

Zoning Permit

Permit Number ZP-2023-004546

LOCATION OF WORK 6118 E WISTER ST, Philadelphia, PA 19138-2452	PERMIT FEE \$754.00	DATE ISSUED 6/2/2023
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER RAM PHILA COMMUNITY 16 LLC	1635 MARKET ST STE 1600 RAM PHILA COMMUNITY 16 LLC PHILADELPHIA PA 19103
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OWNER CONTACT 1 Rachael Pritzker	1635 Market street ste 1600
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE. SIZE AND LOCATION AS SHOWN IN PLAN.
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APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

6118 E WISTER ST, Philadelphia, PA 19138-2452

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR USE AS FOUR (4) DWELLING UNITS AND VACANT COMMERCIAL SPACE AT GROUND FLOOR.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

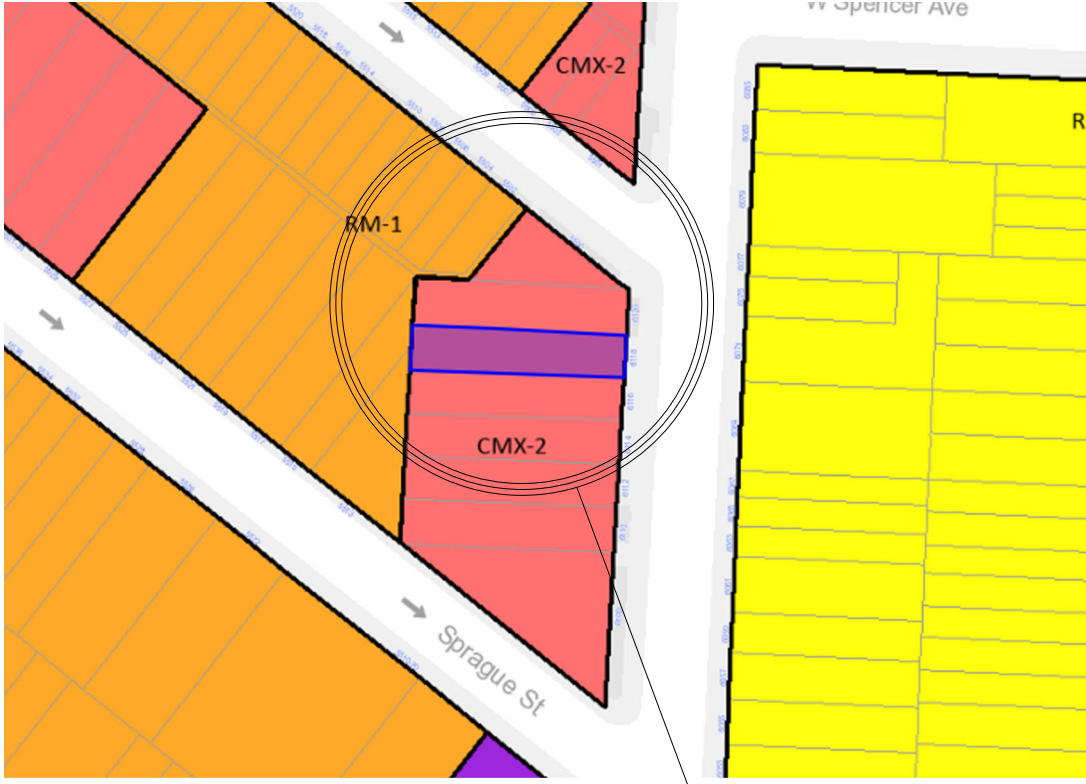
Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

ZONING CODE FOR THE CITY OF PHILADELPHIA CMX-2 DISTRICT SUMMARY FOR PROPERTY 6118 E WISTER STREET		
APPLICABLE REGULATIONS	PERMITTED / REQUIRED	PROPOSED
PERMITTED USE BY RIGHT	MIXED USE/MULTI-FAMILY	VACANT COMMERCIAL + 4 RESIDENTIAL UNITS
LOT WIDTH	16'-0"	20'-0"
LOT AREA	N/A	2000 SQ. FT. = 100% Total Lot Area
OPEN AREA	NOT LESS THAN 25%	500 SQ. FT. = 25% Open
OCCUPIED AREA	BUILDING MAY OCCUPY NO MORE THAN 75%	1500 SQ. FT. = 75% Covered
FRONT YARD SETBACK	0'-0"	0'-0"
REAR YARD SETBACK	9'-0" OR 10% OF LOT DEPTH	22'-3"
HEIGHT REGULATIONS	38'-0" MAX.	31'-0" (38'-0" MAX.)



ZONING MAP - CMX-2 ZONING

PROJECT ADDRESS:
6118 E WISTER ST



PHOTO 1



PHOTO 2



THE UNDERGROUND UTILITY LINE PROTECTION LAW
(ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996
AND ACT 199 IN JANUARY 2005)

SITE SERIAL NO. 20231172246 (ward 12)

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974, AS AMENDED BY ACT 187 OF 1996 AND ACT 199 IN JANUARY 2005, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM 1-800-242-1779, NO LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

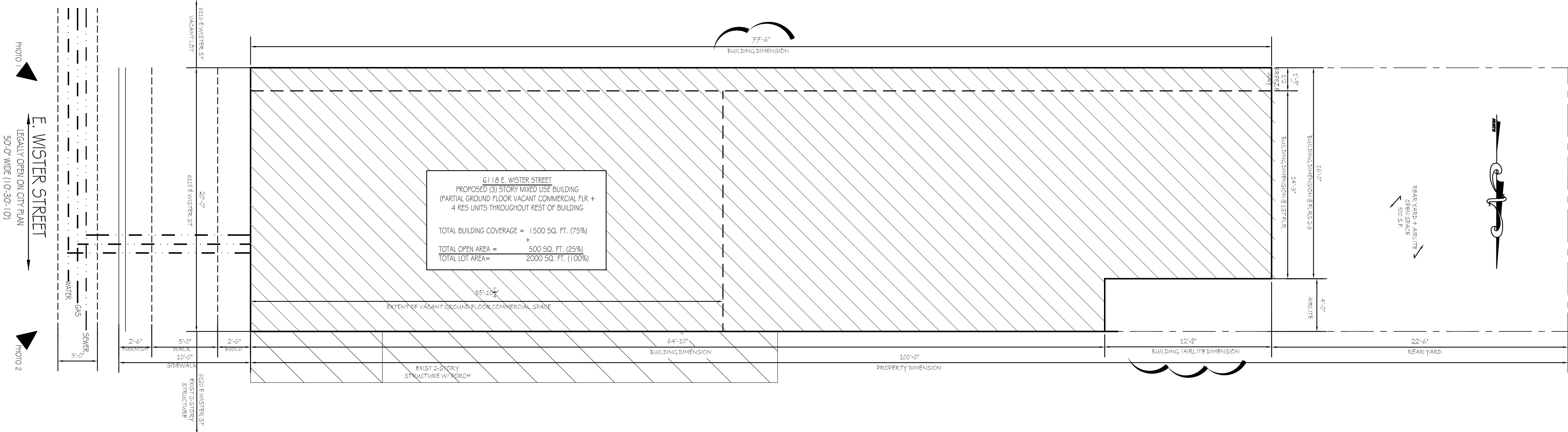
PROPOSED MIXED USE BUILDING RESIDENCE

PROPOSED 3- STORY MULTI-FAMILY (4 UNITS) RESIDENCE w/ PARTIAL GROUND FLR. VACANT COMMERCIAL
6118 E WISTER ST, PHILADELPHIA, PENNSYLVANIA



FRONT ELEVATION

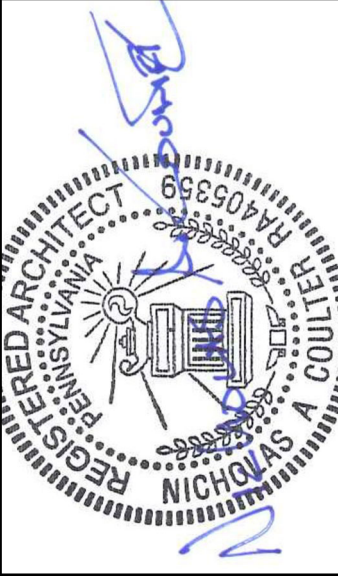
REAR ELEVATION



3
Z-1 ZONING PLAN
SCALE: 3/16"=1'-0"



DESIGN ASSOCIATES
6525 TIUP STREET
PHILADELPHIA, PA 19135
(T) 215-833-9256 (e) hukang7@gmail.com



Nicholas Alm Coulter, AIA, NCARB
REGISTERED ARCHITECT
State of Pennsylvania - License # RA405359

PROPOSED MIXED USE BUILDING
6118 E. WISTER STREET
PHILADELPHIA, PENNSYLVANIA

PROJECT

DWG. TITLE

ZONING PLAN & ELEVATIONS

REVISIONS:

DRAWN BY: LD
CHECKED BY: HK
DATE: 1/16/2023
SCALE: AS NOTED

JOB No: WISTER
FILE: WISTER

Z-1

DEPARTMENT OF
LICENSES & INSPECTIONS

APPROVED
FOR ZONING ONLY

052323

WHEN YOUR PLANS CONTAIN ANY DESIGN, ERROR OR OMISSION, PLEASE NOTIFY THE DEPARTMENT OF LICENSING & INSPECTIONS IMMEDIATELY. THE DEPARTMENT OF LICENSING & INSPECTIONS WILL NOT BE RESPONSIBLE FOR ANY DESIGN, ERROR OR OMISSION.

Applied by L&I: Shafir Cohen