29	By	YYYY-MM-DD
30	Appd	YYYY-MM-DD
31	By	YYYY-MM-DD
32	Appd	YYYY-MM-DD
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87	By	YYYY-MM-DD
88	Appd	YYYY-MM-DD
89	By	YYYY-MM-DD
90	Appd	YYYY-MM-DD
91	By	YYYY-MM-DD
92	Appd	YYYY-MM-DD
93	By	YYYY-MM-DD
94	Appd	YYYY-MM-DD
95	By	YYYY-MM-DD
96	Appd	YYYY-MM-DD
97	By	YYYY-MM-DD
98	Appd	YYYY-MM-DD
99	By	YYYY-MM-DD
100	Appd	YYYY-MM-DD

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
OTH COMMUNITIES, LLC

328 W. QUEEN LANE

PHILADELPHIA, PA 19144

Title
ZONING PLAN

Project No. Scale

202211841 AS NOTED

Revision Sheet Drawing No.

1 1 of 1

Z-111

QUEEN LANE

Legally Open
50' WIDE
On City Plan
10'-30'-10'

