

Zoning Permit

Permit Number ZP-2021-002274

LOCATION OF WORK 10 BETHLEHEM PIKE, Philadelphia, PA 19118-2821	PERMIT FEE \$2,329.00	DATE ISSUED 4/26/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER 10 Bethlehem Pike Property Owner LLC	1845 Walnut Street Suite 910 Philadelphia, Pennsylvania 19103
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF ONE(1) DETACHED STRUCTURE(45' HIGH) (USING 7' HEIGHT MIXED INCOME LOW HOUSING BONUS AS PER CODE SECTION 14-702(7) WITH ROOF DECK ACCESSSES BY A ROOF ACCESS STRUCTURE; GREEN ROOF AND WITH BALCONIES. SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S) Residential - Household Living - Multi-Family; Retail Sales - Food, Beverages, and Groceries

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-002274

***AMENDED APPLICATION*:**

FOR THE REDUCTION OF PREVIOUSLY APPROVED BUILDING FOOTPRINT SIZE FROM 8433 SF TO 7439 SF. INCREASE FRONT SETBACK ALONG SUMMIT ST TO COMPLY 35'; INCREASE OPEN AREA AND REAR YARD SETBACK OF PREVIOUSLY APPROVED STRUCTURE.



APPROVED USE(S)

Residential - Household Living - Multi-Family; Retail Sales - Food, Beverages, and Groceries

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



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Zoning Permit

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

10 BETHLEHEM PIKE, Philadelphia, 19118-2821

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A RETAIL SALE OF FOOD, BEVERAGES AND GROCERIES FROM BASEMENT THRU FIRST FLOOR WITH MULTI-FAMILY HOUSEHOLD LIVING (THIRTY-THREE(33) DWELLING UNITS)(FIVE(5) UNITS USING GREEN ROOF BONUS (AS PER CODE SECTION 14-602(7) AND 14-602(4)(a)[8](.C); SIX(6) UNITS USING MODERATE INCOME DENSITY BONUS AND MAXIMUM TWENTY-TWO(22) UNITS ALLOWED AS PER LOT SIZE) FROM SECOND(2ND) FLOOR THROUGH FIFTH(5TH) FLOORS WITH TWELVE(12) 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE AND WITH EIGHT(8) UNDERGROUND PARKING SPACES INCLUDING WITH ONE(1) VAN ACCESSIBLE SPACE . "AMENDED APPLICATION": ELEVATOR OVERRUN/ROOF ACCESS STRUCTURE WAS MOVED TO THE STAIR; BALCONIES WERE REMOVED FROM THE REAR OF THE BUILDING; PREVIOUS APPROVED BAYS WERE REMOVED AND CONTINEOUS VERTICAL BAYS WERE ADDED; PARKING SPACES WERE RECONFIGURED TO ACCOMMODATE RELOCATED COLUMNS; ROOF DECK SIZE DECREASED AND EGRESS PATHWAY RECONFIGURED AND BICYCLE SPACES WERE RELOCATED.-

This permit is subject to the following specific conditions.

CONDITIONS

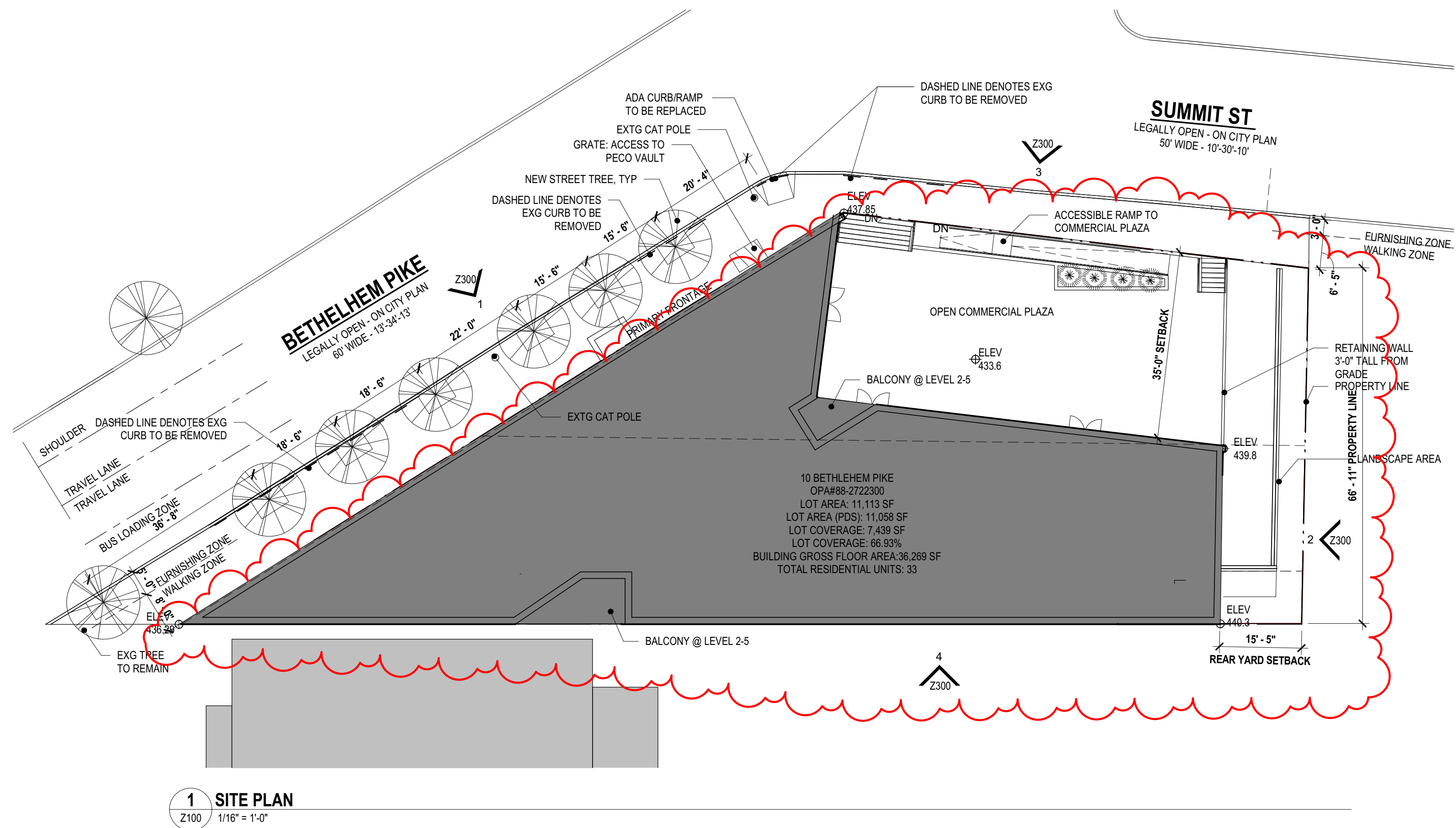
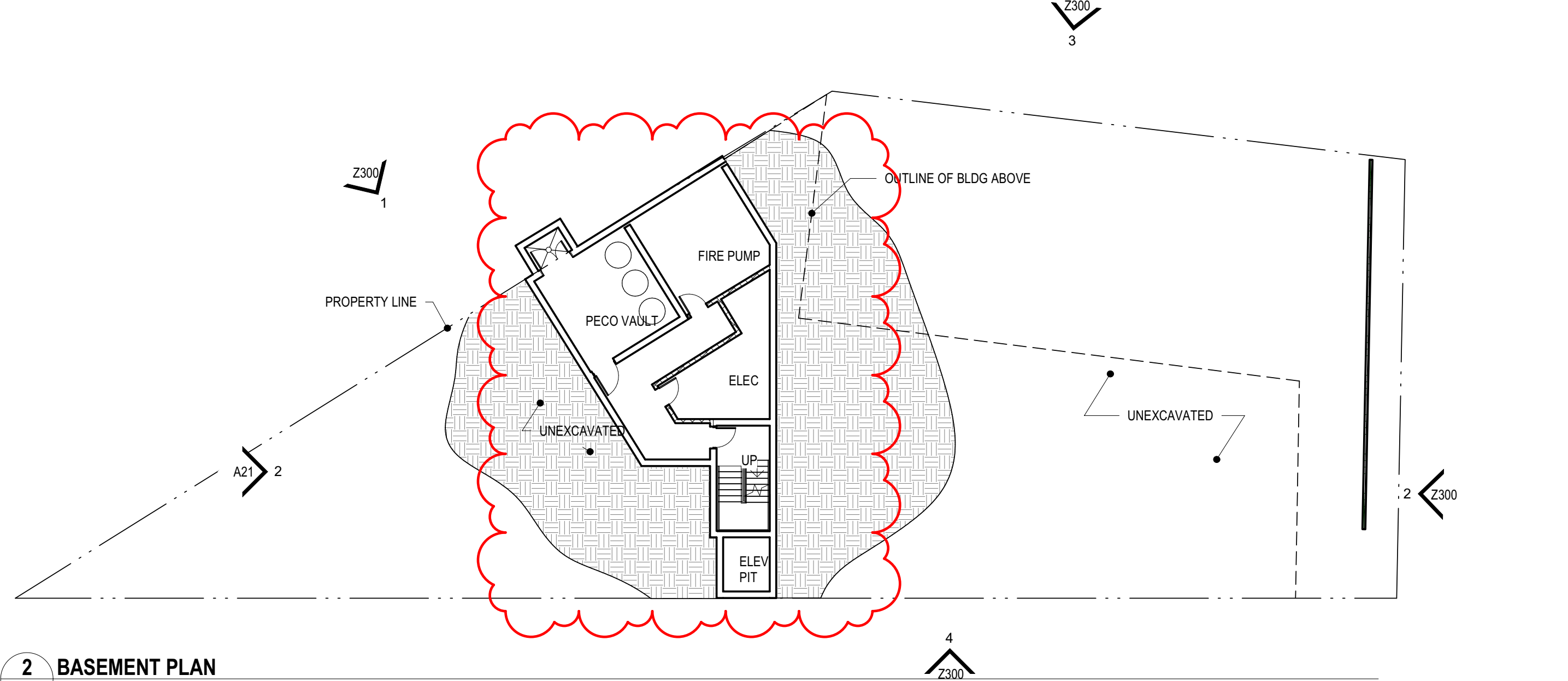
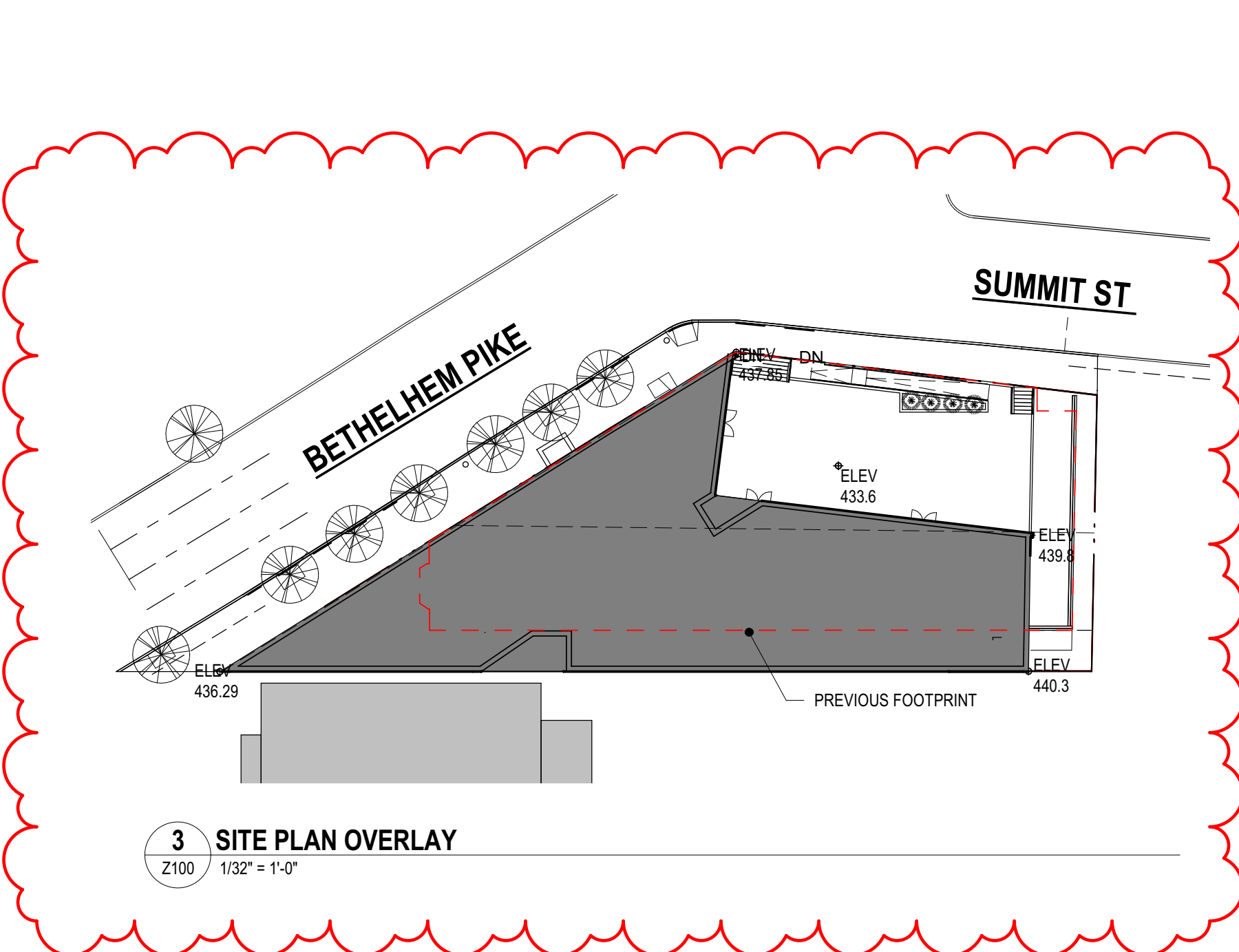
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



EXISTING SUMMIT ST STREET VIEW



EXISTING BETHLEHEM PIKE STREET VIEW

AREA REGULATIONS

LOT INFORMATION		
LOT ADDRESS(ES):	10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118	
OPA NUMBER:	#88-2722300	
LOT AREA(S):	11,113 SF	
LOT AREA(S) - PDS:	11,058 SF	
BASE ZONING DISTRICT:	CMX-2	
OVERLAY ZONING DISTRICT:	WVO WISSAHICKON WATERSHED OVERLAY DISTRICT	

USE REGULATIONS		
PROPOSED & PERMITTED USES:	BASEMENT THRU 1ST	RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL
	2ND THRU 5TH	MULTI-FAMILY HOUSING

DISTRICT & LOT DIMENSIONS	REQUIRED	EXISTING APPROVED	PROPOSED
MIN LOT WIDTH (FT)	N/A	NO CHANGE	NO CHANGE
MIN LOT AREA (SF)	N/A	NO CHANGE	NO CHANGE
MAX OCCUPIED AREA (% OF LOT)	80%	76.35% (8,443 SF BLDG)	66.93% (7,439 SF BLDG)
MAX UNITS ALLOWED	33 (see Note 1)	33	33

YARDS			
MIN FRONT YARD DEPTH (FT)	N/A	0' - 0"	0' - 0'35"-0"
MIN SIDE YARD WIDTH, EACH (FT)	5 FT if used	5' - 0"	0' - 0"
MIN REAR YARD DEPTH (FT)	15'-5 1/2" (see Note 2)	10'-0"	15'-5 1/2"

HEIGHT			
MAX HEIGHT (FT)	46'-9 1/2" (see Note 3)	46'-9 1/2"	47'-3"
MAX FLOOR AREA (% OF LOT AREA)	N/A	N/A	N/A

LANDSCAPE AND TREES (14-705(2))			
STREET TREE REQUIREMENT	7 (See Note 4)	7	7

OFF STREET PARKING REQUIREMENTS (14-802-2)			
CAR PARKING	0	8	0

OFF STREET LOADING REQUIREMENTS (14-806)			
OFF-STREET LOADING	0 (See Note 6)	0	0

ROOF DECK (14604(5))			
ROOF DECK	PERMITTED	PROVIDED (See Note 7)	PROVIDED (See Note 7)

NOTES

Note 1: Section 14-602(4)(a)(2)(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft. provided that (c) if the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.

Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit density Bonuses table, 25% increase in units permitted is provided for Moderate Income.

Maximum units allowed = 1919 sf (3 units) + (11,058 SF-1919sf) / 480 SF per unit = 3 units + 19 units = 22 units.

Green Roof Bonus = 32 units x .25% = 5.5 units (5 rounded down) = 27 units

Moderate Income Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed.

Cost Calculation:
Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160
Unit Calculation: 6 units earned x \$25,000 = \$150,000
Payment will be based on the Lot Area Calculation.

Note 2: Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.
Minimum rear yard based on Lot Depth = 154'-8" x .1 = 15'-5 1/2"
*Proposed primary frontage by applicant is Bethelhem Pike, determination to be made by Comission.

Note 3: Per Table 14-701-3 Dimensional Standards for Commercial Districts, Max height ft = 38'-0"
Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus.

Steep Slope Protection: Height, Building or structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.
Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"
Grade at Building Corners = 440.3', 439.8', 437.85', 436.29'
Average Grade = 438.56' = +2.27' (2'-3")
Total Building Height From Low Point (436.29') = 38'-0" + 7'-0" + 2'-3" = 47'-3"

Note 4: Per 14-705(2)(c) 2(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.
234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)
Project provides 6 new trees and 1 existing to remain.

Note 5: Per Table 14-803-1, Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)

Note 6: Per 14-604(5), roof decks are permitted for residential use in all zoning districts.
Roof deck setback is greater than 5 ft from the front building line.
Roof access structures can exceed 125 sf. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard

Note 7: WVO Wissahickon Watershed Overlay District 14-510 (6)
Category 5 - No Limit to Impervious Ground Coverage
Existing site is currently 95% Impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping).
A green roof is being provided to decrease surface water runoff.
The infiltration capacity of the site will be increased not diminished.

Note 8: Steep Slope Protection 14-704 (2)
(a.) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft.
Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.

(b.) Slopes of fifteen percent (15%) of greater on any lot of portion(s) thereof.
Steep Slope Calculation
Property Line 210'-10": Low Point = 437.8' High Point = 441.5' Slope = 1.74%
Property Line 66'-11": Low Point = 440.3' High Point = 441.5' Slope = 1.79%
Property Line 88'-2": Low Point = 437.5' High Point = 440.3' Slope = 2.74%
Property Line 146'-8": Low Point = 436.38' High Point = 437.8' Slope = 1% overall, 3.8% at steepest point.

Slope from Site Lowpoint to High Point: Low Point = 436.38' High Point = 441.5' Slope = 2.92%
Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.

CMA
CosciaMoos



Signature and Seal

10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

PROJECT NO: 567

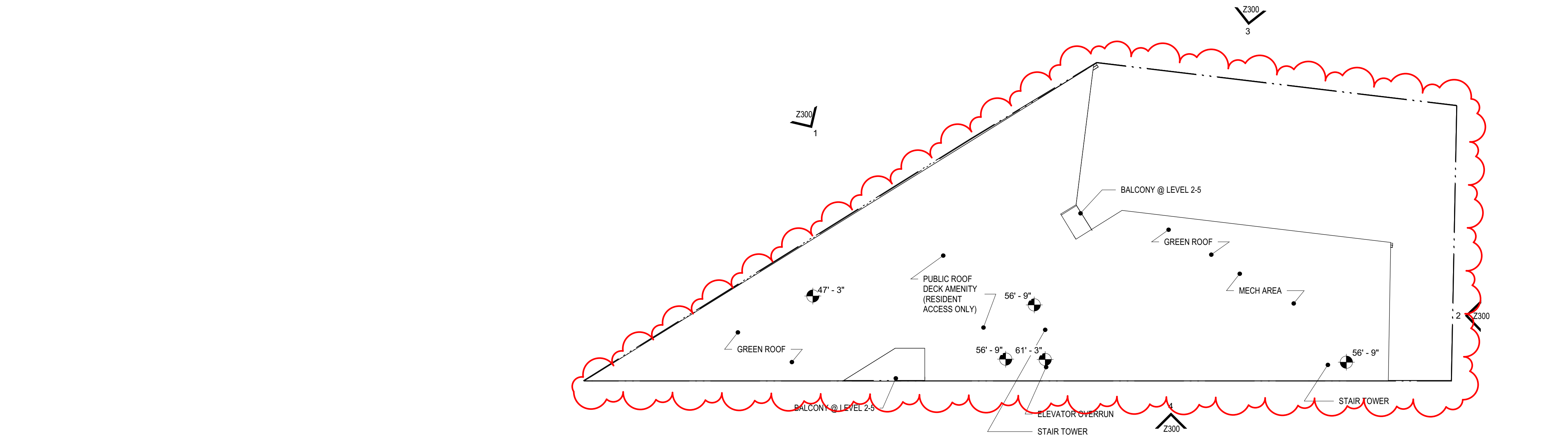
OWNER:
10 BETHLEHEM PIKE PROPERTY OWNER LLC
1845 Walnut Street
Suite 910
Philadelphia PA 19103
215-285-6372

ARCHITECT:
Coscia Moos Architecture
1616 Walnut Street
Suite 101
Philadelphia, PA 19103
www.cosciamoos.com
267-761-9416

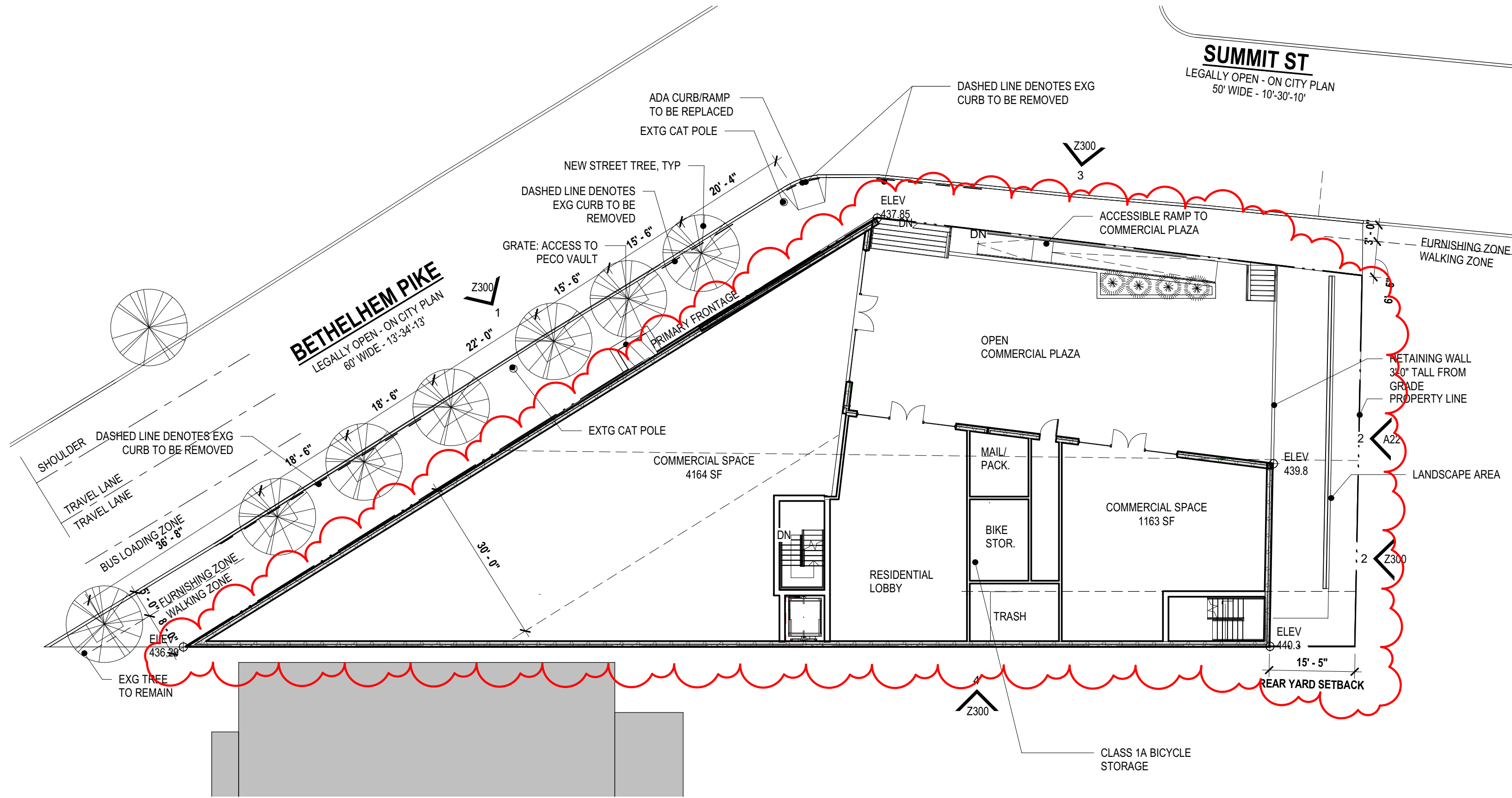
APPROVED
FOR ZONING ONLY
11/22/22
WHEN YOUR PLANS CONTAIN ANY OVERSIGHT, COSCIA MOOS ARCHITECTURE, INC. WILL NOT BE RESPONSIBLE FOR THE APPROVAL OF THE DEPARTMENT OF LICENSING & INSPECTIONS.
Applied Electronically by L&I User

ZONING TABLES & PLANS

Z100



2 ZONING - ROOF PLAN
Z200 1/16" = 1'-0"



1 ZONING - FIRST FLOOR PLAN
Z200 1/16" = 1'-0"

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OVERLAY ZONING DISTRICT:		WVO WISSAHICKON WATERSHED OVERLAY DISTRICT		
USE REGULATIONS				
PROPOSED & PERMITTED USES:	BASEMENT THRU 1ST		RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL	
	2ND THRU 5TH		MULTI-FAMILY HOUSING	
DIMENSIONAL STANDARDS (14-701-3)				
DISTRICT & LOT DIMENSIONS	REQUIRED	EXISTING APPROVED	PROPOSED	
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OFF STREET PARKING REQUIREMENTS (14-802-2)				
CAR PARKING	0	8	0	
OFF STREET LOADING REQUIREMENTS (14-806)				
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ROOF DECK (14604(5))				
ROOF DECK	PERMITTED	PROVIDED (See Note 7)	PROVIDED (See Note 7)	
NOTES				
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Note 7: WVO Wissahickon Watershed Overlay District 14-510 (6) Category 5 - No Limit to Impervious Ground Coverage Existing site is currently 95% Impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.				
Note 8: Steep Slope Protection 14-704 (2) (a.) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft. Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft. (b.) Slopes of fifteen percent (15%) of greater on any lot of portion(s) thereof. Steep Slope Calculation Property Line 210'-10": Low Point = 437.8' High Point = 441.5'. Slope = 1.74% Property Line 66'-11": Low Point = 440.3' High Point = 441.5'. Slope = 1.79% Property Line 88'-2": Low Point = 437.5' High Point = 440.3'. Slope = 2.74% Property Line 146'-8": Low Point = 436.36' High Point = 437.8'. Slope = 1% overall, 3.8% at steepest point. Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5'. Slope = 2.92% Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.				



Signature and Seal

10 BETHLEHEM PIKE

10 BETHLEHEM PIKE,
PHILADELPHIA PA
19118

PROJECT NO: 567

OWNER:
10 BETHLEHEM PIKE PROPERTY
OWNER LLC
1845 Walnut Street
Suite 910
Philadelphia PA 19103

215-285-6372

ARCHITECT:
Coscia Moos Architecture
1616 Walnut Street
Suite 101
Philadelphia, PA 19103
www.cosciamoos.com
267-761-9416

APPROVED
FOR ZONING ONLY
11/22/22

WHEN YOUR PLANS CONTAIN ANY OVERSIGHTS, CORRECTIONS OR CHANGES, THESE APPROVED PLANS WILL REQUIRE THE APPROVAL OF THE DEPARTMENT OF LICENSING & INSPECTIONS.

Applied Electronically by L&I User

1 ASI 000 00/00/0000

10/19/2022

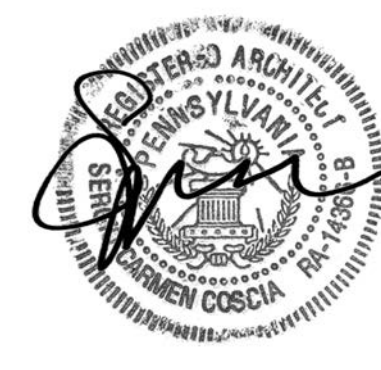
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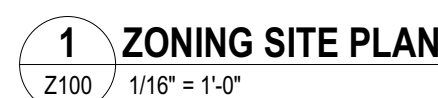
SCALE: As indicated

DRAWN BY: JAV

ZONING TABLE &
PLANS

Z200





Per 14-701(1)(d),(1), the City Planning Commission has determined that:

Bethlehem _____ is the primary street;

Opposite of **Summit** _____ Street is the rear;

_____ Street is the rear street

Applied Electronically by: **KEITH DAVIS**

April 12, 2021

PHILADELPHIA CITY PLANNING COMMISSION

In accordance with the terms and provisions of Section 14-704(2) of the Philadelphia Code pertaining to:

PROPOSED SLOPE PROTECTION:

VIEWING ONLY

☒ Approved 0 - 24%

☐ Disapproved >= 25%

THIS PAGE CONTAINS ANY COMMENTS FROM THE PUBLIC TO THE APPLICANT. TO INCLUDE THE APPLICANT'S RESPONSE TO THE COMMENTS, THE APPLICANT MUST FURNISH A RESPONSE TO THE COMMENTS TO THE CITY ENGINEER.

Electronically by L&L User:

Applied Electronically by: **KEITH DAVIS**

April 12, 2021

PHILADELPHIA CITY PLANNING COMMISSION

In accordance with the terms and provisions of Section 14-510 of the Philadelphia Code pertaining to:

WISSAHICKON WATERSHED OVERLAY DISTRICT

☒ **APPROVED** **Cat 5**

☐ **DISAPPROVED**

Applied Electronically by: **KEITH DAVIS**

April 12, 2021

PHILADELPHIA CITY PLANNING COMMISSION

**Philadelphia City
Planning Commission**

#Date mixed income bonus
 4/12/21
 Keith F Davis

Development Planning



EXISTING SUMMIT ST STREET VIEW



EXISTING BETHLEHEM PIKE STREET VIEW

AREA REGULATIONS		
LOT INFORMATION		
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	2ND THRU 5TH	MULTI-FAMILY HOUSING
DIMENSIONAL STANDARDS (14-701-3)		
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YARDS		
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MIN REAR YARD DEPTH (FT)	9'-0" (see Note 2)	10'-0"
HEIGHT		
MAX HEIGHT (FT)	46'-9 1/2" (see Note 3)	46'-9 1/2"
MAX FLOOR AREA (% OF LOT AREA)	N/A	N/A
LANDSCAPE AND TREES (14-705(2))		
STREET TREE REQUIREMENT	7 (See Note 4)	7
OFF STREET PARKING REQUIREMENTS (14-802-2)		
CAR PARKING	0	8
ACCESSIBLE SPACES	0	0
COMPACT SPACE	0	0
BICYCLE PARKING	12 (1 bicycle per 3 units)	12
OFF STREET LOADING REQUIREMENTS (14-806)		
OFF-STREET LOADING	0 (See Note 6)	0
BAY WINDOWS (11603 (4))		
BAY WINDOWS	PERMITTED	PROVIDED (See Note 6)
ROOF DECK (14604(5))		
ROOF DECK	PERMITTED	PROVIDED (See Note 7)
PARKING LANDSCAPE AND SCREENING (14803(5))		
PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS	REQUIRED	PROVIDED (See Note 8)
INTERIOR LANDSCAPE REQMENTS	660 SF OPEN PARKING X 10% = 66 SF	114 SF (See Note 9)

NOTES	
Note 1:	Section 14-602(4)(a)(ii)(B) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft., provided that: (c) if the lot area is greater than 14,701 sq. ft., provided that: the max. number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements. Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). For purposes of this section, the 25% increase in units permitted is subject to the following: (i) the bonus is calculated based on the following formula: Maximum units allowed = 1919 sf (3 units) + ((11,058 SF-1919sf) /480 SF per unit) = 3 units + 19 units = 22 units. Green Roof Bonus = 22 units x .25% = 5.5 units (rounded down) = 27 units Moderate Intensity Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed. Cost Calculation: Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160 Unit Calculation: 6 units earned = \$25,000+\$150,000 Payment will be based on the Lot Area Calculation
Note 2:	Minimum rear yard setback shall be the greater of 6 feet or 10% of the lot depth per Table 14-701.3. Minimum rear yard based on Lot Depth = 77'-4" x 1 = 7'-9" *Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.
Note 3:	Per table 14-701.3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). For Additional Building Height, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure. The vertical distance from the average ground level at the base of the structure to the top of the structure. Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0" Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2' Average Grade = 436.51' = +41.1' (1'-9 1/2") Total Building Height from Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46'-9 1/2"
Note 4:	Per 14-705(2)(c), 2(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks. 234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up) Project provides 6 new trees and 1 existing tree.
Note 5:	Bay Windows provided in compliance with Section 11-603 (4) Projections Over the Street; Balconies and Bay Windows. Bethlehem Pike - 87'-0" of frontage (three allowed for 63'-0" of frontage) Level 3: 3 bays provided (3 allowed); Level 4: 2 bays provided (3 allowed); Level 5: 1 bay provided (3 allowed) Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage) Level 3: 2 bays provided (3 allowed); Level 4: 2 bays provided (3 allowed)
Note 6:	Per Table 14-803-1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.).
Note 7:	Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 sq. ft. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures having elevations are an exception to dimensional standard
Note 8:	Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five (5) feet shall be provided. The screening material shall be designed to provide 75% opacity.
Note 9:	Herbaceous plants or lawn installed in the required landscaped area shall be from the list of appropriate plantings per Table 14-705 of the Philadelphia Zoning Code.
Note 10:	WVO Wissahickon Watershed Overlay District 14-510 (6) Category 5 - No Limit to Impervious Ground Coverage Existing site is currently 85% Impervious. (11,058 SF PDS) with 551 Sq Ft of landscaping. A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.
Note 11:	Slope/Sleep Slope Protection 14-704 (2) (a) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft. Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft. (b) Slopes of fifteen percent (15%) of greater on any lot or portion(s) thereof. Slope Calculation Property Line 210'-0" / Low Point = 437.8' High Point = 441.5' Slope = 1.74% Property Line 86'-11" / Low Point = 437.2' High Point = 441.5' Slope = 1.79% Property Line 86'-22" / Low Point = 437.5' High Point = 440.3' Slope = 2.74% Property Line 146'-8" / Low Point = 436.36' High Point = 437.8' Slope = 1% overall, 3.8% at steepest point. Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5' Slope = 2.92% Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.

Versions

[illegible]

Architect

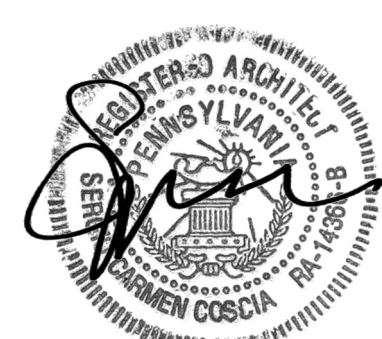
COSCIA MOOS
ARCHITECTURE

Coscia Moos Architecture
1616 Walnut Street, Suite 101
Philadelphia, PA 19103
267 761 9416

Civil Engineer



Maser Consulting
2 Penn Center, Suite 222
Philadelphia, PA 19102
215 861 9021



Signature and Seal
Project

10 BETHLEHEM
PIKE
10 BETHLEHEM PIKE,
PHILADELPHIA PA
19118

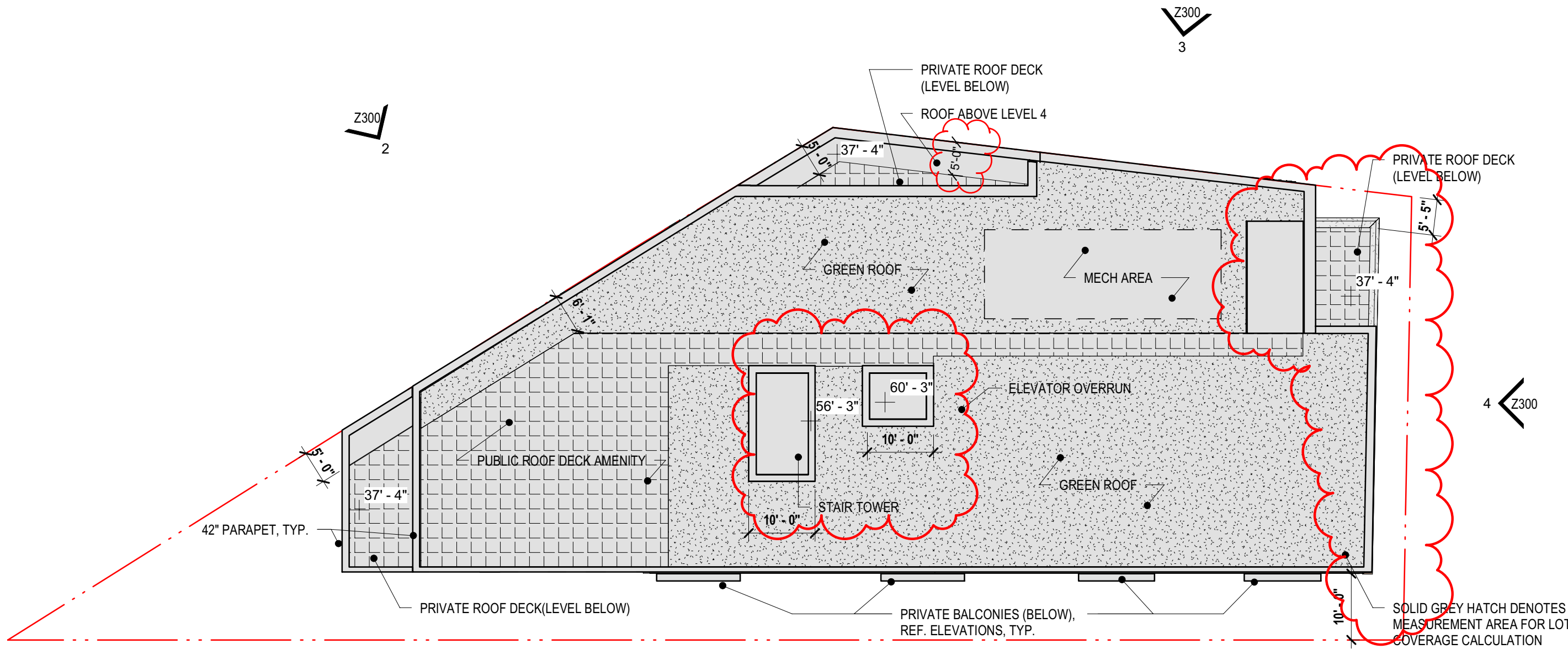
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**ZONING TABLES &
PLANS**

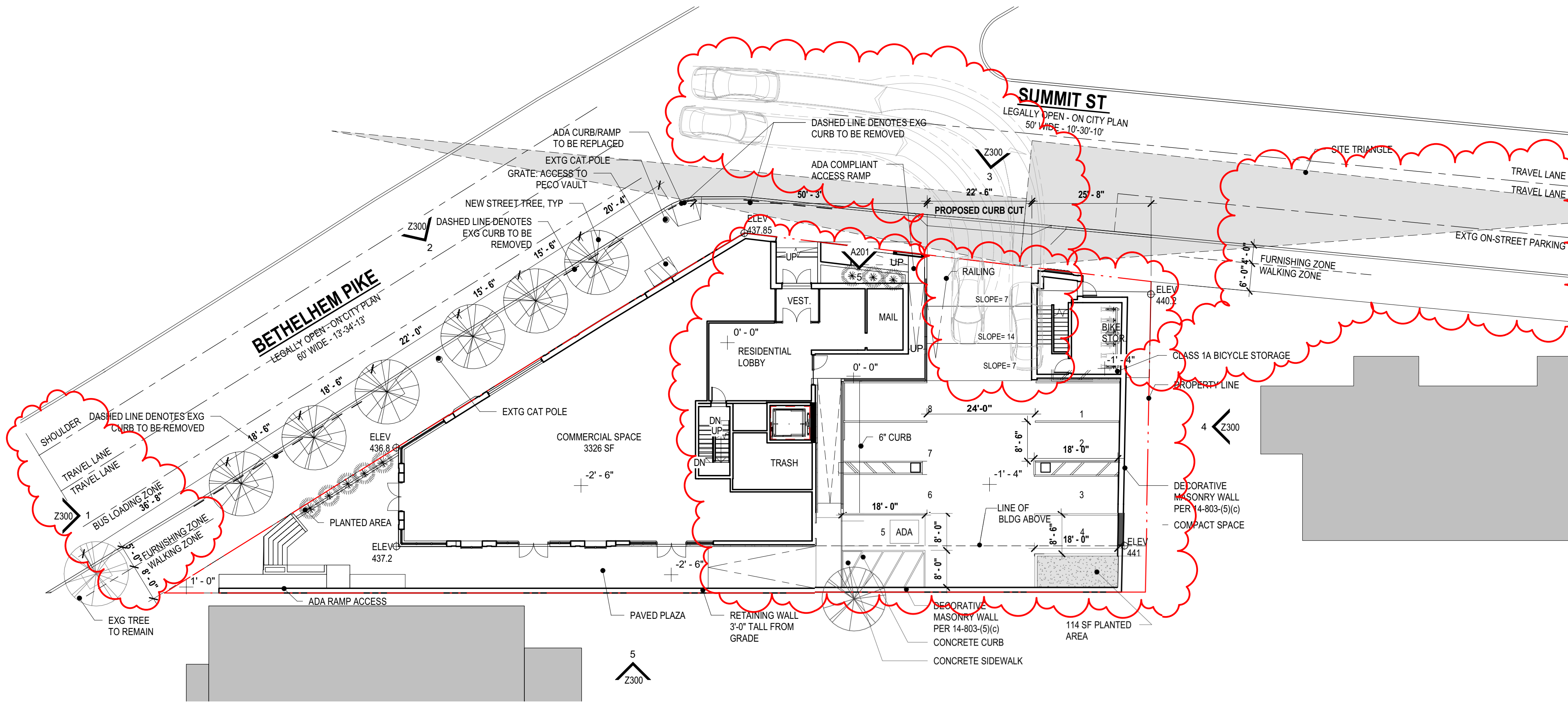
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Scale As indicated	Drawn JAV	Project No. 567
Sheet No.		

Z100



2 ZONING - ROOF PLAN
Z200 1/16" = 1'-0"



1 ZONING - FIRST FLOOR PLAN
Z200 1/16" = 1'-0"

AREA REGULATIONS

LOT INFORMATION

LOT ADDRESS(ES):	10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118
OPA NUMBER:	#88-2722300
LOT AREA(S):	11,113 SF
LOT AREA(S) - PDS:	11,058 SF
BASE ZONING DISTRICT:	CMX-2
OVERLAY ZONING DISTRICT:	WVO WISSAHICKON WATERSHED OVERLAY DISTRICT

USE REGULATIONS

PROPOSED & PERMITTED USES:	BASEMENT THRU 1ST	RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL
	2ND THRU 5TH	MULTI-FAMILY HOUSING

DIMENSIONAL STANDARDS (14-701-3)

DISTRICT & LOT DIMENSIONS	REQUIRED	PROPOSED
MIN LOT WIDTH (FT)	N/A	NO CHANGE
MIN LOT AREA (SF)	N/A	NO CHANGE
MAX OCCUPIED AREA (% OF LOT)	80%	76.35% (8,443 SF BLDG)
MAX UNITS ALLOWED	33 (see Note 1)	33
YARDS		
MIN FRONT YARD DEPTH (FT)	N/A	0'-0"
MIN SIDE YARD WIDTH, EACH (FT)	5 FT if used	5'-0"
MIN REAR YARD DEPTH (FT)	9'-0" (see Note 2)	10'-0"

HEIGHT

MAX HEIGHT (FT)	46'-9 1/2" (see Note 3)	46'-9 1/2"
MAX FLOOR AREA (% OF LOT AREA)	N/A	N/A

LANDSCAPE AND TREES (14-705(2))

STREET TREE REQUIREMENT	7 (See Note 4)	7
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OFF STREET PARKING REQUIREMENTS (14-802-2)

CAR PARKING	0	8
ACCESSIBLE SPACES	0	0
COMPACT SPACE	0	0
BICYCLE PARKING	12 (1 bicycle per 3 units)	12

OFF STREET LOADING REQUIREMENTS (14-806)

OFF-STREET LOADING	0 (See Note 6)	0
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BAY WINDOWS (11603 (4))

BAY WINDOWS	PERMITTED	PROVIDED (See Note 6)
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ROOF DECK (14604(5))

ROOF DECK	PERMITTED	PROVIDED (See Note 7)
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PARKING LANDSCAPE AND SCREENING (14803(5))

PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS	REQUIRED	PROVIDED (See Note 8)
INTERIOR LANDSCAPE REQMMNTS	660 SF OPEN PARKING X.10% = 66 SF	114 SF (See Note 9)

NOTES

- Note 1:** Section 14-602(4)(a)(2)(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that (c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.
- Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit Density Bonuses table, 25% increase in units permitted is provided for Moderate Income.
- Maximum units allowed = 1919 sf (3 units) + (11,058 SF-1919sf) / 480 SF per unit = 3 units + 19 units = 22 units.**
- Green Roof Bonus = 22 units x .25% = 5.5 units (5 rounded down) = 27 units**
- Moderate Income Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed.**
- Cost Calculation:**
Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160
Unit Calculation: 6 units earned x \$25,000 = \$150,000
Payment will be based on the Lot Area Calculation.
- Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.
- Minimum rear yard based on Lot Depth = 77'-4" x .1 = 7'-9"**
- *Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.**
- Note 3:** Per Table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.
- Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"**
- Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**
- Average Grade = 438.81' = +1.81' (1'-9 1/2")**
- Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46'-9 1/2"**
- Note 4:** Per 14-705(2)(c)(i) 2(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.
- 234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)**
- Project provides 6 new trees and 1 existing to remain.**
- Note 5:** Bay Windows provided in compliance with Section 11-603 (4) Projections Over the Street- Balconies and Bay Windows.
- Bethlehem Pike - 87'-10" of frontage (three allowed for 63'-0" of frontage)**
- Level 3: 3 bays provided (3 allowed), Level 4: 2 bays provided (3 allowed), Level 5: 1 bay provided (3 allowed)
- Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage)**
- Level 3: 2 bays provided (3 allowed), Level 4: 2 bays provided (3 allowed)
- Note 6:** Per Table 14-803-1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)
- Note 7:** Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 ft. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard
- Note 8:** Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a contiguous screening wall at least five ft tall shall be provided. The screening material shall be designed to provide 75% opacity.
- Note 9:** Herbaceous plants or lawn installed in the required landscaped area shall be from the list of appropriate plantings per § 14-705 of the Philadelphia Zoning Code
- Note 10:** WVO Wissahickon Watershed Overlay District 14-510 (6)
- Category 5 - No Limit to Impervious Ground Coverage
- Existing site is currently 95% impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.
- Note 10:** Steep Slope Protection 14-704 (2)
- (a.) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft.
- Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.**
- (b.) Slopes of fifteen percent (15%) of greater on any lot of portion(s) thereof.
- Steep Slope Calculation
- Property Line 210'-10": Low Point = 437.8' High Point = 441.5' Slope = 1.74%
- Property Line 66'-11": Low Point = 440.3' High Point = 441.5' Slope = 1.79%
- Property Line 88'-2": Low Point = 437.5' High Point = 440.3' Slope = 2.74%
- Property Line 146'-8": Low Point = 436.38' High Point = 437.8' Slope = 1% overall, 3.8% at steepest point.
- Slope from Site Lowpoint to High Point: Low Point = 436.38' High Point = 441.5', Slope = 2.92%
- Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.**

Versions

No.	Date	Description
1	03/03/2021	ZONING
1	00/00/0000	ASI 000

Architect

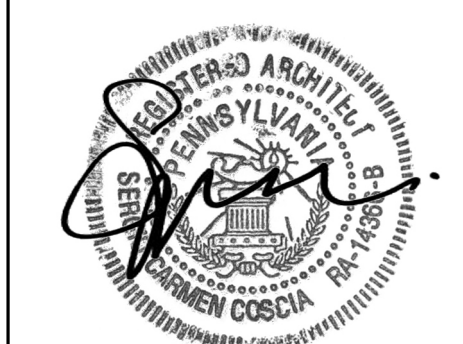
COSCIA MOOS
ARCHITECTURE

Coscia Moos Architecture
1616 Walnut Street, Suite 101
Philadelphia, PA 19103
267 761 9416

Civil Engineer

MASER
CONSULTING

Maser Consulting
2 Penn Center, Suite 222
Philadelphia, PA 19102
215 881 9021



Signature and Seal
Project

10 BETHLEHEM
PIKE
10 BETHLEHEM PIKE,
PHILADELPHIA PA
19118

Sheet Title
ZONING TABLE AND
PLANS

Date 03/03/2021

Scale As indicated
Drawn JAV
Project No. 567
Sheet No.

Z200

APPROVED
FOR ZONING ONLY
04/26/21

WHEN YOUR PLANS CONTAIN ANY DIMENSION, CHECK THE DIMENSION FROM THESE APPROVED PLANS. ANY DIMENSION NOT SHOWN HEREIN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.

Applied Electronically by L&J User:



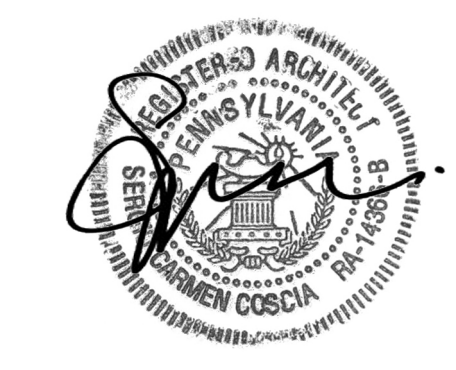
Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5', Slope = 2.92%
Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.

Scale As indicated	Drawn JAV	Project No. 567
Sheet No.		

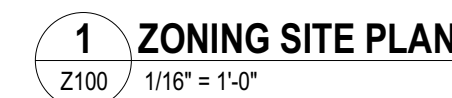
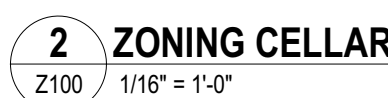
Z300



Applied Electronically by L&I User



Consultant 3 Phone



NOTES	
Note 1:	Section 14-602(4)(a)(i)(2)(b): A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that: (a) if the green roof conditions set forth at 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements. Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit density Bonus table, 25% increase in units permitted is provided for Moderate Income. Maximum units allowed = 1919 sf (3 units) + (11,058 SF -1919sf) / 480 SF per unit = 3 units + 19 units = 22 units. Green Roof Bonus = 22 units x .25% = 5.5 units (5 rounded down) = 27 units Moderate Income Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed. Cost Calculation: Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160 Unit Calculation: 6 units earned = \$25,000 + \$150,000 Payment will be based on the Lot Area Calculation
Note 2:	Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701.3. Minimum rear yard based on Lot Depth = 77'-4" x 1 = 7'-9" *Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.
Note 3:	Per table 14-701.3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Building, Building or Structure. The vertical distance from the average ground level at the base of the structure to the top of the structure. Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0" Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2' Average Grade = 436.61' + 1+181' (1'-9 1/2") Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46'-9 1/2"
Note 4:	Per 14-705(2)(c), 2(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be spaced at regular or irregular intervals, provided that there is at least 15 ft. of space between them. 234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up) Project provides 6 new trees and 1 existing to remain.
Note 5:	Per 14-705(2)(c), 2(a) in compliance with Section 14-803.4 (7) Projections over the Street: Balconies and Eave Windows Bethlehem Pike - 87'-0" of frontage (three allowed for 63'-0" of frontage) 3 bays provided (3 allowed) Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage) 3 bays provided (3 allowed)
Note 6:	Per Table 14-803.1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.).
Note 7:	Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setbacks is greater than 5 ft from the front building line. Roof access structures are required 125 ft. Slants do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701.6, perches/uses in Commercial districts for roof structures housing occupants are an exception to dimensional standard.
Note 8:	Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five feet tall shall be provided. The screening material shall be designed to provide 75% opacity.
Note 9:	Herbaceous plants or lawn installed in the required landscaped areas shall be from the list of appropriate plantings for 14-705 of the Philadelphia Zoning Code.
Note 10:	WVO Wissahickon Watershed Overlay District 14-510 (b) Category 5 - No Limit to Impervious Ground Coverage Existing site is currently 95% Impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.
Note 10:	Slope Slope Protection 14-704 (2) (a.) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground coverage on the lot by more than 1,400 sq ft. Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft. (b) Slopes of fifteen percent (15%) of greater on any lot of portion(s) thereof. Step Slope Calculation Property Line 210'-0" Low Point = 437.8' High Point = 441.5', Slope = 1.74% Property Line 66'-11" Low Point = 437.8' High Point = 441.5', Slope = 1.79% Property Line 86'-2" Low Point = 437.8' High Point = 440.3', Slope = 2.74% Property Line 146'-8" Low Point = 436.36' High Point = 437.8', Slope = 1% overall, 3.8% at steepest point. Slope from Site Lowpoint to High Point Low Point = 436.36' High Point = 441.5', Slope = 2.82% Maximum Step Slope calculated at 3.8%, steep slope provisions do not apply.



DISCUSSION

Z100

Z100



Signature and Seal

10 BETHLEHEM PIKE

10 BETHLEHEM PIKE,
PHILADELPHIA PA
19118

PROJECT NO: 567

OWNER:

Client Name

Client Address

Client URL

Client Phone

ARCHITECT:

Coscia Moos Architecture

1616 Walnut Street

Suite 101

Philadelphia, PA 19103

www.cosciamoos.com

267-761-9416

CIVIL ENGINEER:

Consultant 1

Consultant 1 Address

Consultant 1 URL

Consultant 1 Phone

STRUCTURAL ENGINEER:

Consultant 2

Consultant 2 Address

Consultant 2 URL

Consultant 2 Phone

MEPPF ENGINEER:

Consultant 3

Consultant 3 Address

Consultant 3 URL

Consultant 3 Phone

1 ASI 000 00/00/0000
ZONING 03/03/2021

07/30/2021

ISSUED FOR CONSTRUCTION

SCALE: As indicated

DRAWN BY: JAV

ZONING TABLES &
ELEVATIONS

Z300

AREA REGULATIONS

LOT INFORMATION

LOT ADDRESS(ES):	10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118
OPA NUMBER:	#88-2722300
LOT AREA(S):	11,113 SF
LOT AREA(S) - PDS:	11,058 SF
BASE ZONING DISTRICT:	CMX-2
OVERLAY ZONING DISTRICT:	WWO WISSAHICKON WATERSHED OVERLAY DISTRICT

USE REGULATIONS

PROPOSED & PERMITTED USES:	BASEMENT THRU 1ST	RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL
	2ND THRU 5TH	MULTI-FAMILY HOUSING

DIMENSIONAL STANDARDS (14-701-3)

DISTRICT & LOT DIMENSIONS	REQUIRED	PROPOSED
MIN LOT WIDTH (FT)	N/A	NO CHANGE
MIN LOT AREA (SF)	N/A	NO CHANGE
MAX OCCUPIED AREA (% OF LOT)	80%	76.35% (8,443 SF BLDG)
MAX UNITS ALLOWED	33 (see Note 1)	33

YARDS

MIN FRONT YARD DEPTH (FT)	N/A	0' - 0"
MIN SIDE YARD WIDTH, EACH (FT)	5 FT if used	5' - 0"
MIN REAR YARD DEPTH (FT)	9'-0" (see Note 2)	10'-0"

HEIGHT

MAX HEIGHT (FT)	46'-9 1/2" (see Note 3)	46'-9 1/2"
MAX FLOOR AREA (% OF LOT AREA)	N/A	N/A

LANDSCAPE AND TREES (14-705(2))

STREET TREE REQUIREMENT	7 (See Note 4)	7
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OFF STREET PARKING REQUIREMENTS (14-802-2)

CAR PARKING	0	8
ACCESSIBLE SPACES	0	1
COMPACT SPACE	0	0
BICYCLE PARKING	12 (1 bicycle per 3 units)	12

OFF STREET LOADING REQUIREMENTS (14-806)

OFF-STREET LOADING	0 (See Note 6)	0
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BAY WINDOWS (11603 (4))

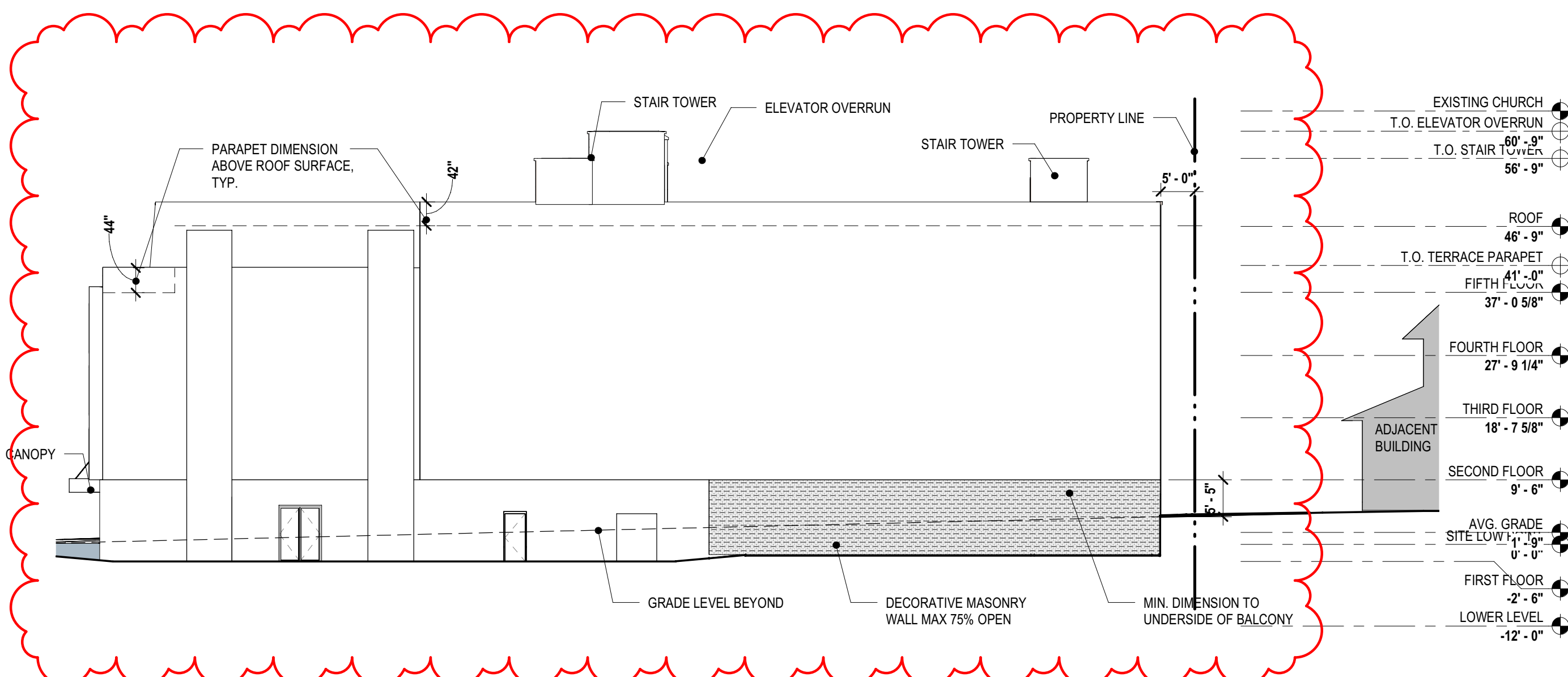
BAY WINDOWS	PERMITTED	PROVIDED (See Note 6)
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ROOF DECK (14604(5))

ROOF DECK	PERMITTED	PROVIDED (See Note 7)
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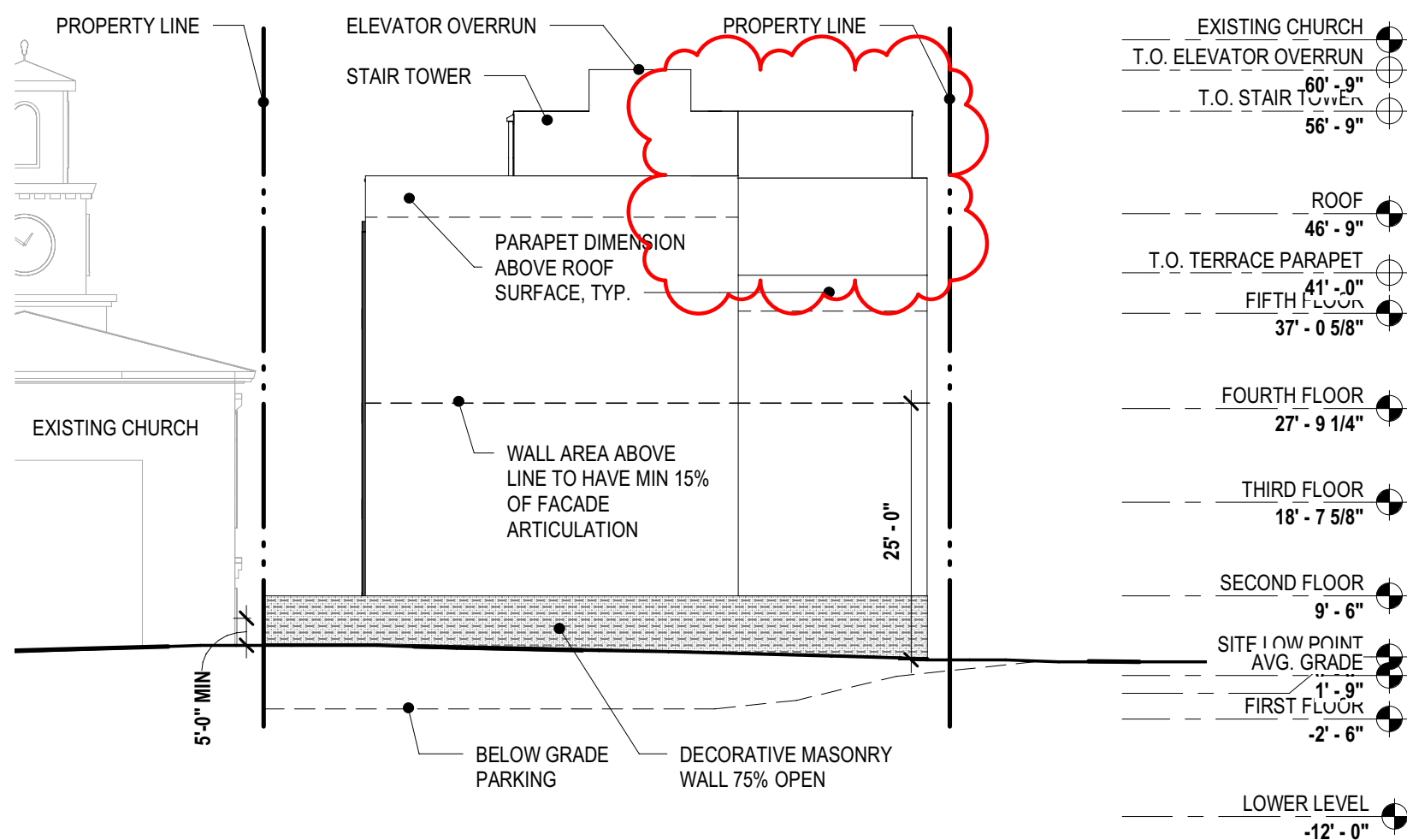
PARKING LANDSCAPE AND SCREENING (14803(5))

PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS	REQUIRED	PROVIDED (See Note 8)
INTERIOR LANDSCAPE REQNMNTS	660 SF OPEN PARKING X.10% = 66 SF	114 SF (See Note 9)



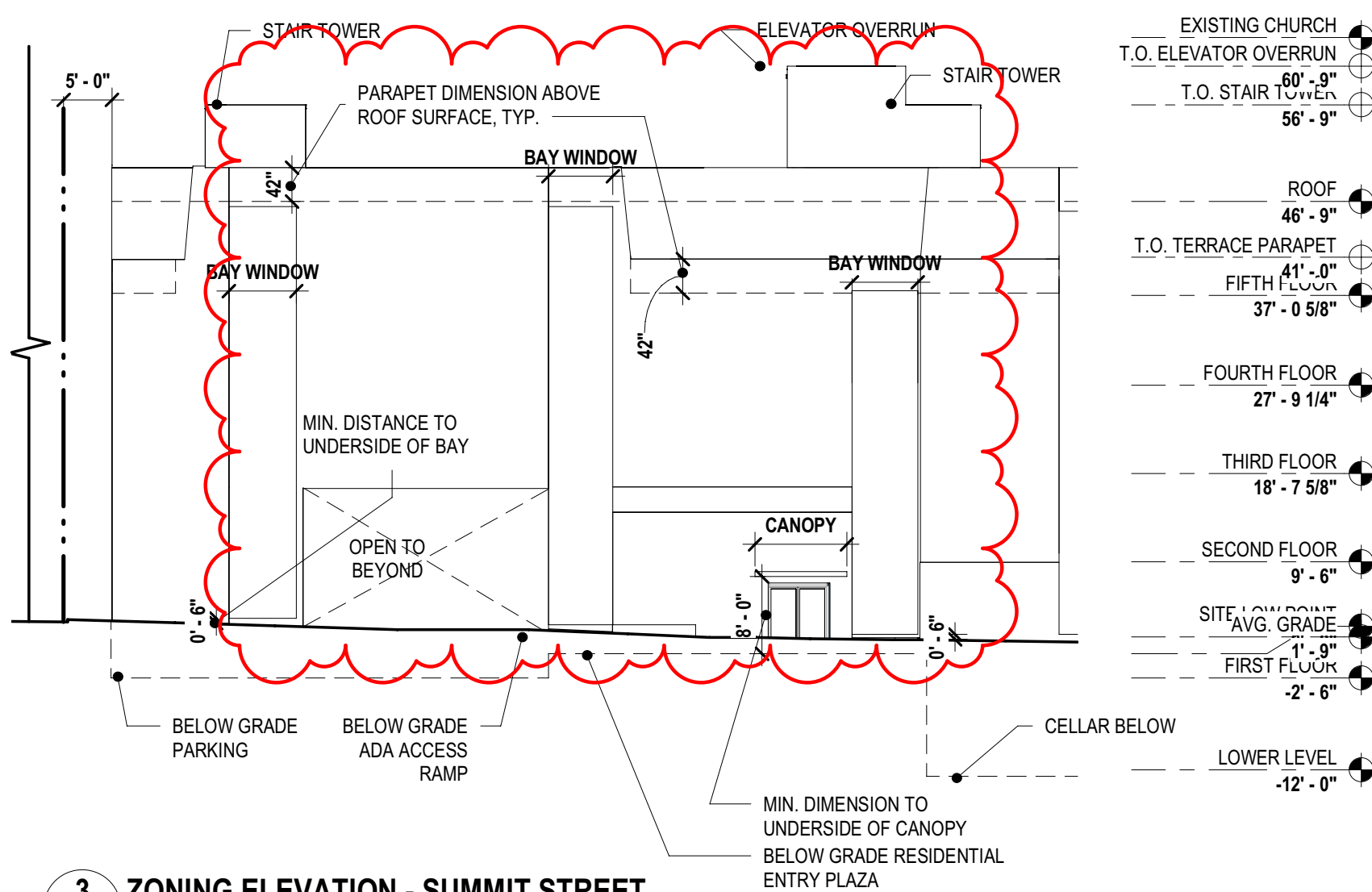
5 ZONING ELEVATION - SOUTH

Z300 1/16" = 1'-0"



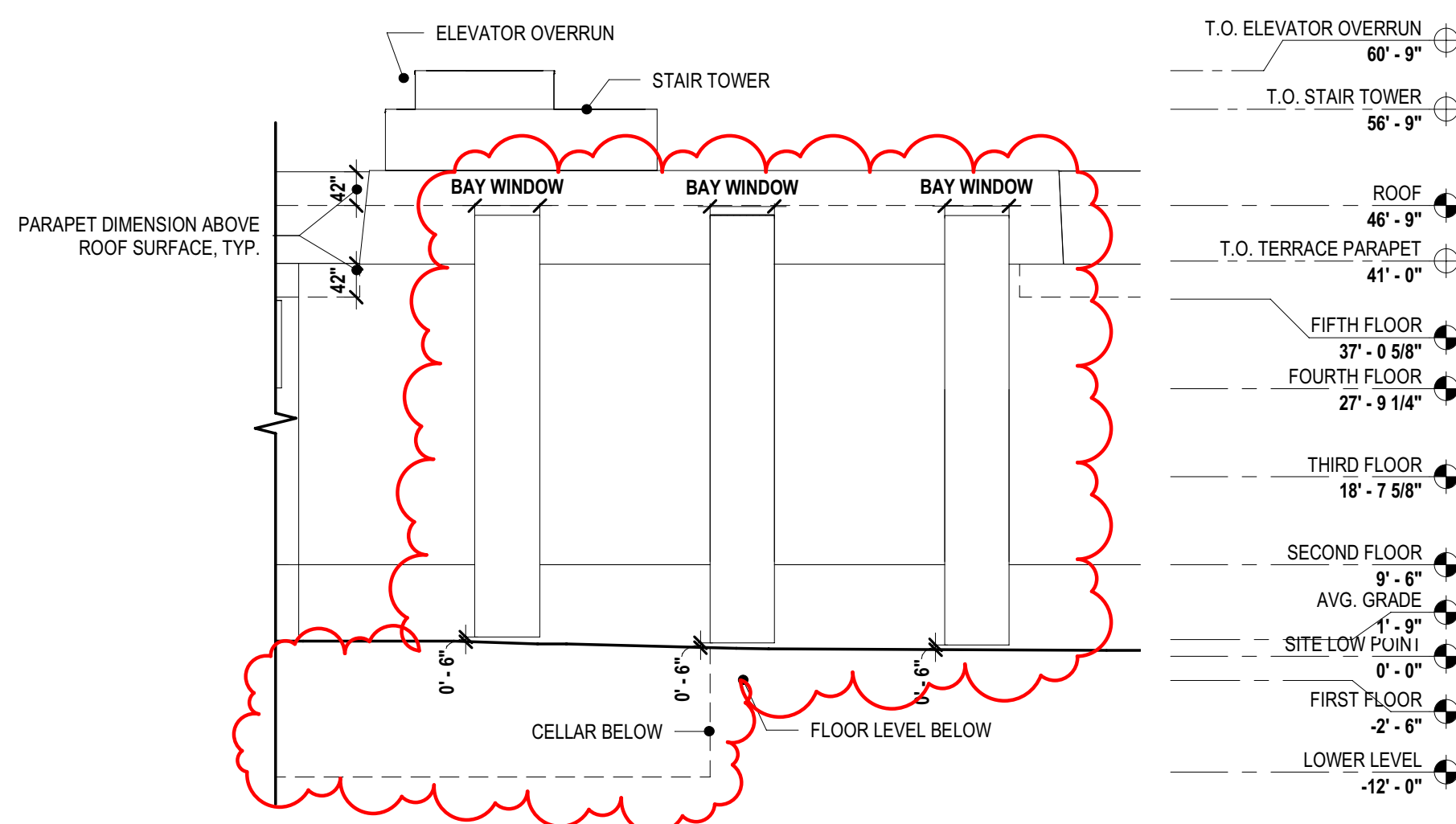
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Z300 1/16" = 1'-0"



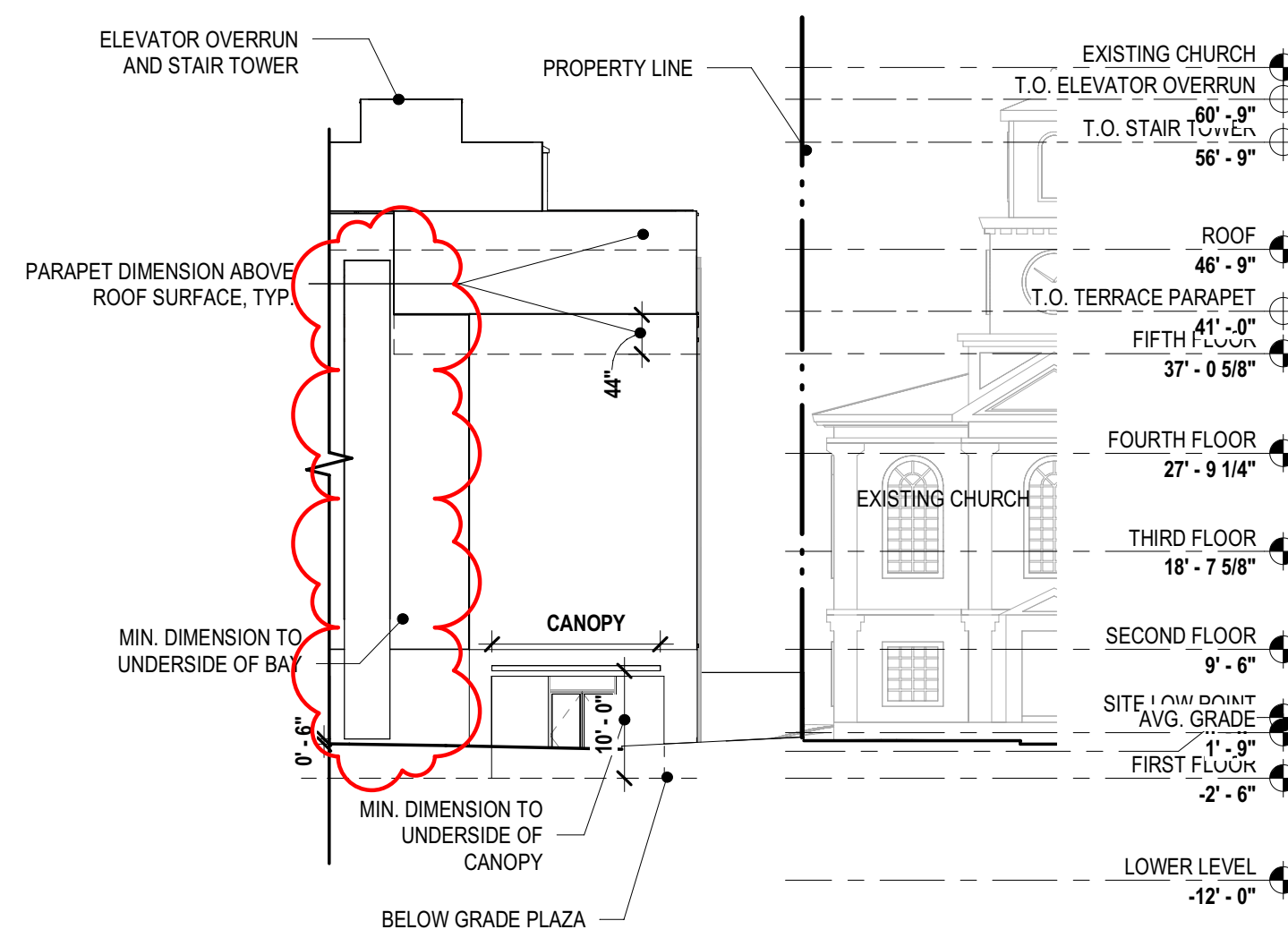
3 ZONING ELEVATION - SUMMIT STREET

Z300 1/16" = 1'-0"



2 ZONING ELEVATION - BETHLEHEM PIKE EAST

Z300 1/16" = 1'-0"



1 ZONING ELEVATION - BETHLEHEM PIKE NORTH

Z300 1/16" = 1'-0"

APPROVED
FOR ZONING ONLY
09/14/21

WHEN YOUR PLANS CONTAIN ANY DIMENSION, CHECK THE DIMENSION FROM THESE APPROVED DIMENSIONAL STANDARDS. THE DIMENSIONAL STANDARDS ARE THE PROPERTY OF COSCIA MOOS ARCHITECTURE, INC.

Applied Electronically by L&J User: