

861 N 40TH ST
PHILADELPHIA, PA 19104-1544

SCOPE OF WORK : NEW (3) THREE-STORY BUILDING WITH BASEMENT, 2ND & 3RD FLOOR REAR BALCONIES, BAY WINDOW, ROOF DECK, AND PILOT HOUSE FOR THE USE OF A SIX-FAMILY DWELLINGS.

OCCUPANCY TYPE : R-2 RESIDENTIAL MULTI-FAMILY DWELLING/ 6 UNITS

CONSTRUCTION TYPE : VE

LOT SIZE AND AREA :	BUILDING FOOTPRINT	1,799.37 SF
	OPEN AREA	600.63 SF
	TOTAL AREA	2,400 SF

PROJECT AREA : 7,115.5 SF

NOTES :

- FRONT SETBACK TO BE MATCH WITH CLOSEST ADJACENT LOT (863 N 40TH ST HAS FRONT SETBACK OF 6'-0")
- SIDEWALK IN FRONT OF THE PROPERTY NEEDS RECONSTRUCTION AND SHALL BE CONSTRUCTED WITH CURRENT STANDARDS
- NO GAS WILL BE USE ON THIS DEVELOPMENT

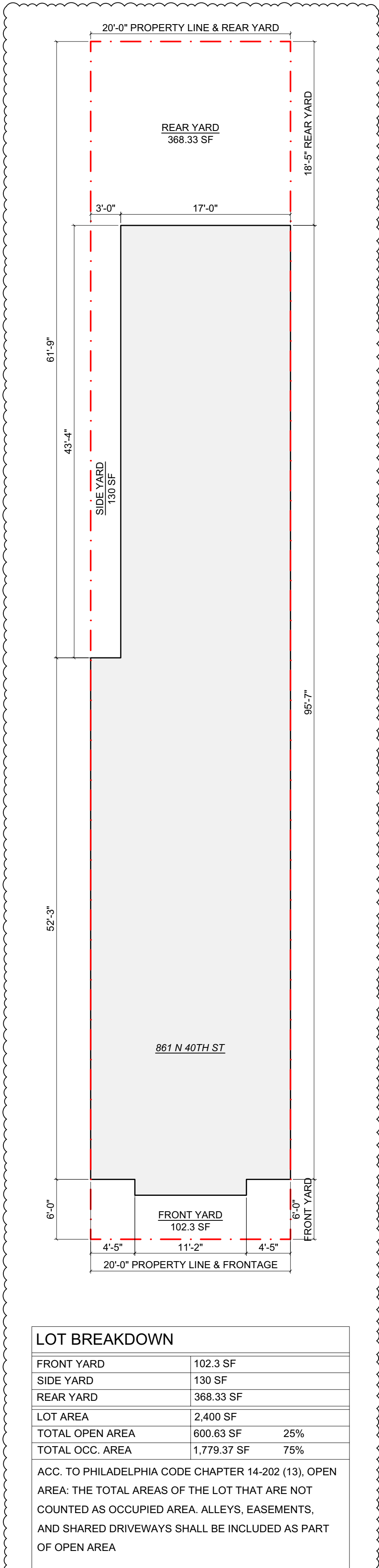
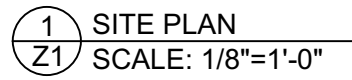
2018 INTERNATIONAL BUILDING CODE
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2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL PLUMBING CODE
2017 ANSI A117.1

APPLICABLE CODE: PHILADELPHIA ZONING CODE, 12TH EDITION

RM-1	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH (FT.)	16	20'-0"	20'-0"
MIN. LOT AREA (SQ. FT.)	1,440 [1]	2,400 SF	2,400 SF
MAX. OCCUPIED AREA (% OF LOT AREA)	INTERMEDIATE 75; CORNER 80 [2]	0%	75% - 1,799.37 SF
MIN. FRONT SETBACK (FT.)	[5][6]	0'-0"	6'-0"
MIN. REAR YARD DEPTH (FT.)	9 [9]	0'-0"	18'-5"
MIN. REAR YARD AREA (SQ. FT.)	144 [9]	NONE	368.33 SF
MAX. HEIGHT (FT.)	38 [5]	NONE	33'-11"

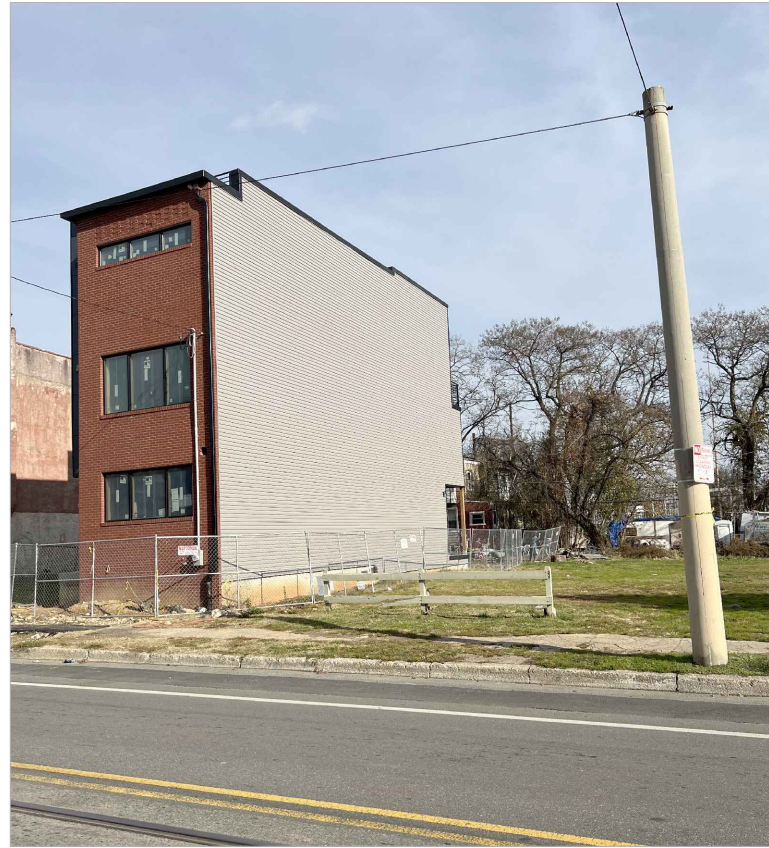
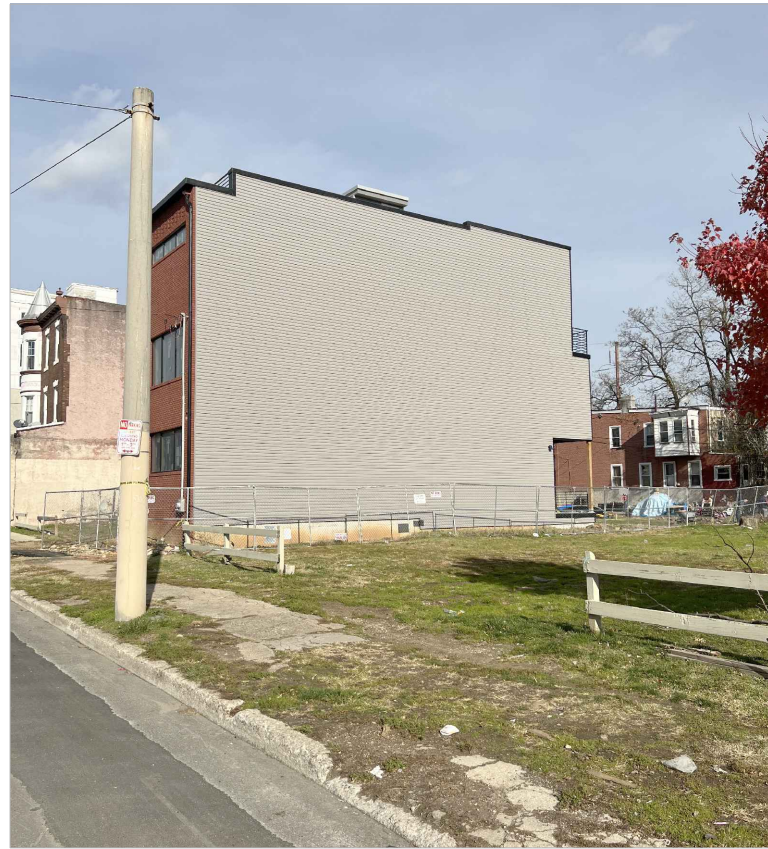
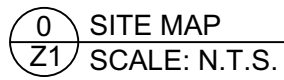
NOTE FOR TABLE:

- [1] IN THE RM-1 DISTRICT, A LOT CONTAINING AT LEAST 1,920 SQ. FT. OF LAND MAY BE DIVIDED INTO LOTS WITH A MINIMUM LOT SIZE OF 960 SQ. FT., PROVIDED THAT:
 - (A) AT LEAST 75% OF LOTS ADJACENT TO THE LOT TO BE DIVIDED ARE 1,000 SQ. FT. OR LESS; AND
 - (B) EACH OF THE LOTS CREATED MEETS THE MINIMUM LOT WIDTH REQUIREMENT OF THE ZONING DISTRICT.
- [2] IN THE RM-1 DISTRICT, BUILDINGS ON LOTS LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT.
- [5] IF ABUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORIES OF ENCLOSED AREA, STORIES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT. FROM THE MINIMUM SETBACK SHOWN IN THIS TABLE; EXCEPT THIS REQUIREMENT SHALL NOT APPLY TO CORNER LOTS.
- [6] ON ANY GIVEN STREET, THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE NO GREATER THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE GREATER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE; AND SHALL BE NO LESS THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE LESSER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE.
 - (B) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE FRONT SETBACK SHALL MATCH THE FRONT SETBACK ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM FRONT SETBACK SHALL BE ZERO.
 - (C) IF THE PROPERTY IS BOUNDED BY TWO OF MORE STREETS, ONLY THE PRIMARY FRONTAGE AS DESIGNATED IN § 14-701(1)(D)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT SETBACK REQUIREMENTS OF (A) AND (B) ABOVE.
- [9] IN THE RM-1 DISTRICT, LOTS LESS THAN 45 FT. IN DEPTH SHALL BE EXEMPT FROM REAR YARD AREA REQUIREMENTS BUT SHALL PROVIDE A MINIMUM REAR YARD DEPTH OF 7 FT.



LOT BREAKDOWN		
FRONT YARD	102.3 SF	
SIDE YARD	130 SF	
REAR YARD	368.33 SF	
LOT AREA	2,400 SF	
TOTAL OPEN AREA	600.63 SF	25%
TOTAL OCC. AREA	1,779.37 SF	75%

ACC. TO PHILADELPHIA CODE CHAPTER 14-202 (13), OPEN AREA: THE TOTAL AREAS OF THE LOT THAT ARE NOT COUNTED AS OCCUPIED AREA. ALLEYS, EASEMENTS, AND SHARED DRIVEWAYS SHALL BE INCLUDED AS PART OF OPEN AREA



0 SITE PHOTOS
Z1 SCALE: N.T.S.

SEAL

SIGNATURE

GENERAL NOTE	DATE	REVISION
THIS DOCUMENT IS FOR THE CONSULTANTS, DESIGNERS, CONSULTANTS, DESIGNERS, CONTRACTORS AND OTHER TRADES SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL PRESENT AND EXISTING CONDITIONS AND RECORDS, ETC. BEFORE PROCEEDING WITH THE WORK.	06/26/2025	1ST SUBMISSION
	07/17/2025	1ST REVISION
FOR PERMIT ONLY NOT FOR CONSTRUCTION	DRAWN BY: EP CHECKED BY: CM	

JT RAN
EXPEDITING

1106 RIDGE AVENUE
PHILADELPHIA, PA 19123
EMAIL: JTRANEXPEDITING@GMAIL.COM
TEL: (267) 908-8020

PROJECT DESCRIPTION	NEW (3)THREE STORY MULTI-FAMILY DWELLING
LOCATION	861 N 40TH ST PHILADELPHIA, PA 19104

DRAWING TITLE

ZONING

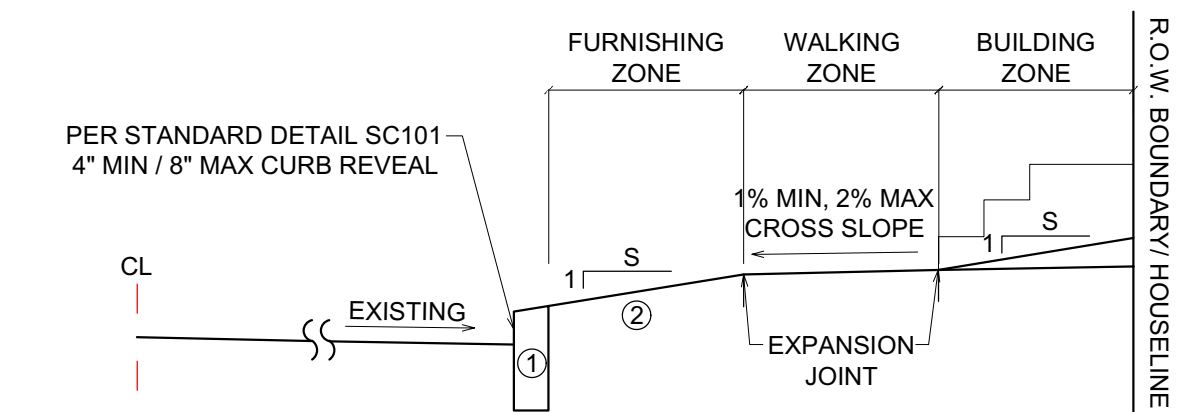
DRAWING NO

Z1

SCALE: AS NOTED



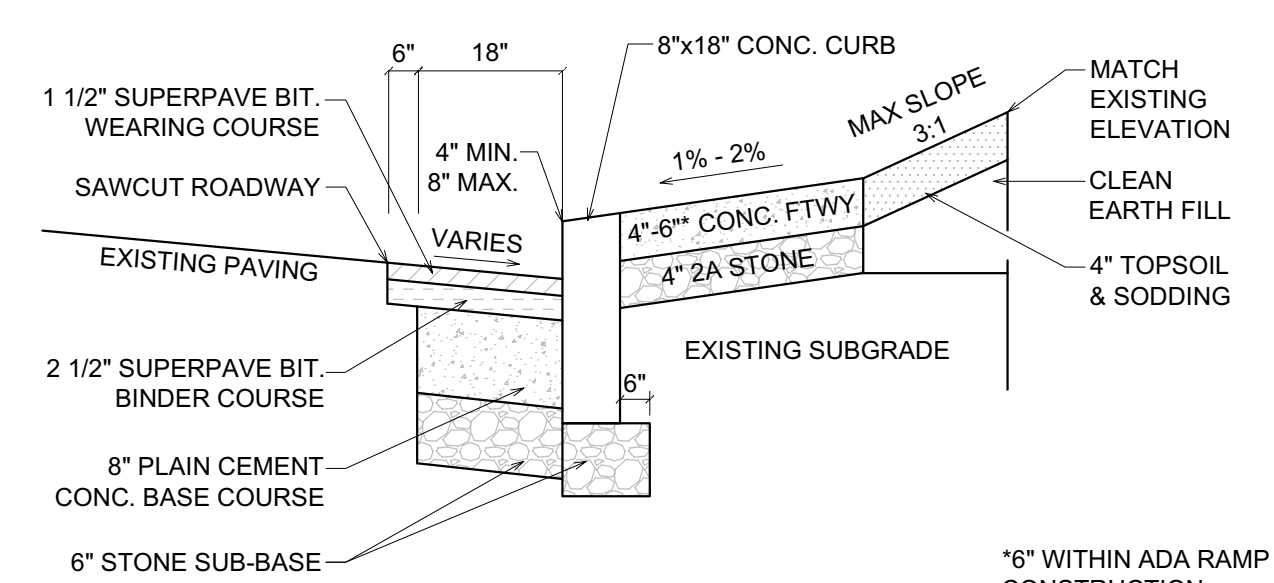
1 SIDE ELEVATION
SCALE: 3/16"=1'-0"



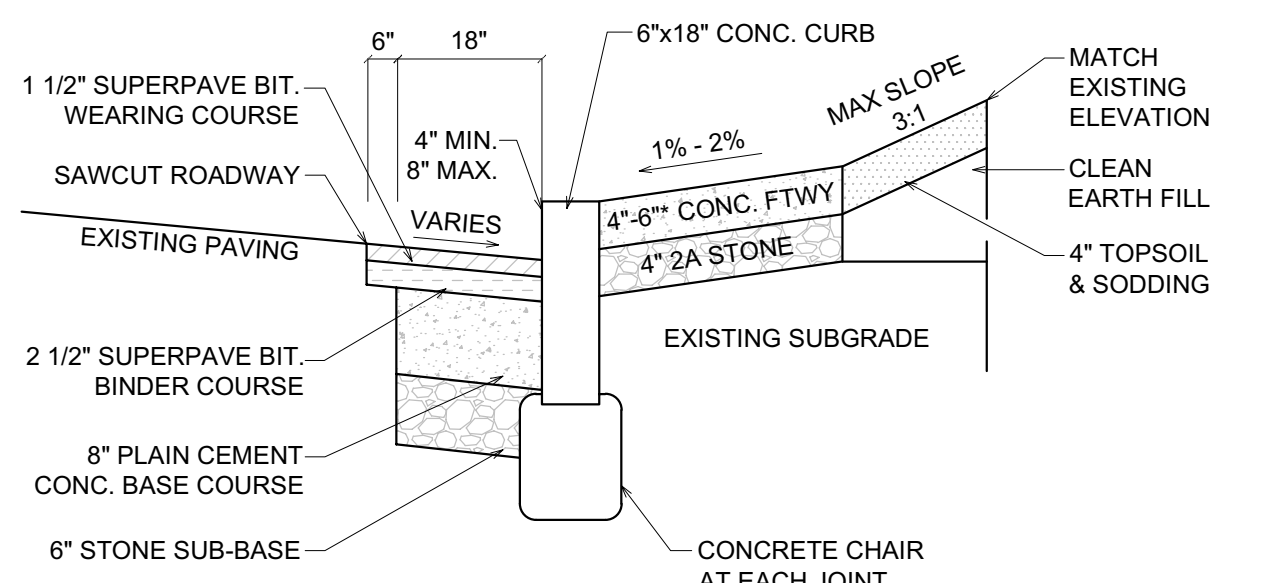
FURNISH ZONE FINISH	S
ZONES CONTRAST IN COLOR, MATERIALS AND/OR VEGETATION	20 -100 5% - 1%
NEW CONSTRUCTION (BUILDING & FOOTWAY)	50 -100 2% - 1%
PREFERRED	50 -100 2% - 1%

- ORDER OF PRIORITY
1. RAISE CUB REVEAL (6" PREF. AT PARKING LANES, ROADWAY CROSS SLOPES REQUIRED WHERE CURB REVEAL EXCEEDS 6")
 2. MODIFY FURNISHING AND BUILDING ZONES. (PER TABLE) (NOT APPLICABLE FOR FULL BLOCK RECONSTRUCTION).
- NOTE: BUILDING ZONE MODIFICATIONS CANNOT CONFLICT WITH CURRENT BUILDING CODES AND THEREFORE ONLY APPLY WHERE ENCROACHMENTS RESTRICT PEDESTRIAN FLOW, AND DOORS ARE NOT PRESENT AT THE HOUSEZONE.

2 ROADWAY HALF SECTION SIDEWALK GRADING DETAIL
SCALE: 1/2"=1'-0"

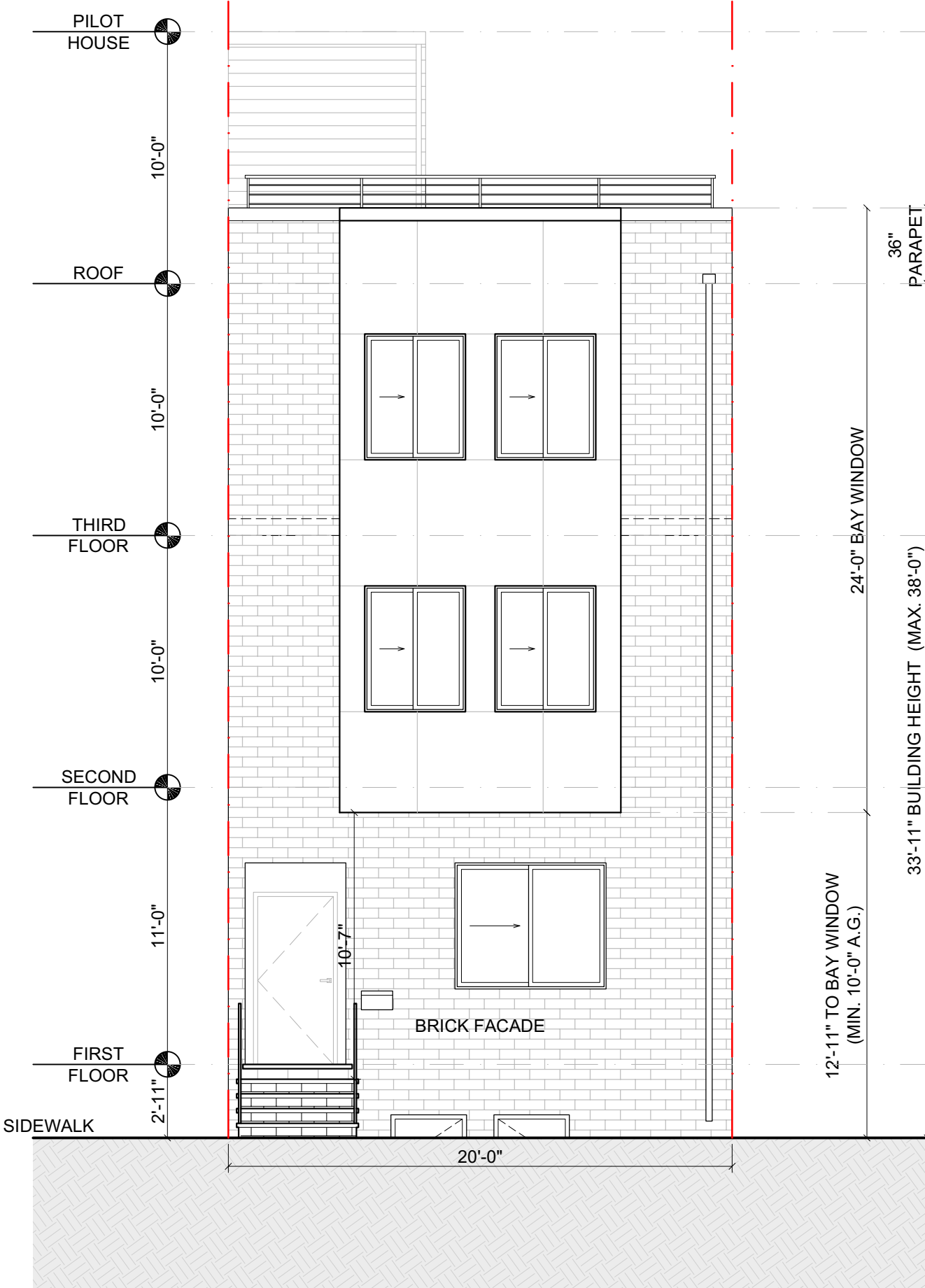


CONCRETE CURB

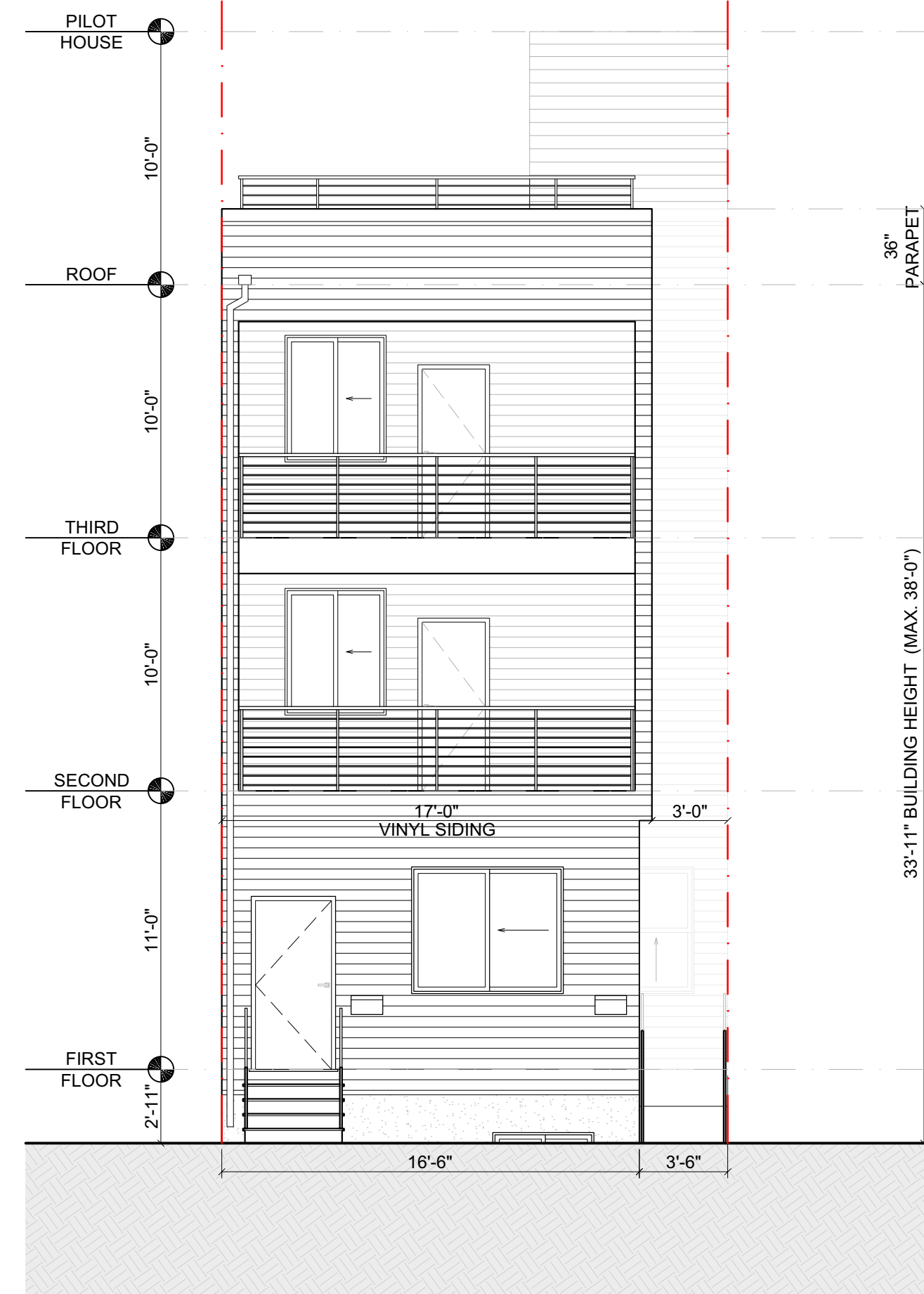


GRANITE CURB

3 TYP. CURB AND FOOTWAY CONSTRUCTION & ROADWAY RESTORATION DETAILS
SCALE: 1/2"=1'-0"



4 FRONT ELEVATION
SCALE: 3/16"=1'-0"



5 REAR ELEVATION
SCALE: 3/16"=1'-0"

STAMP AREA



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MULTI-FAMILY DWELLING

LOCATION
861 N 40TH ST
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DRAWING TITLE
ZONING

DRAWING NO.

Z2

SCALE: AS NOTED

SEAL

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CHECKED BY: CM

SIGNATURE

Zoning Permit

Permit Number ZP-2025-004419

LOCATION OF WORK 861 N 40TH ST, Philadelphia, PA 19104-1544	PERMIT FEE \$871.00	DATE ISSUED 9/8/2025
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER 857861N40 LLC	4510 16th Ave Room 301 Brooklyn, New York 11204
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OWNER CONTACT 1 Harry Reichman	4510 16th Ave Room 301 Brooklyn NY 11204
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED BUILDING TO INCLUDE ROOF DECK AND ROOF DECK ACCESS STRUCTURE. SIZE AND LOCATION AS SHOWN IN APPLICATION/PLANS

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2025-004419

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

861 N 40TH ST Philadelphia, PA 19104-1544

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

SIX (6) DWELLING UNITS

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement available from Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of building permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of building permit issuance.

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PHILADELPHIA, PA 19104-1544

AMEND PREVIOUS ZONING TO ADJUST THE FRONT ROOF DECK SETBACK (AT SLOAN ST).
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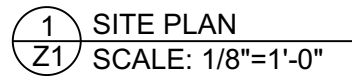
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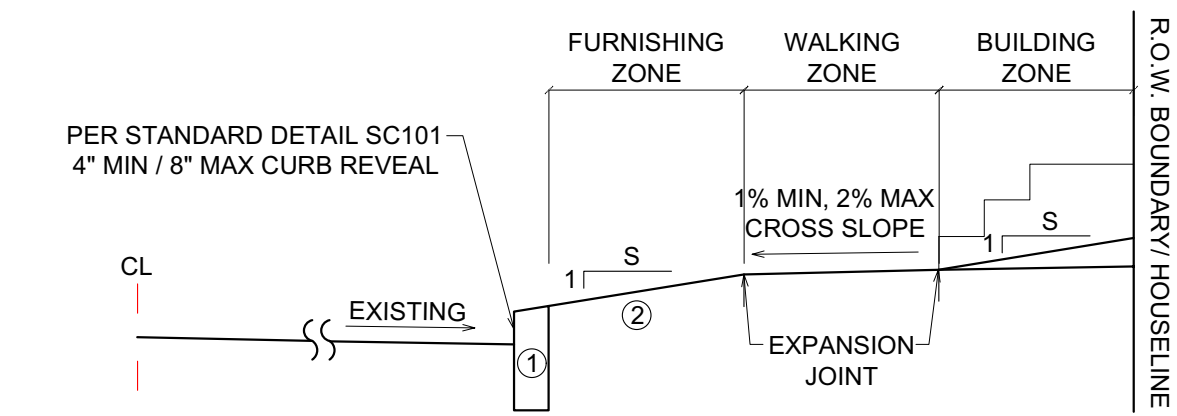
LOCATION
8661 N 40TH ST
PHILADELPHIA, PA 19104

Z1

SCALE: AS NOTED



1 SIDE ELEVATION
Z2 SCALE: 3/16"=1'-0"



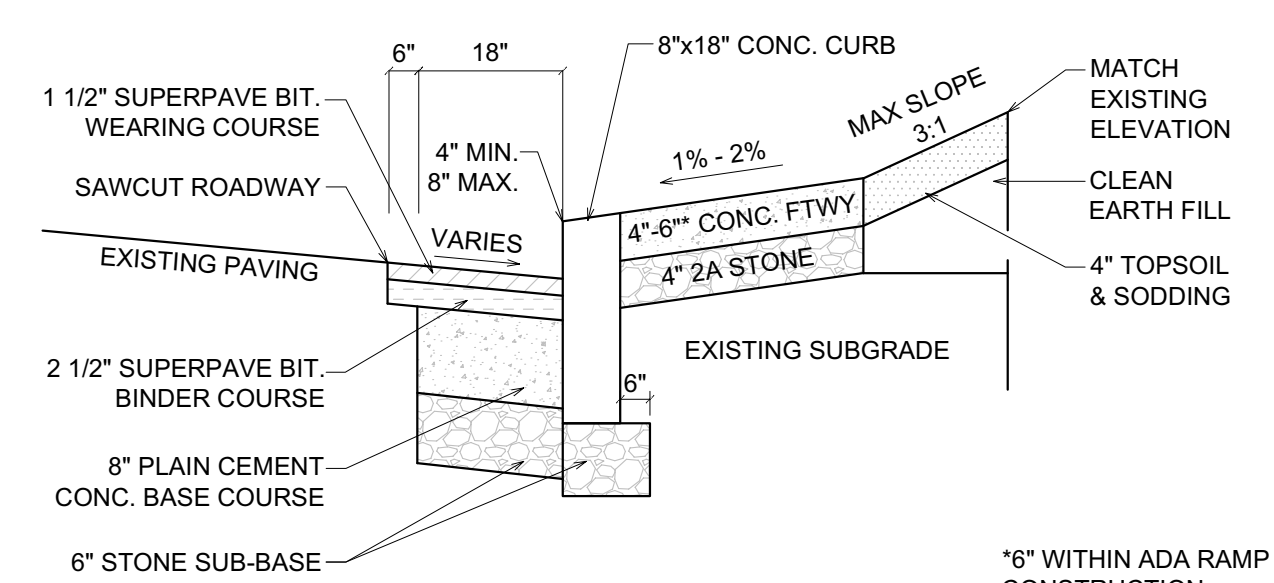
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ZONES CONTRAST IN COLOR, MATERIALS AND/OR VEGETATION	20 -100 5% - 1%
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ORDER OF PRIORITY

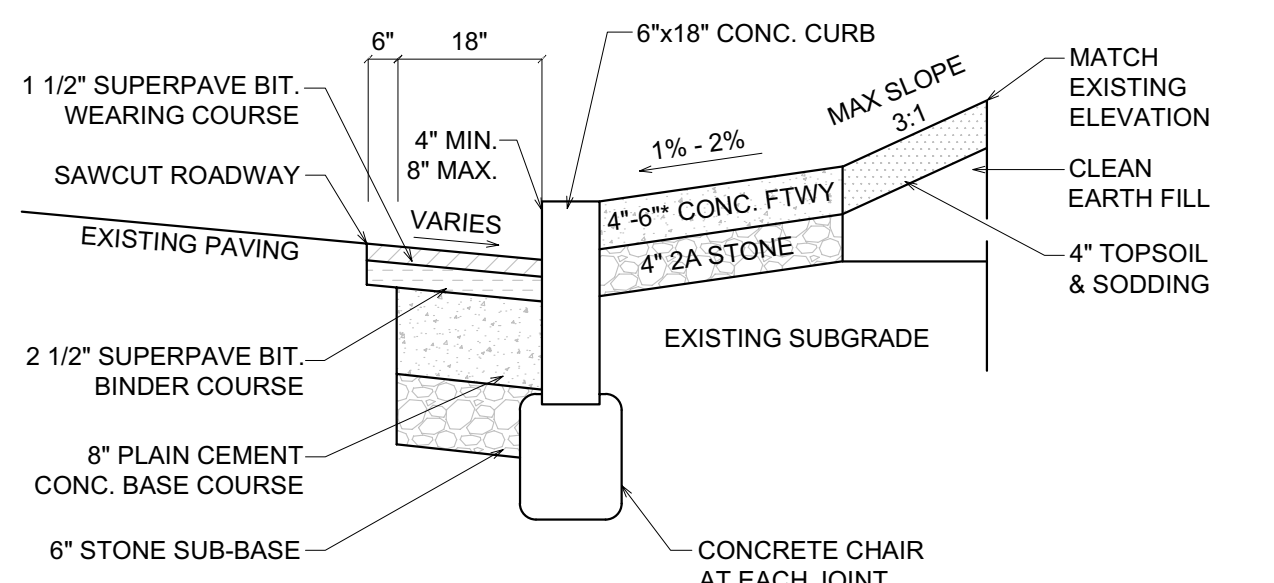
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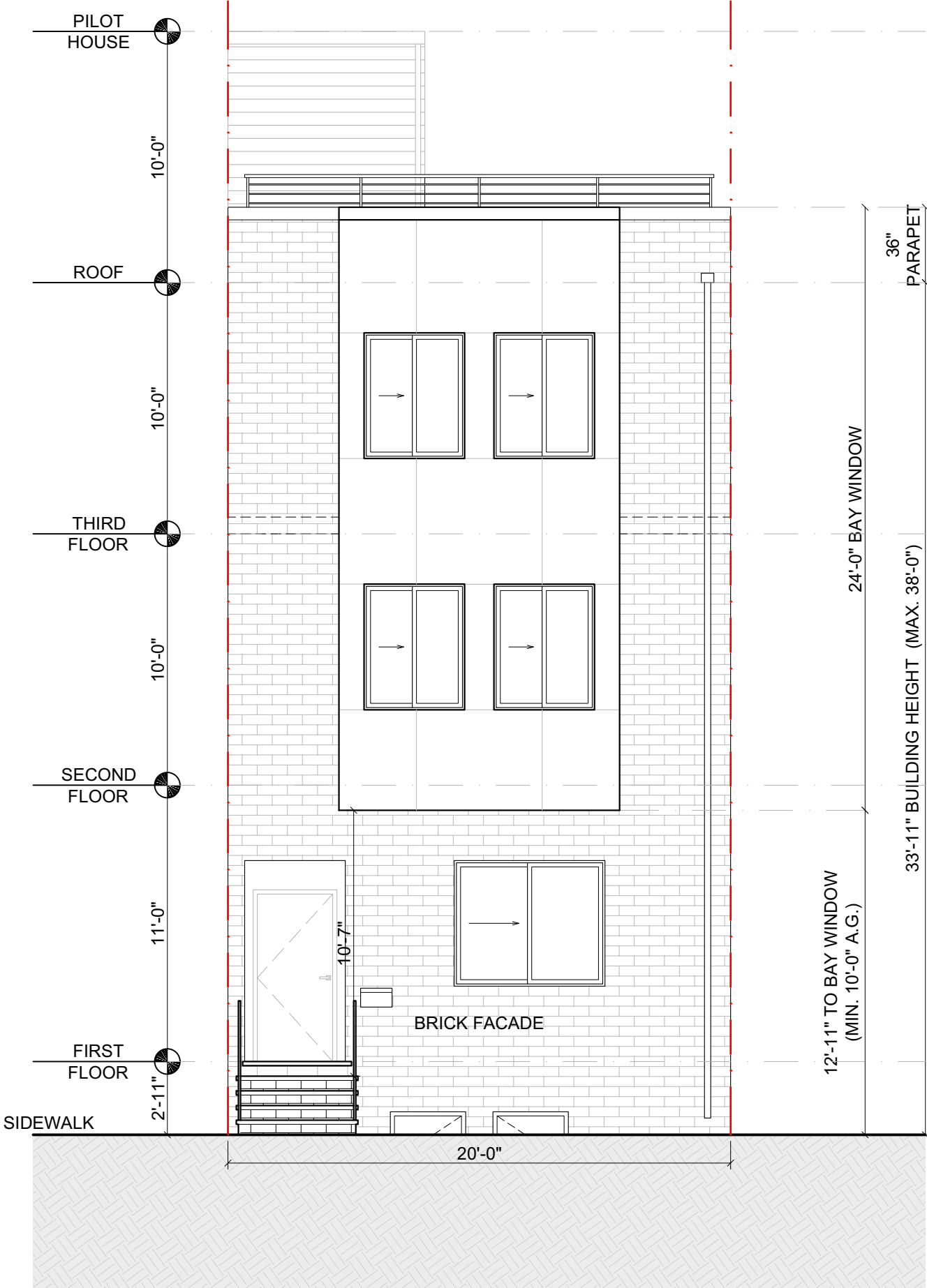


CONCRETE CURB



GRANITE CURB

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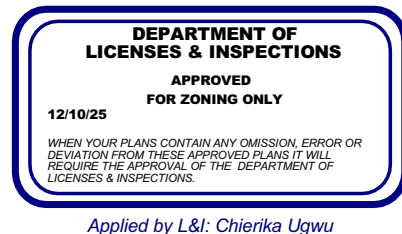


4 FRONT ELEVATION
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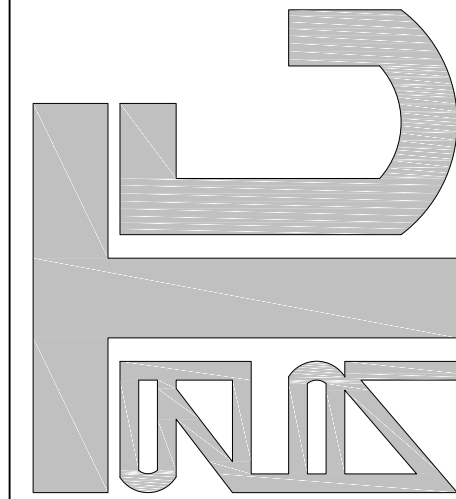


5 REAR ELEVATION
Z2 SCALE: 3/16"=1'-0"

STAMP AREA



JT RAN
EXPEDITING



PROJECT DESCRIPTION
NEW (3)THREE STORY
MULTI-FAMILY DWELLING

LOCATION
861 N 40TH ST
PHILADELPHIA, PA 19104

DRAWING TITLE
ZONING

DRAWING NO.

Z2

SCALE: AS NOTED

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