

Zoning Permit

Permit Number ZP-2025-003117

LOCATION OF WORK 828 N 40TH ST, Philadelphia, PA 19104-4830	PERMIT FEE \$821.00	DATE ISSUED 7/1/2025
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RSA3 RM1	

PERMIT HOLDER 828 N 40TH ST LLC	5 BALANCHINE CT 828 N 40TH ST LLC AIRMOUNT NY 10952
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OWNER CONTACT 1 Michael Matlin	5 BALANCHINE CT 828 N 40TH ST LLC AIRMOUNT NY 10952
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR NEW CONSTRUCTION OF AN ATTACHED BUILDING WITH CELLAR, ROOF DECK AND ROOF-DECK ACCESS STRUCTURE.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

828 N 40TH ST Philadelphia, PA 19104-4830

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

MULTI-FAMILY HOUSEHOLD LIVING (FIVE DWELLING UNITS)

This permit is subject to the following specific conditions.

CONDITIONS

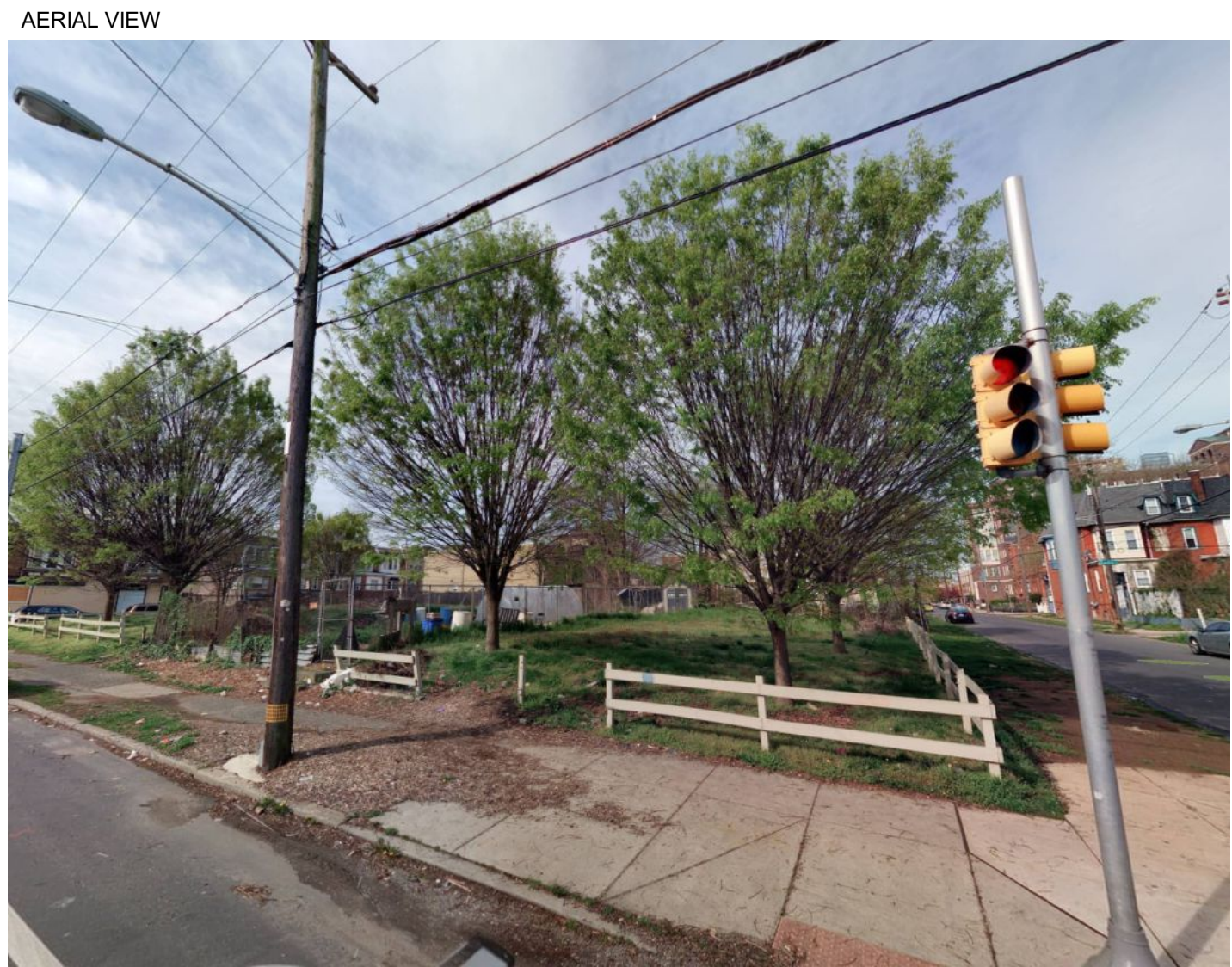
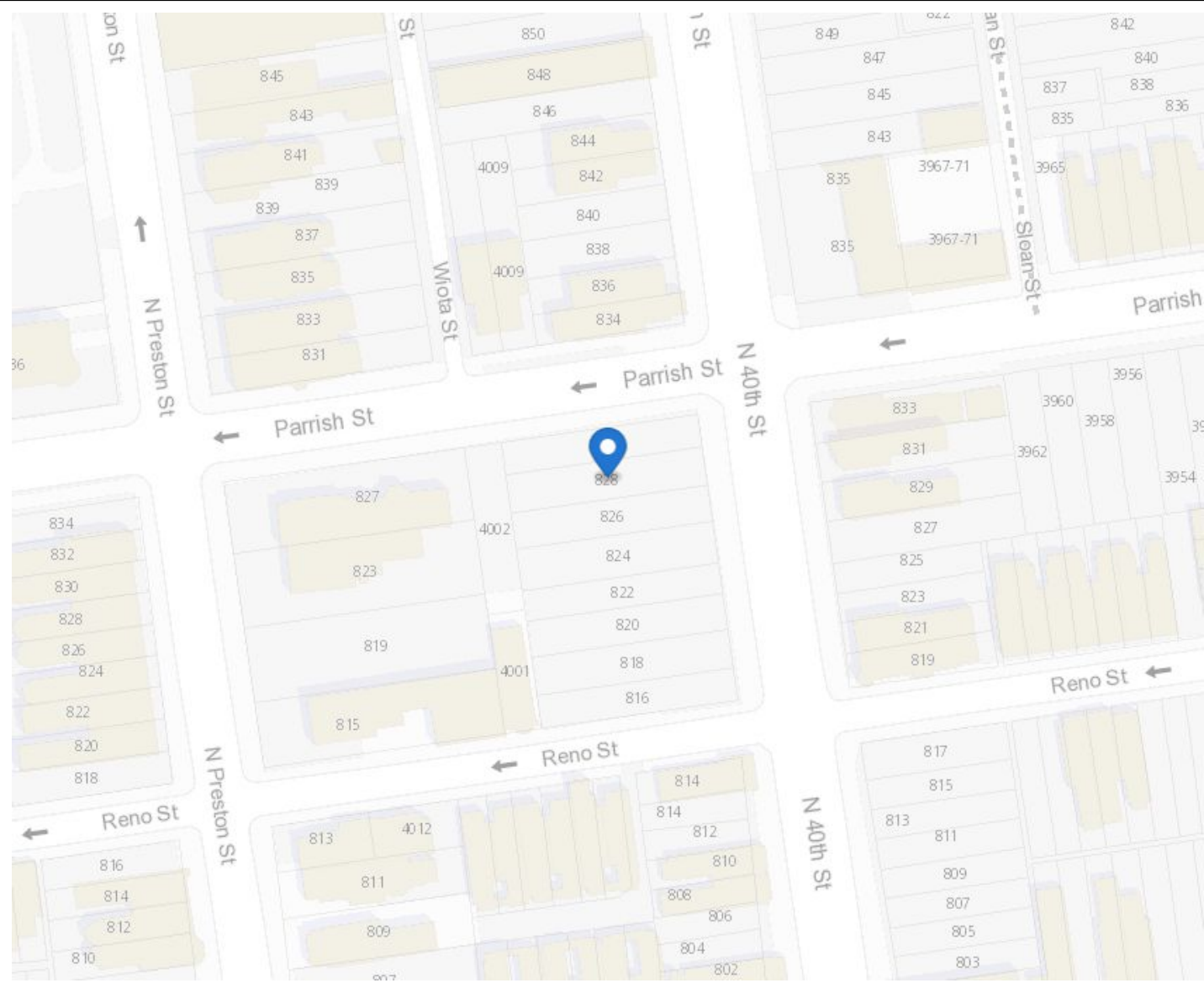
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.

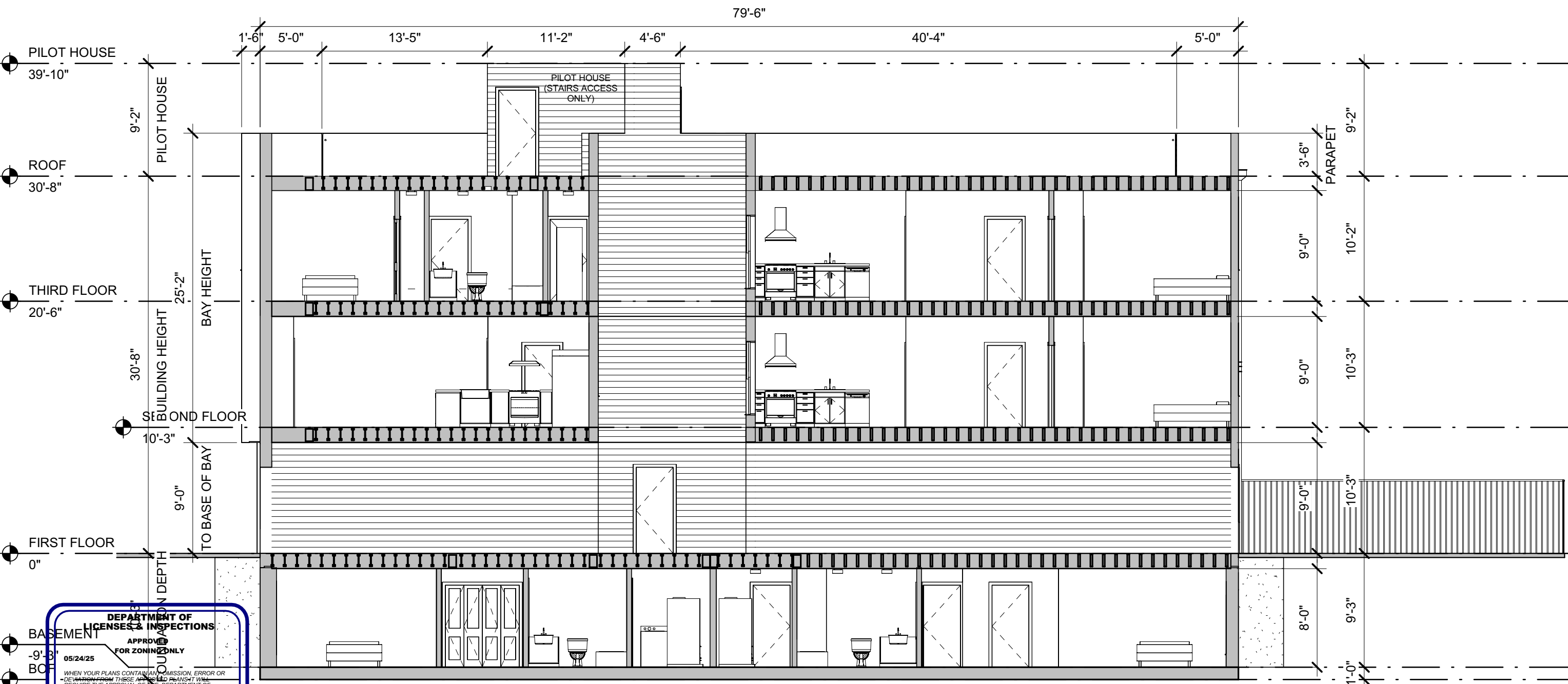


Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



N 40TH STREET

ALL THAT CERTAIN lot or piece of ground with the three story brick and stone message or tenament thereon erected; SITUATE on the Westerly side of Fortieth Street at the distance of seventeen feet, six inches Southward from the Southerly side of Parrish Street, in the Twenty-fourth Ward, of the City of Philadelphia; CONTAINING in front or breadth on the said Fortieth Street twenty feet six inches in length or depth Westwardly between lines parallel with said Parrish Street one hundred six feet. BEING known as No. 828 North 40th Street

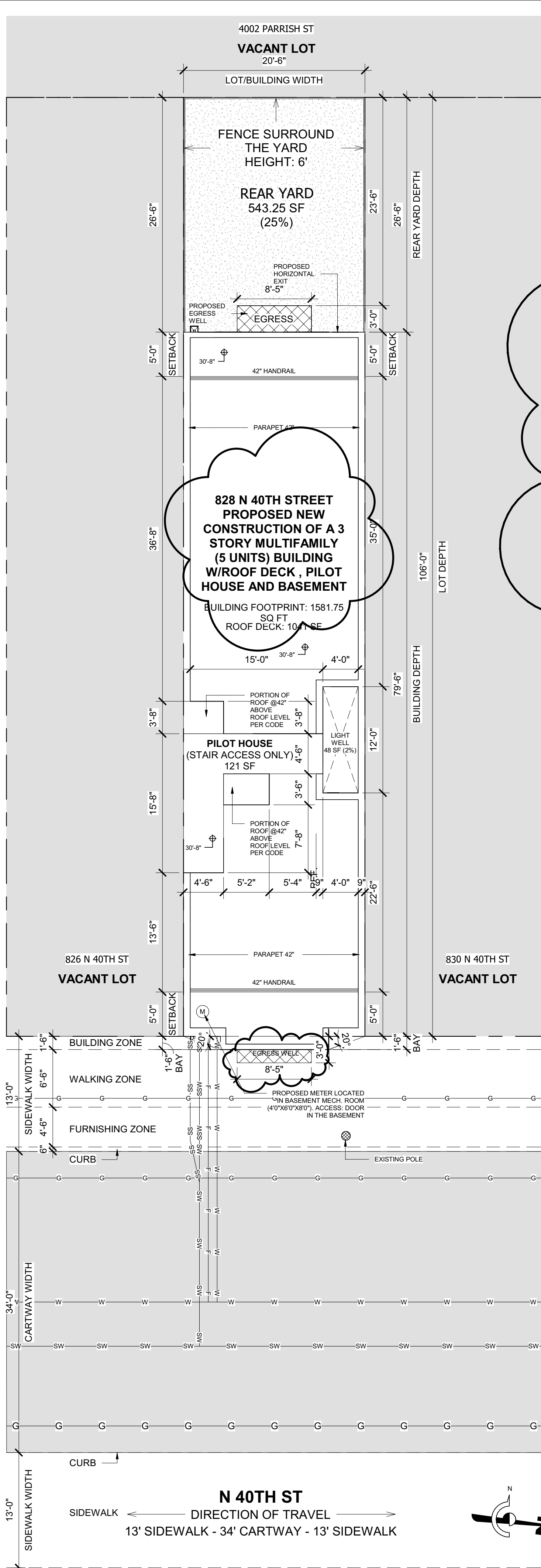


2 LONGITUDINAL SECTION ZONING
Z100 SCALE: 1/8" = 1'-0"



N 40TH STREET

BEING the same premises which Israel Kravitz and Rebecca Kravitz, his wife, by Indenture bearing date the fifth day of January, 1951, and recorded at Philadelphia, in the Office for the Recording of Deeds, in Deed Book C. J. P. No. 2877, page 466, granted and conveyed unto Anna Mason, widow, in fee, and the said Anna Mason died on December 31, 1958, intestate, and Letters of Administration were granted by the Register of Wills of Philadelphia County, on January 4, 1983, to Wallace E. Wright, Jr.



1 UTILITY PLAN
Z100 SCALE: 1/8" = 1'-0"

Property Schedule		
Parcel No.	Address	Area
685085920	828 N 40TH STREET	2173 SF
RM-1		
PREVIOUS DISTRICT NAME - R8/9/10/10B/18/19		828 N 40TH ST
PERMITTED BUILDING TYPE DETACHED; SEMI-DETACHED; ATTACHED		
USES PERMITTED AS OF RIGHT: SINGLE-FAMILY; TWO-FAMILY; MULTI-FAMILY; PASSIVE RECREATION; FAMILY DAY CARE, RELIGIOUS ASSEMBLY; SAFETY SERVICES; TRANSIT STATION; COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM		
	REQUIRED	PROPOSED
LOT DIMENSIONS		
MIN. LOT WIDTH (FT)	16 FT	20 FT 6 IN
MIN. LOT AREA (SQ FT)	1440 SQ FT	2173 SF
MIN. OPEN AREA (% OF LOT)	INTERMEDIATE:25%; CORNER 20%	25%
FRONT SETBACK		
MINIMUM (FT)	BASED ON SETBACK OF ABUTTING LOTS	
MINIMUM SIDE YARD WIDTH (6), PERMITTED RESIDENTIAL USES AS SET FORTH IN 14-701		
DETACHED, INTERMEDIATE (FT)	2/5 EACH	
SINGLE- OR TWO-FAMILY DETACHED, CORNER (FT)	5 FT	
MULTI-FAMILY DETACHED, CORNER (FT)	8 FT	
SINGLE- OR TWO-FAMILY SEMI- DETACHED (FT)	5 FT	
MULTI-FAMILY SEMI- DETACHED (FT)	12 FT	
ATTACHED (FT)		
MINIMUM SIDE YARD WIDTH (6) PERMITTED NONRESIDENTIAL USES AS SET FRONT IN 14-701		
INTERMEDIATE (FT)	2/12 EACH	
CORNER (FT)	12 FT	
REAR YARD		
MIN. DEPTH (FT)	9 FT	26 FT 6 IN
HEIGHT		
MAXIMUM (FT)	38 FT	30 FT 8 IN
OPEN SPACE SQUARE FOOTAGE		
REAR YARD (SQ FT)		543.25 SQ FT
LIGHT WELL (SQ FT)		48 SQ FT
FRONT YARD (SQ FT)		
BUILDING FOOTPRINT (SQ FT)		1581.75 SQ FT
BUILDING USE		
		RESIDENTIAL

STREETS DEPARTMENT		
RIGHT OF WAY		
828 N 40TH STREET		
STREET BREAK-DOWN: N 40TH ST		
13' SIDEWALK - 34' CARTWAY - 13' SIDEWALK = 60 FT WIDE		
		ENCROACHMENT TYPE
		DIMENSION
		PROPOSED / EXISTING
		ENCROACHMENT
STAIRS / STEPS		
WINDOW WELL	PROPOSED	3'-0"
DAY WINDOW	PROPOSED	
MAXIMUM ENCROACHMENT ALLOWED: 3'-0"		

ZONING APPROVAL STAMP

BUILDING APPROVAL STAMP

PLATO
MARINAKOS, JR.
ARCHITECT, LLC

www.plato-studio.com

107 S 2nd Street
4th Floor
Philadelphia, PA 19106
267-866-0930 OFFICE
267-866-0931 DIRECT
plato@plato-studio.com



ARCHITECT SEAL MUST BE IN RED INK

OWNER

828 N 40TH STREET, LLC.



ISSUED BY:
PLATO A. MARINAKOS JR ARCHITECT, LLC
FOR "APPROVAL" BY OUR CLIENT AND CUSTOMER

CLIENT IS REQUIRED TO
☒ **CHECK (X) ONE BOX**
☐ APPROVED AS IS
☐ APPROVED AS NOTED ONLY

CLIENT SIGNATURE _____ DATE _____

NAME (PLEASE PRINT) _____

KINDLY RETURN ALL DRAWINGS FOR THE COMPLETE BUILDING, SIGNED AND DATED TO OUR OFFICE LOCATION.

REV	DATE	DESCRIPTION
12-30-21		Submission Zoning
01-04-22		Resubmission Zoning
02-10-22		Resubmission Zoning
3-27-25		AMENDMENT

APPROVAL STAMP

828 N 40TH STREET
Philadelphia, PA. 19104

ZONING

Project number N/A

Date 03-18-22

Drawn by Justine Velasquez

Checked by Checker

Z100

Scale As indicated