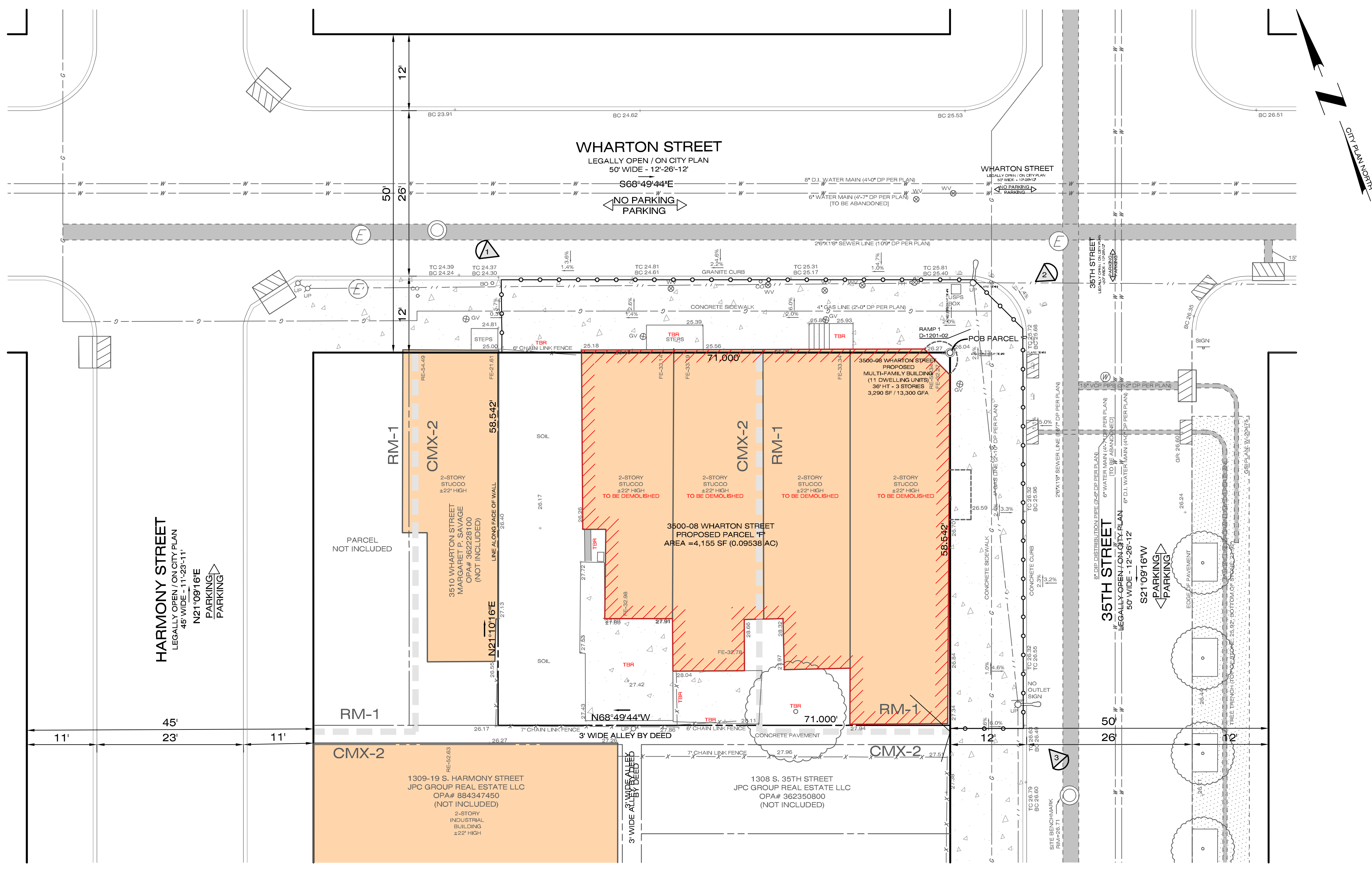


FILE: P:\A\3500-08 Wharton Street.dwg 15: 2020, 4:05 PM | PLOTTED: Tuesday, 11/10/2020 11:10:16 AM | PLOT: P:\A\3500-08 Wharton Street.dwg 15: 2020, 4:05 PM | LAYOUT: ERSA-01 - Existing Features



- LEGEND**
- EXISTING FEATURES**
- TELECOMMUNICATION MANHOLE
 - WATER MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - CITY INLET
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - SIGN
 - LIGHT STANDARD
 - COMBINED SEWER
 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND ELECTRIC LINE
 - OVERHEAD AERIAL LINE
 - FENCE LINE
 - EXISTING BUILDINGS
 - ZONING BOUNDARY LINE
 - TO BE REMOVED

CMX-2 COMMERCIAL ZONING CRITERIA

DISTRICT AND LOT DIMENSIONS

Max. Occupied Area Intermediate: 75%
Corner: 80%

YARDS

Min. Side Yard Width, Ea. 5' if used
Min. Rear Yard Depth The greater of 9' or 10% of lot depth

HEIGHT

Max. Height 38'

RM-1 RESIDENTIAL ZONING CRITERIA (*)

LOT REQUIREMENTS

Min. Lot Width 16'
Min. Lot Area 1,440 SF [1]
Min. % Open Area Intermediate 30%
corner lot 20%

BUILDING DIMENSIONS

Min. Front Yard Setback based on setback of abutting lots
Min. Side Yard Setback [8]
Semi-detached single / duplex 12'
Attached single / duplex 0'
Min. Rear Yard Setback 9' [9]
or 20% lot depth
Max. Building Height 38'

- NOTES**
- Boundary and topographic information is based on a field survey performed by Ruggiero Plante Land Design on May 2, 2020.
 - Boundary dimensions are identified in Philadelphia District Standard feet and other stated dimensions are in U.S. standard feet.
 - The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
 - The bearings shown hereon are referenced from City Plan P-47-094, Confirmed by the Board of Surveyors February 26, 2001.
 - Some of site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 - FEMA FIRM map #4207570179G effective January 17, 2007 designates the site as Zone X, areas outside the 500 yr. floodplain.
 - Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 - Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within Residential (RM-1) and Commercial (CMX-2) Zoning District.
 - A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
 - All elevation shown on plan are based on City Plan #18S datum. Site benchmark is identified as sewer manhole in 25th Street, rim elevation is 26.71'.

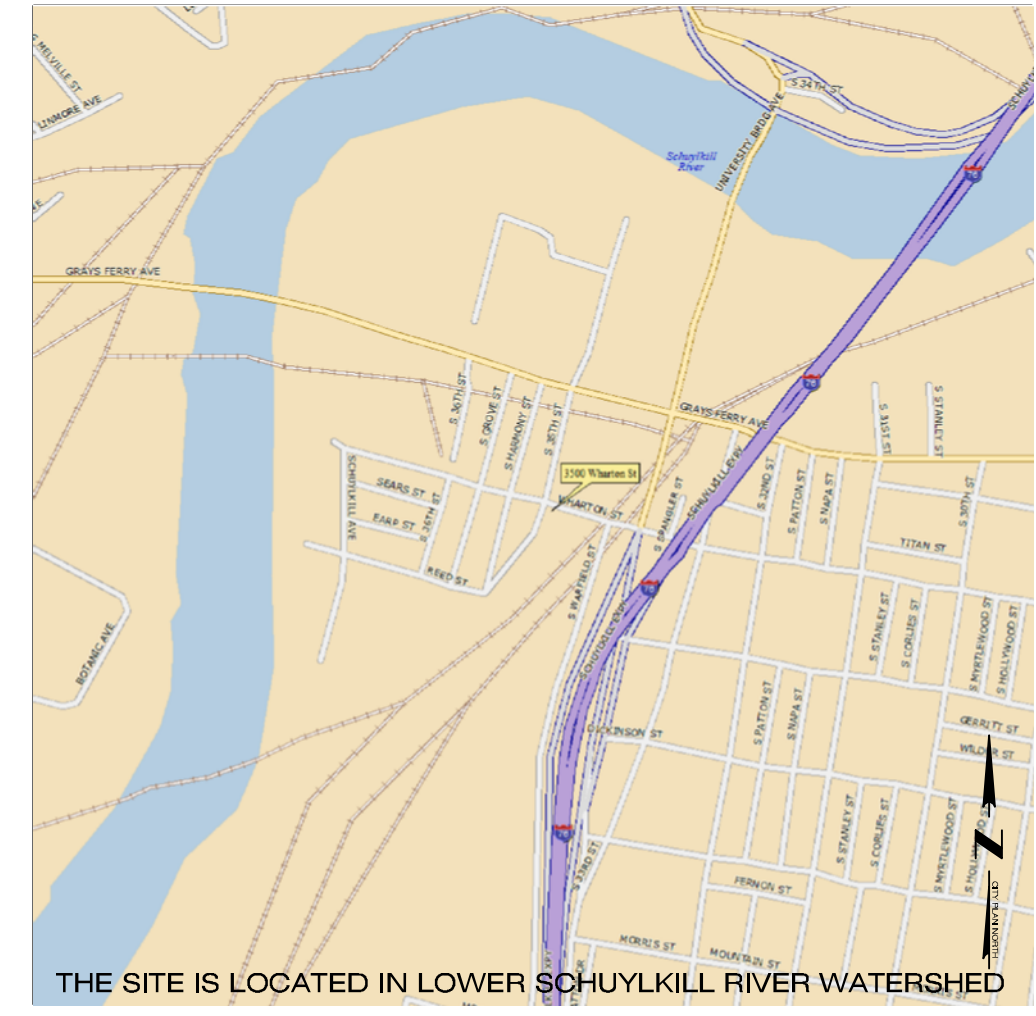
SOURCE OF TITLE

3500-08 WHARTON STREET

Deed from SMSC INC. to Constellar Corp., dated May 16, 2016 and being recorded in the City of Philadelphia on May 18, 2016 as document #53060037.

REFERENCE PLAN & DOCUMENTS

- City Plan #18-S, Flat Plan P-47-094.



THE SITE IS LOCATED IN LOWER SCHUYLKILL RIVER WATERSHED

LOCATION MAP SCALE 1"=500'

UTILITY OWNERS

DATE CONTACTED: MARCH 12, 2020

SERIAL NUMBER: 20200720411

COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@cable.comcast.com

COMPANY: USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
PHILADELPHIA, PA 19406
CONTACT: GAVIN HEWITT
EMAIL: gavinhe Witt@usicinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: MAUREEN WANGARI
EMAIL: maureen.wangari@phila.gov

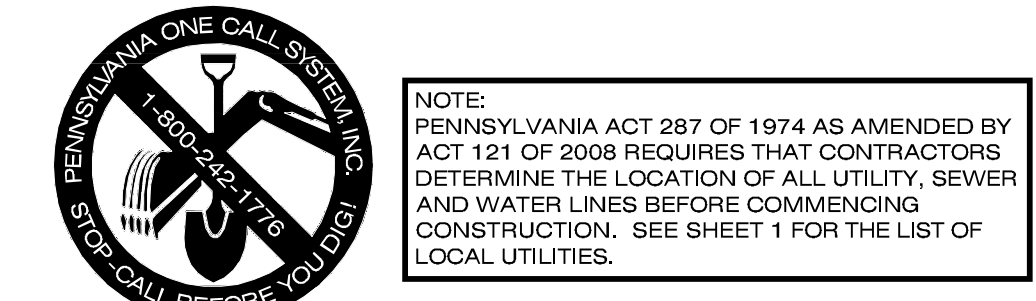
COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOCHANSKI

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTVYDAS
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COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 180 SHEREE BLVD, STE 2100 ROOM N/A
EXTON, PA 19341
CONTACT: KELLY BLOUNT
EMAIL: kelley.b.blount@verizon.com

OWNER OF RECORD

3500-08 WHARTON STREET
CONSTELLAR CORP
426 S. 44TH STREET
PHILADELPHIA, PA, 19104



REVISIONS		
01	08/10/2020	PWD Review Comments #1
02	09/15/2020	PWD Review Comments #2

3500-08 WHARTON STREET
Philadelphia, PA 19146
36th Ward - OPA#882922100;#882922100;
OPA#36222800

prepared for:
Mike Stanton
The How Group
720 Fayette Street, Suite 400
Conshohocken, PA, 19428
em: mstanton@howgroup.com

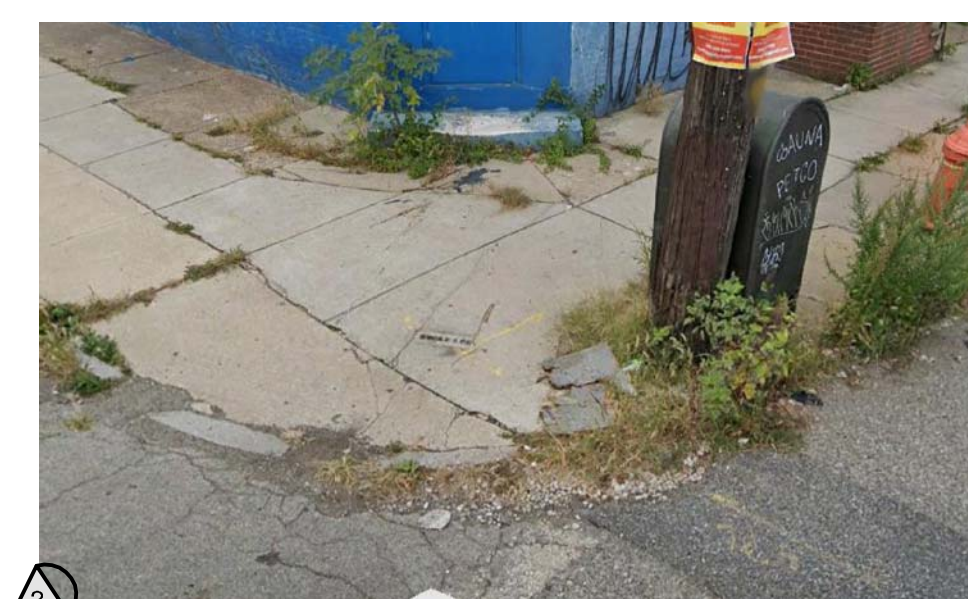
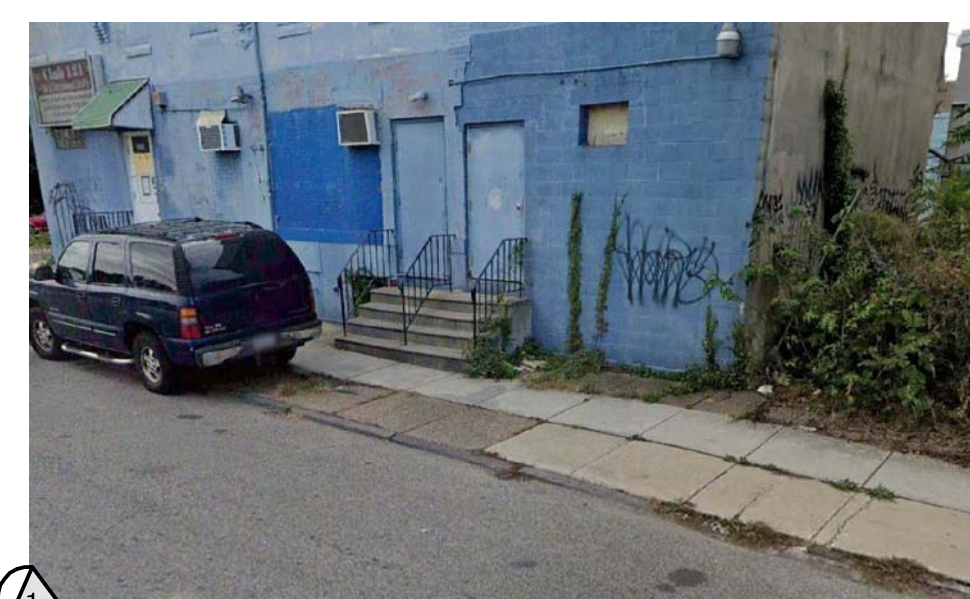
DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: July 22, 2020

Scale: 1" = 10'-0"

Plan Set Title: ERSA - FY21-WHAR-6108-01
Sheet Title: EXISTING FEATURES PLAN
Sheet: 1 of 4



APPROVED FOR ZONING ONLY
08/08/20

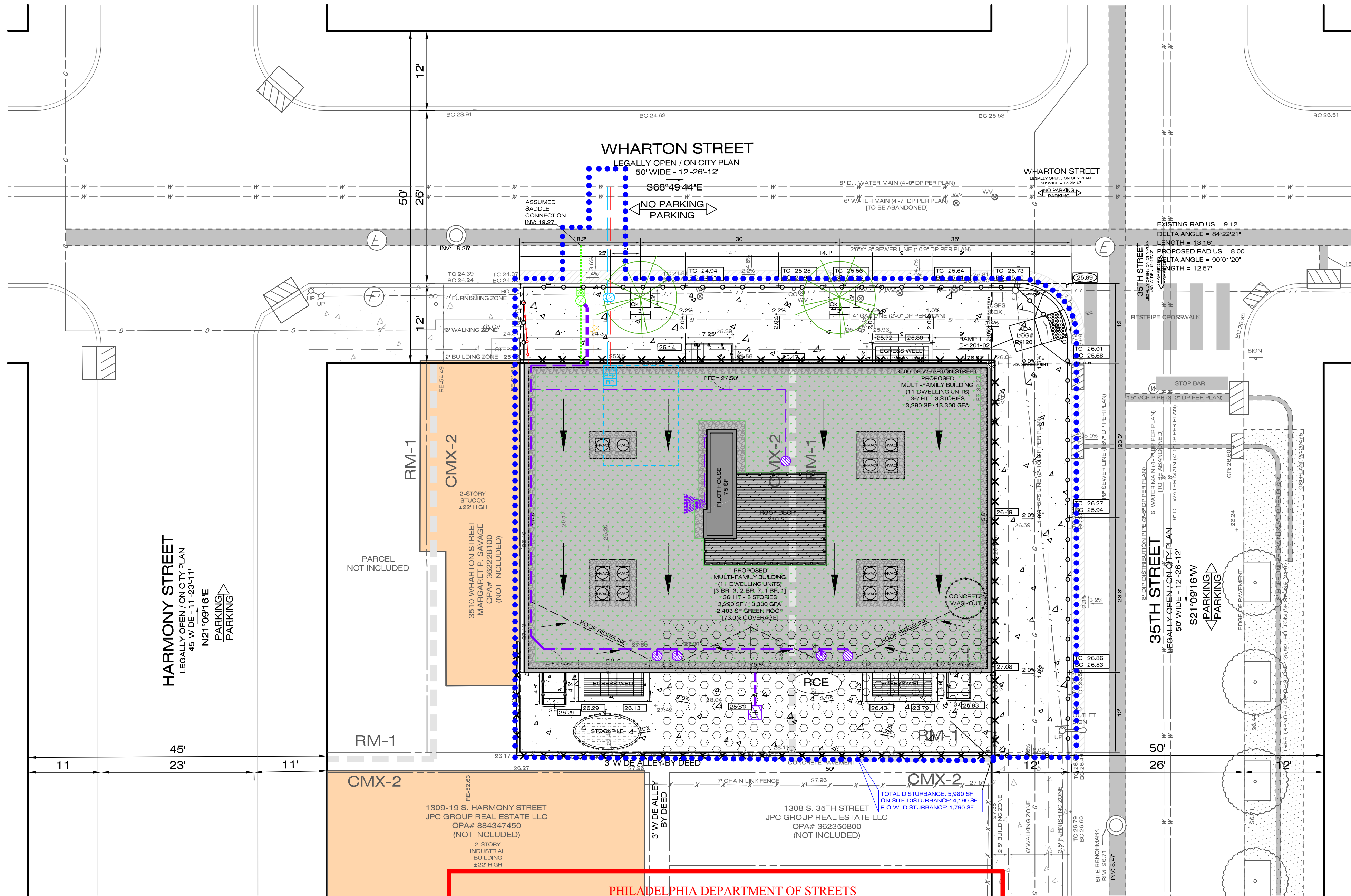
WHEN YOUR PLANS CONTAIN ANY DIMENSION, CROSS-SECTION OR OTHER INFORMATION, THESE APPROVED DEPARTMENT OF LICENSING & INSPECTIONS

Applied Electronically by L&I User:

15 - 2020 - 410 PM | PLOTTED: Tuesday, 10/15/2020 4:10 PM | FILE: P:\A\3500-08 Wharton Street.dwg | User: J. Plante | PLOT: ERS-02 - Erosion Control Plan | LAYOUT: ERS-02 - Erosion Control Plan

APPROVED
FOR ZONING ONLY
08/08/20
WHEN YOUR PLANS CONTAIN ANY DESIGN, CONSTRUCTION OR MATERIALS, THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DEPARTMENT OF LICENSING & PROFESSIONS.

Applied Electronically by L&I User:



PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
>>> APPROVAL FOR ZONING ONLY <<<
NO BUILDING PERMIT IS TO BE ISSUED WITHOUT STAMPED PLANS BY THE DEPARTMENT OF STREETS FOR FINAL APPROVAL OF SITE PLAN
THE APPLICANT IS REQUIRED TO SECURE THE APPROVAL OF THE ZONING AUTHORITIES, AND SUBMIT PLANS FOR ADDITIONAL REVIEW BY THE STREETS DEPARTMENT

ENCROACHMENT ORDINANCE REQUIRED FOR: _____
COMMITTEE OF HIGHWAY SUPERVISORS (APPLICATION NO. _____)
DETAILED REVIEW FOR MINOR SITE PLAN _____
COORDINATED REVIEW FOR MAJOR SITE PLAN: _____

CITY PLAN ACTION _____
OTHER _____

APPLIED ELECTRONICALLY BY STREETS STAFF:
Titus Joy
ON: October 18, 2020
FOR CHIEF HIGHWAY ENGINEER

Complete Streets Zone Requirements:

Harmony Street: (Local)	Pedestrian - 5' min Furnishing - 3.5' min
Wharton Street: (City Neighborhood)	Pedestrian - 6' min (Or Half Sidewalk) Furnishing - 4' min
35th Street: (Local)	Pedestrian - 5' min Furnishing - 3.5' min

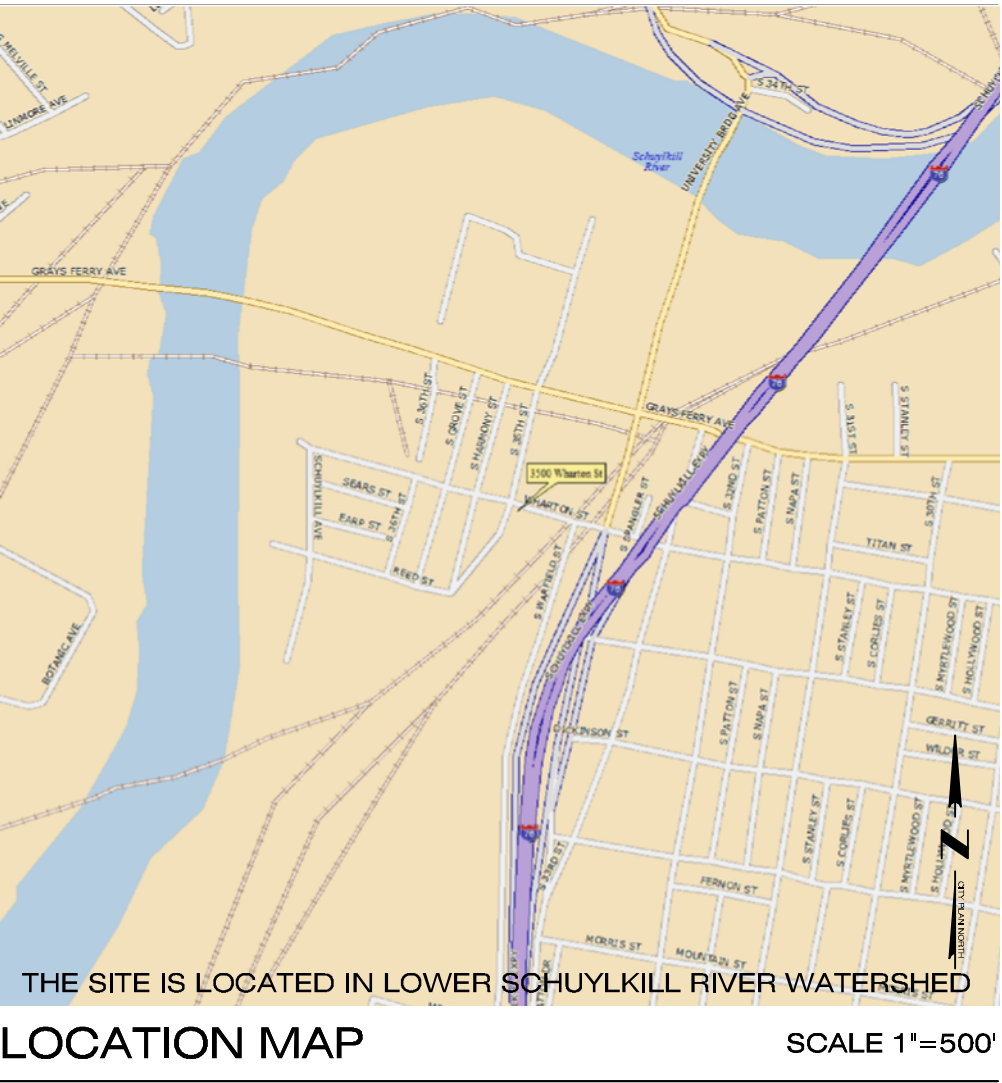
QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	NOTES
STREET LEVEL:				
DECIDUOUS TREES				
2	Ck	Cladrastis kentukea	Yellowwood	2 1/2 - 3' Cal. B&B

LEGEND

- EXISTING FEATURES**
- TELECOMMUNICATION MANHOLE
 - WATER MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - CITY INLET
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - SIGN
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 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND ELECTRIC LINE
 - OVERHEAD AERIAL LINE
 - FENCE LINE
 - EXISTING BUILDINGS
 - ZONING BOUNDARY LINE
- PROPOSED FEATURES**
- STORM SEWER MANHOLE
 - OBSERVATION WELL
 - AREA INLET
 - STORM SEWER / SEGMENT #
 - TRAFFIC SIGN
 - TREATED DRAINAGE AREA
 - FLOW DIRECTION
 - ROOF DRAIN
 - DOMESTIC WATER
 - FIRE SUPPRESSION
 - WATER VALVE (TYP)
 - GAS LINE
 - GAS VALVE (TYP)
 - ELECTRIC LINE (AERIAL)
 - SANITARY SEWER
 - TRAP/VENT (TYP)
 - PROPOSED BUILDING
 - CONCRETE (IMPERVIOUS)
 - ROOF DECK (IMPERVIOUS)
 - GRASS (PERVIOUS)
 - GREEN ROOF (PERVIOUS)
 - GREEN ROOF BORDER (PERVIOUS)
 - TREE
 - RAILING
 - MILL AREA
- EROSION CONTROL FEATURES**
- LIMIT OF DISTURBANCE
 - 12" HT SILT SOXX
 - INLET FILTER
 - ROCK CONSTRUCTION ENTRANCE
 - CONCRETE WASHOUT STATION
 - TEMPORARY CONSTRUCTION FENCE

NOTES:

- Work to be done in accordance with standard specifications, approved drawings, and regulations of the Department of Streets, Philadelphia Water Department, Philadelphia Parks & Recreation Department, and special provisions of the proposal.
- Pursuant to the requirements of Pennsylvania Act 287 (1974), and as amended, the Contractor shall contact the Pennsylvania One Call System at 1-800-242-1776, at least 3 working days prior to excavation. Pennsylvania One Call System# 20200720411-000 and Ward #36.
- Utilities shown are taken from public record. The Contractor must verify the exact location and depth.
- Horizontal and vertical control, line and grade stakes for curb, paving, etc. will be furnished by the 2nd Survey District of the City of Philadelphia based on Item #4-1040. Note: This item, Engineering Services, is a pre-determined amount to be determined by the Surveyor & Regulator and to be included in the contractor's bid.
- Permits for bollards, curb, & sidewalk paving will be furnished by the 2nd Highway District of the City of Philadelphia.
- The City of Philadelphia shall provide inspection services for paving and related work, to be paid under Item # 4-1 041 at a cost of \$345 per day. The Contractor shall contact the Construction Unit of the Division of Surveys, Design & Construction at (215) 686-5539, a minimum of 2 weeks prior to the start of work. This item, Inspection Services shall be included in the contractor's bid.
- Street light pole locations are not final. The Streets Department Street Lighting Engineer will determine the exact locations of the street light poles during construction. Contact the Street Lighting Engineer at (215) 686-5517 to coordinate street light pole locations.
- Street trees must be permitted by the Philadelphia Department of Parks & Recreation. Contact the Street Tree Management Division at (215) 686-4363.
- For projects on State Routes, notice is hereby given that the receipt of a permit from either the Philadelphia Streets Department, or the Pennsylvania Department of Transportation (PennDOT) does not imply a permit from the other. All permits must be obtained prior to the start of construction.
- Refer to MEP plans for final size and location of utilities.
- All existing street lights on Wharton Street and 35th Street fronting project site to be upgraded to City Standard GE Evolve LED Luminaire, including new brackets and wiring.
- All existing traffic control and parking signs/poles to be inventoried and replaced by contractor if damaged during construction.
- Traffic paint and signage to be in conformance with PADOT pub 408 & MUTCD.
- All construction shall be in accordance with Philadelphia's Water Department, Streets Department, PennDOT Publication 408, Publication 72 & the Philadelphia plumbing code.
- An industrial waste permit will be required should pumping to city owned infrastructure become necessary during construction.
- Provide inlet protection for all PWD owned inlets within one block of the project site.
- PWD is not responsible for any clearing or repairs needed on city owned infrastructure due to failure of any erosion and sediment control practices. The general contractor hired by Esperanza will be responsible for any such work.
- Inverts specified for proposed inlets & manholes are pipe inverts. All inlets and manholes shall provide a sump in accordance with the detail drawings.
- Recycled bituminous and p.c. concrete may be used for base & aggregate material in accordance with PA DOT Pub. 408.



UTILITY OWNERS

DATE CONTACTED: MARCH 12, 2020

SERIAL NUMBER: 20200720411

COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@cable.comcast.com

COMPANY: USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
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COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

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EXTON, PA 19341
CONTACT: KELLY BLOUNT
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OWNER OF RECORD

3500-08 WHARTON STREET
CONTELLAR CORP
426 S. 44TH STREET
PHILADELPHIA, PA, 19104

NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS			
01	08/10/2020	PWD Review Comments #1	
02	09/15/2020	PWD Review Comments #2	

3500-08 WHARTON STREET
Philadelphia, PA 19146
36th Ward - OPA#882922100;#882922100;
OPA#36222800

prepared for:
Mike Stanton
The How Group
720 Fayette Street, Suite 400
Conshohocken, PA, 19428
em: mstanton@howgroup.com

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

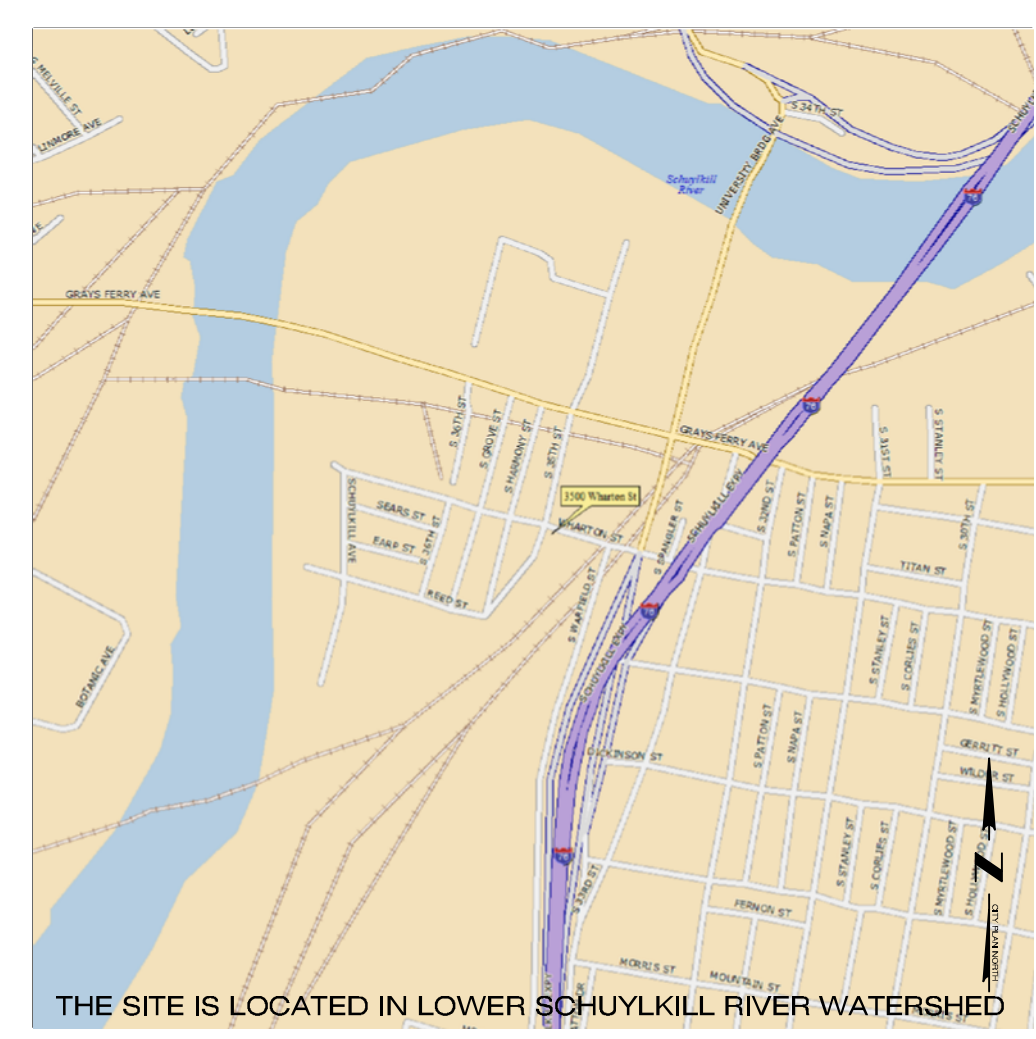
DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: July 22, 2020

Scale: 1" = 10'-0"

Plan Set Title:
ERSA - FY21-WHAR-6108-01
Sheet Title:
EROSION CONTROL PLAN
Sheet: 2 of 4



The diagram illustrates a green roof system. At the top, a horizontal arrow points left, labeled "DOWNSPOUT". Below this, a large rectangular area is labeled "PILOT HOUSE". To the left of the pilot house, a vertical line is labeled "ENERGY DISSIPATOR". Below the pilot house, the roof structure is shown with three downward-pointing arrows indicating water flow. The area above the roof is labeled "ROOF DECK" and "SLOPES 1.0% TOWARD GREEN ROOF". The bottom layer is labeled "GREEN ROOF" and is depicted with a cross-hatched pattern.

Technical drawing showing a cross-section detail of an overflow scupper box. The drawing illustrates the assembly components and their installation on a roof structure.

Labels and components shown:

- ROOF BASE FLASHING ON PARAPET COVERING LAPPED OVER SCUPPER FLANGE
- EXTEND ROOF MEMBRANE THRU OPENING AND SEAL TO WEATHER BARRIER
- CANT STRIP
- WEATHER BARRIER, THERMAL INSULATION IN CAVITY (NOT SHOWN FOR CLARITY)
- SEAL WEATHER BARRIER TO SCUPPER FLANGE, 4 SIDES
- HEM FACE FLANGE AND SEAL
- OPTIONAL CONDUCTOR HEAD (BEYOND)
- SHEET METAL FLANGE WELDED TO SCUPPER, 4 SIDES
- OVERFLOW SCUPPER
- Dimension: $\leq 1/2"$ MAX.

Total vegetation mix shall be 60% Sedum and 40% other.

SEDUM CUTTINGS
ALL SPECIES TO BE MIXED AT A RATE OF 3-4 lbs./100 square feet

SEED/MULCH MIX
ALL SEED SPECIES TO BE MIXED WITH MULCH and spread at a rate of 2 LBS./100 square feet

NOTE:
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3500-08 WHARTON STREET
Philadelphia, PA 19146
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OPA#3622280C^

prepared for:
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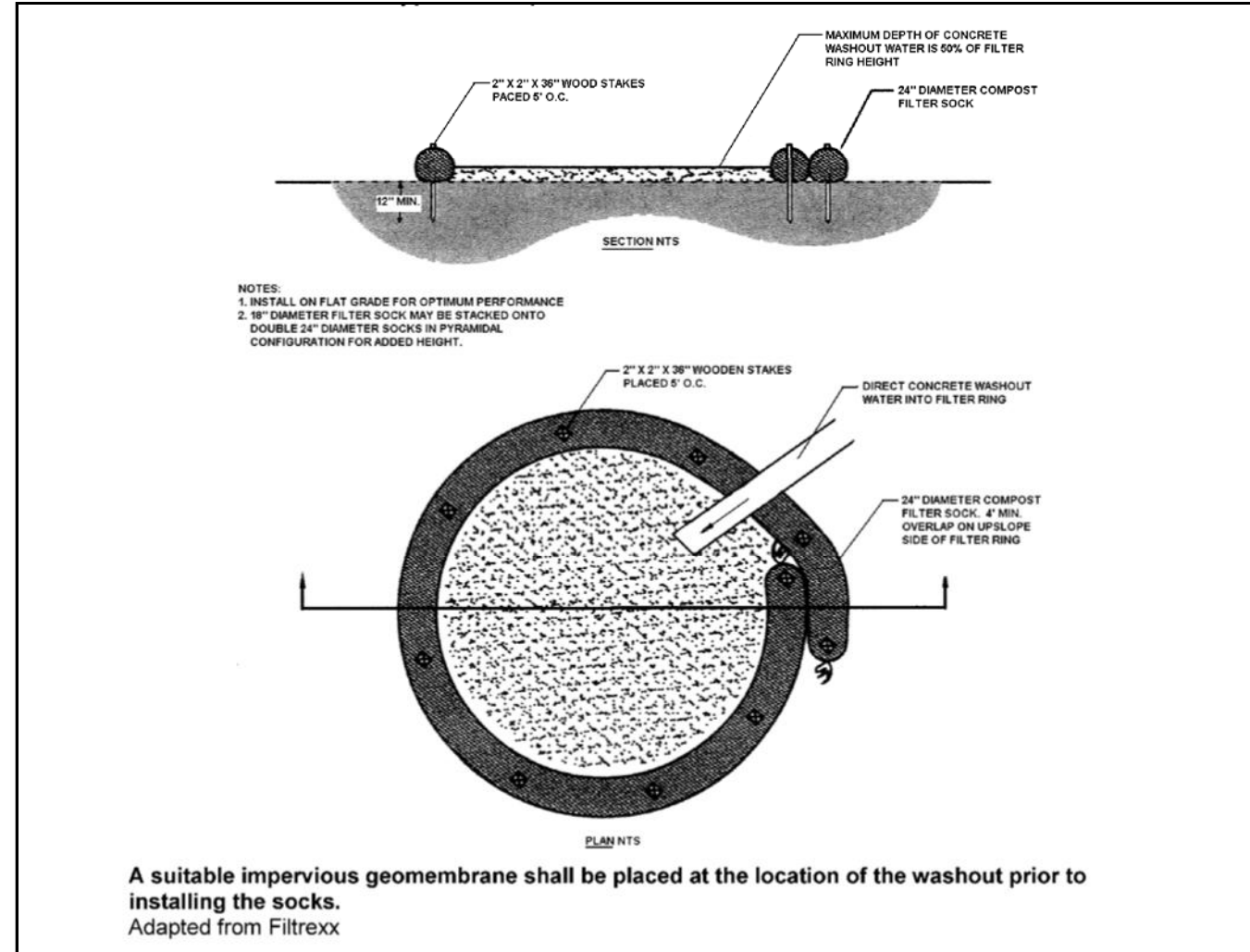
Plan Date: July 22, 2020

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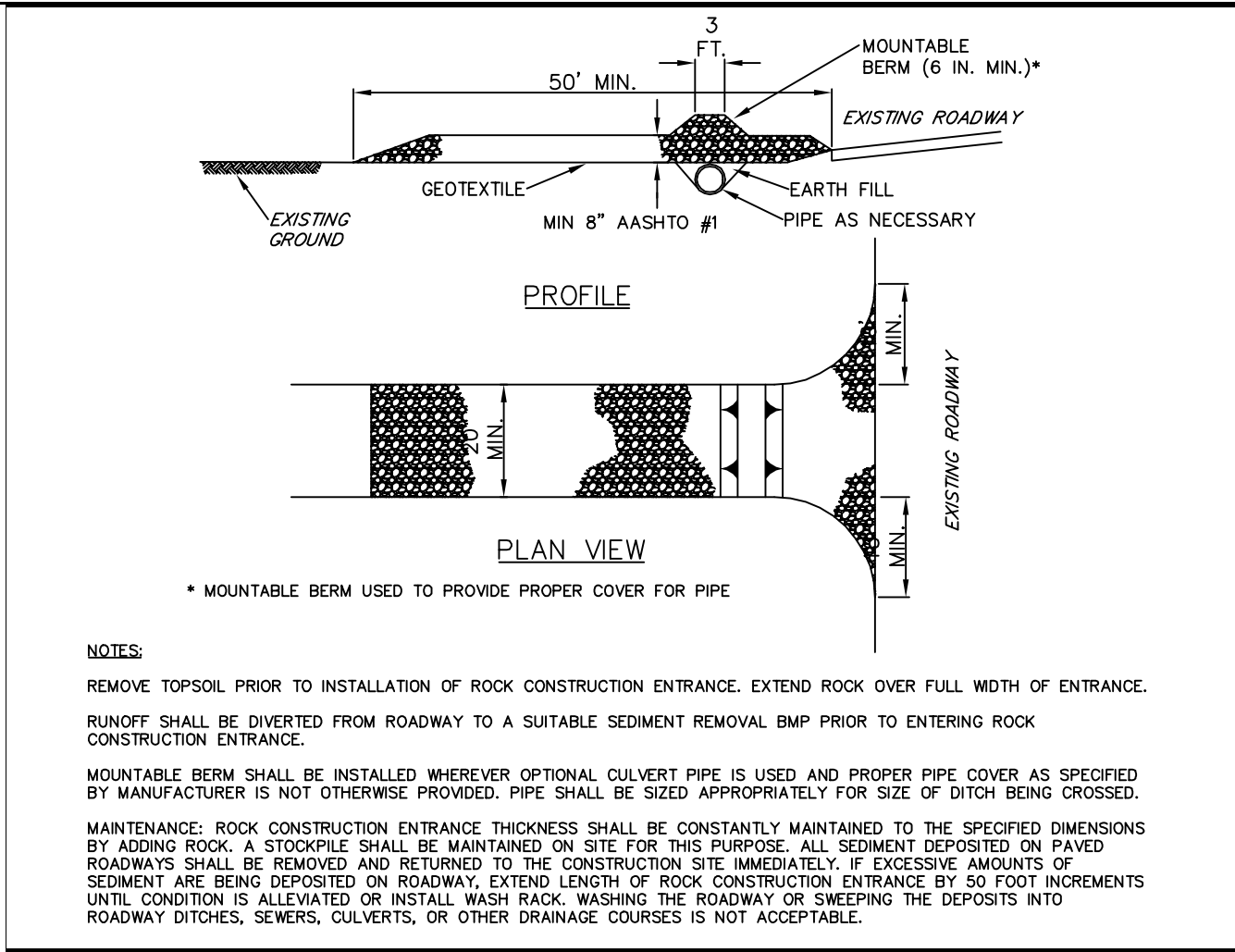


A horizontal graphic scale bar with alternating black and white segments. Above the bar, the labels 10', 5', 0', and 10' are positioned at the start, first division, center, and end respectively. The bar is divided into four equal segments, each representing 5 feet.

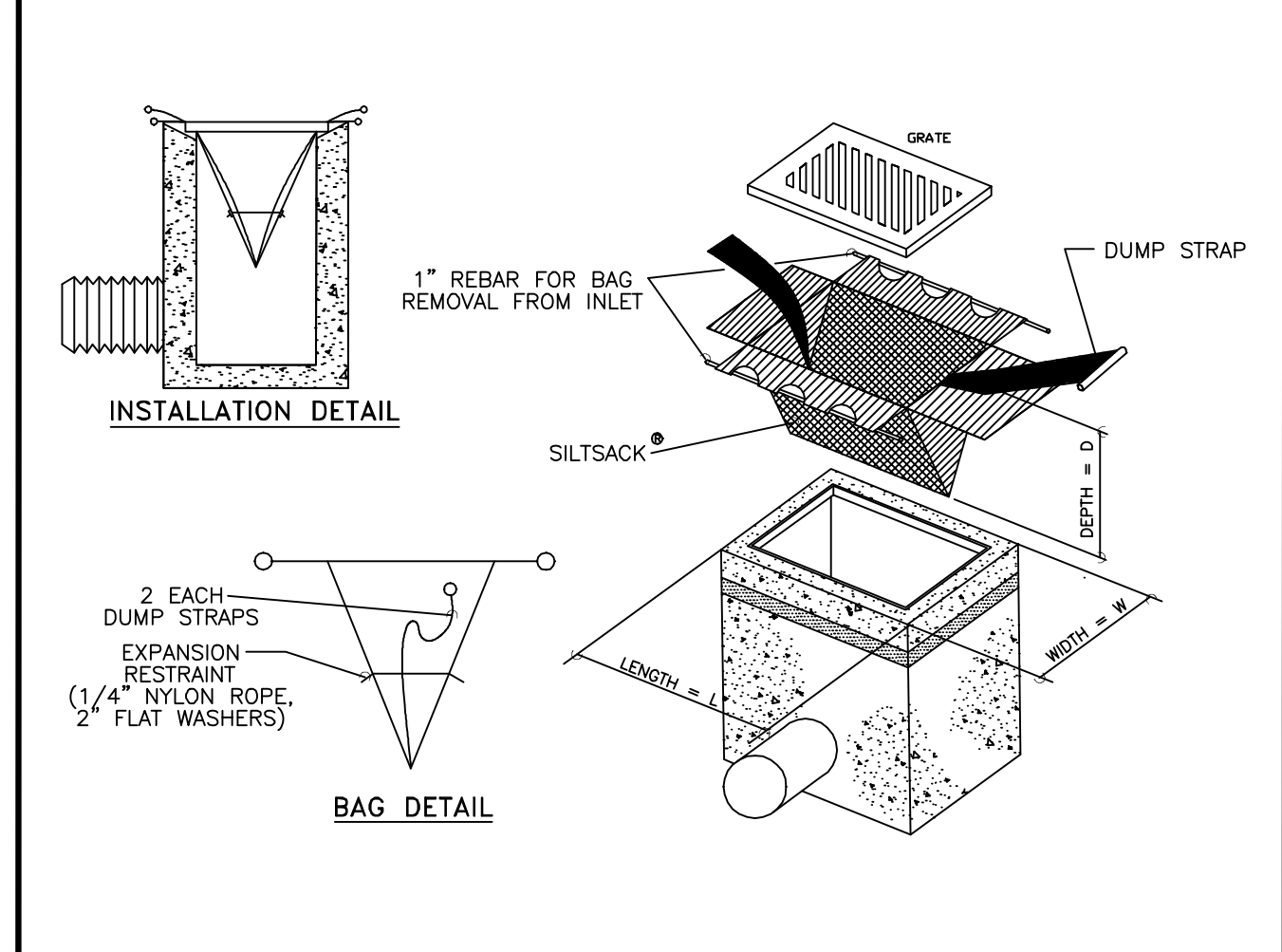
Plan Set Title:
ERSA - FY21-WHAR-6108-01
Sheet Title:
GREEN ROOF PLAN
Sheet: 3 of 4



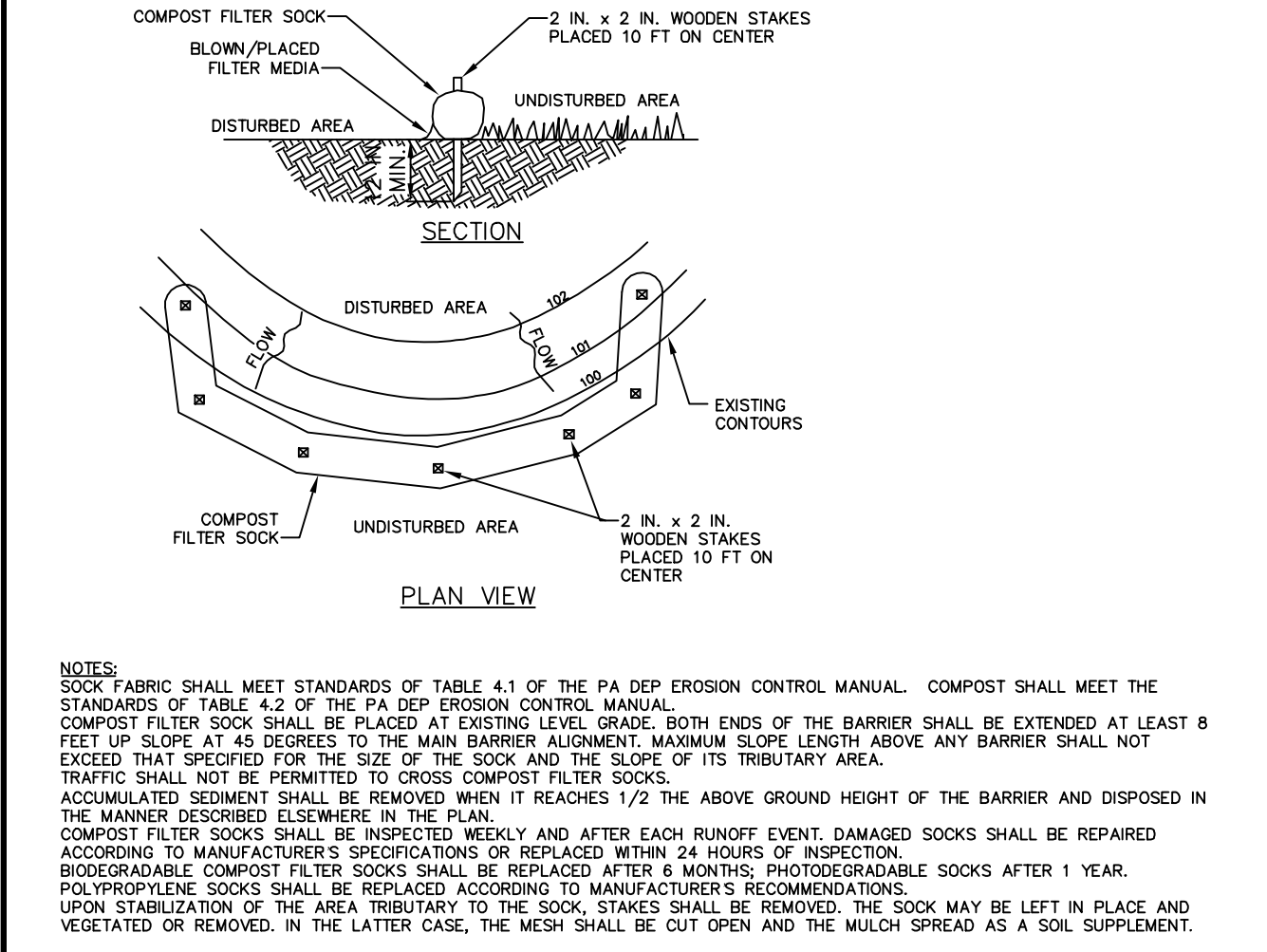
CONCRETE WASHOUT DETAIL



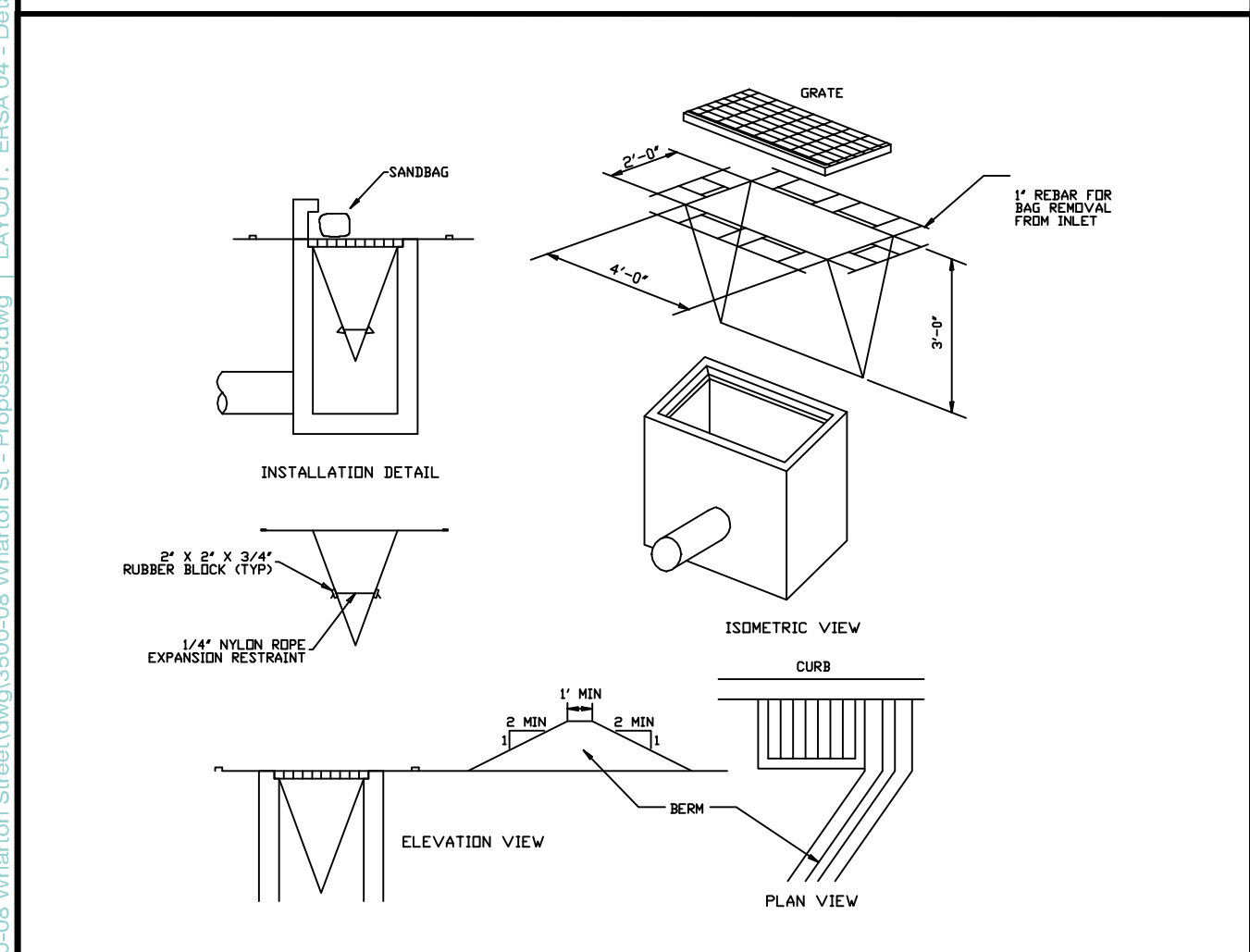
ROCK CONSTRUCTION ENTRANCE



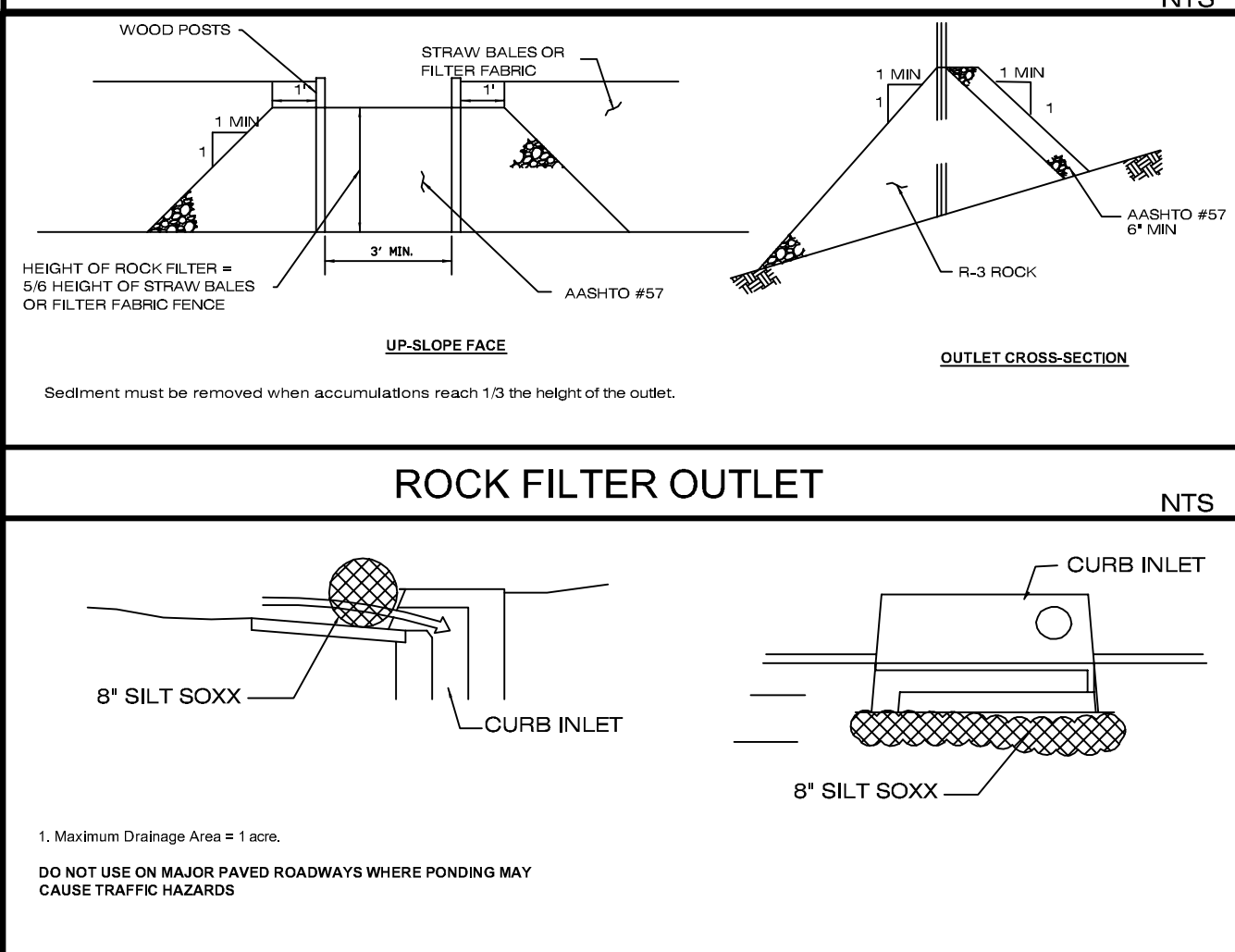
DETAIL OF M INLET SEDIMENT CONTROL DEVICE



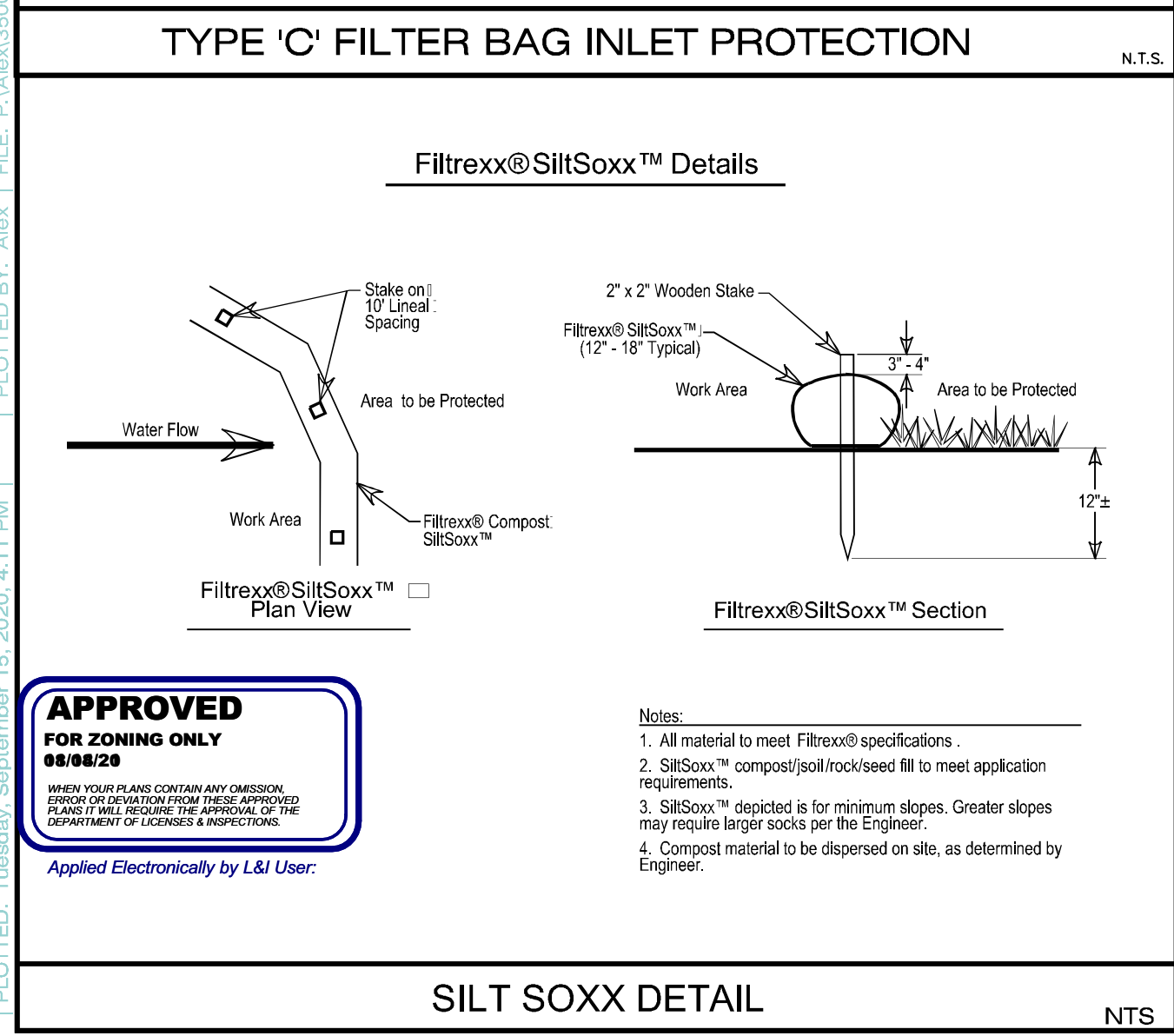
COMPOST FILTER SOCK DETAIL



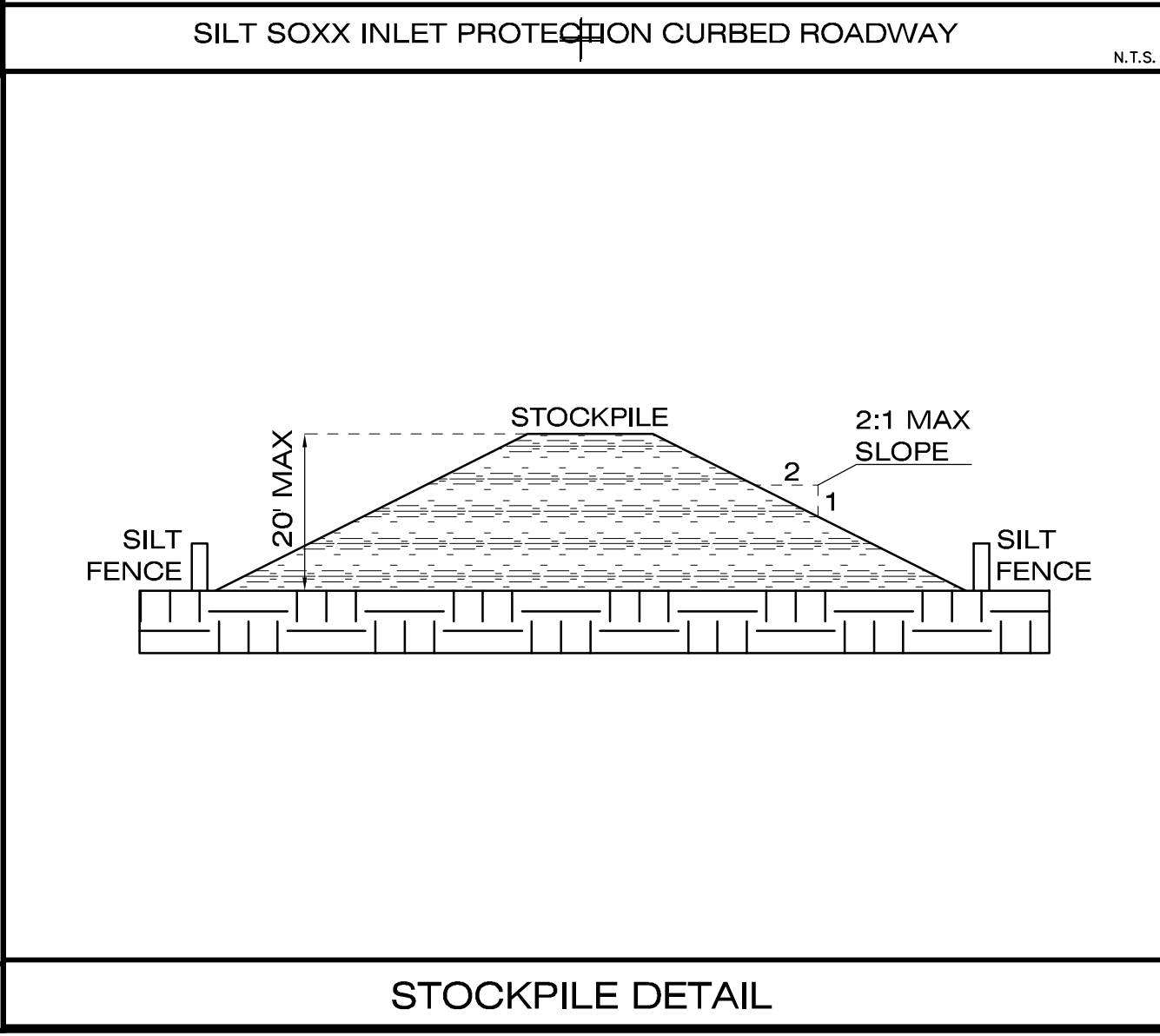
TYPE 'C' FILTER BAG INLET PROTECTION



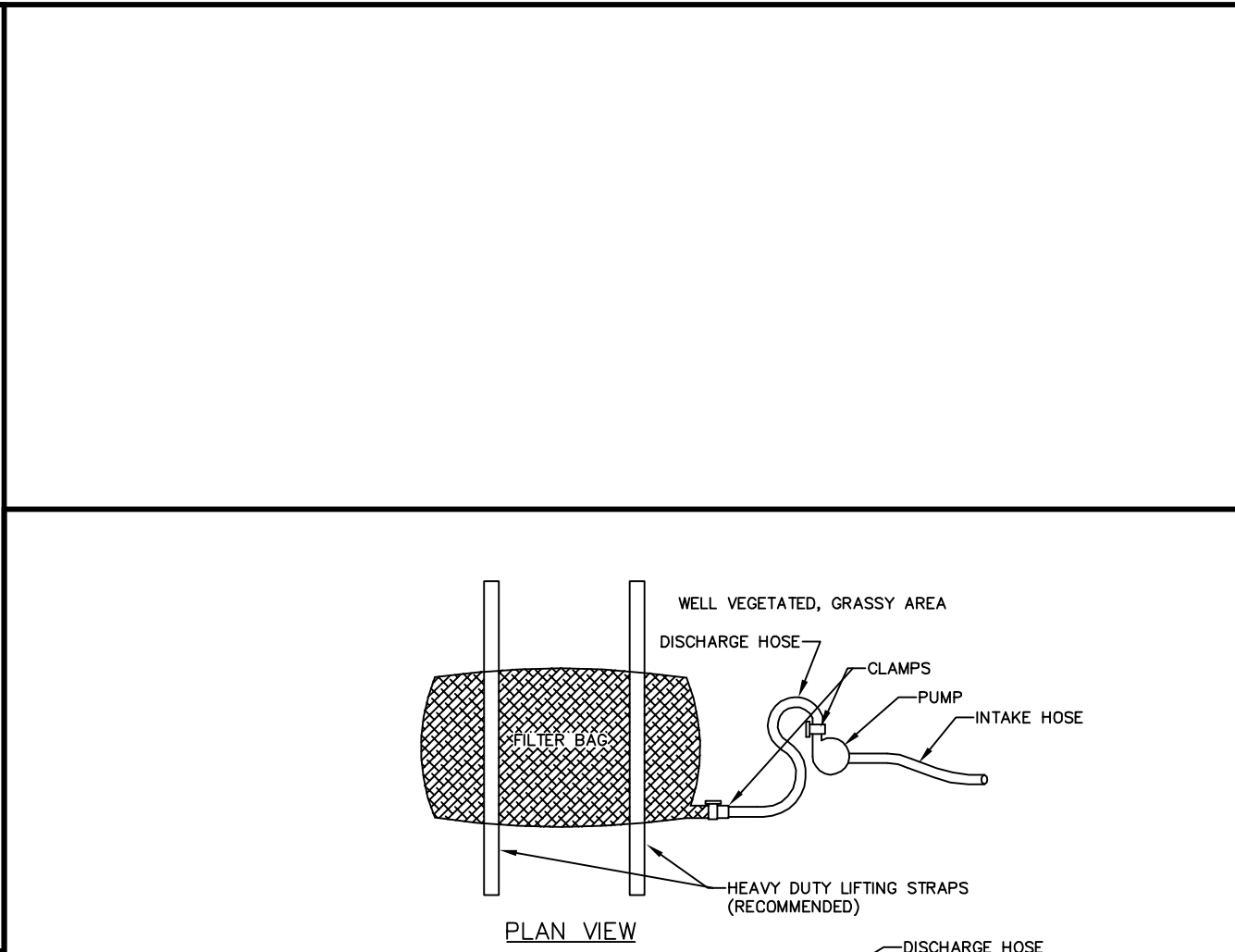
ROCK FILTER OUTLET



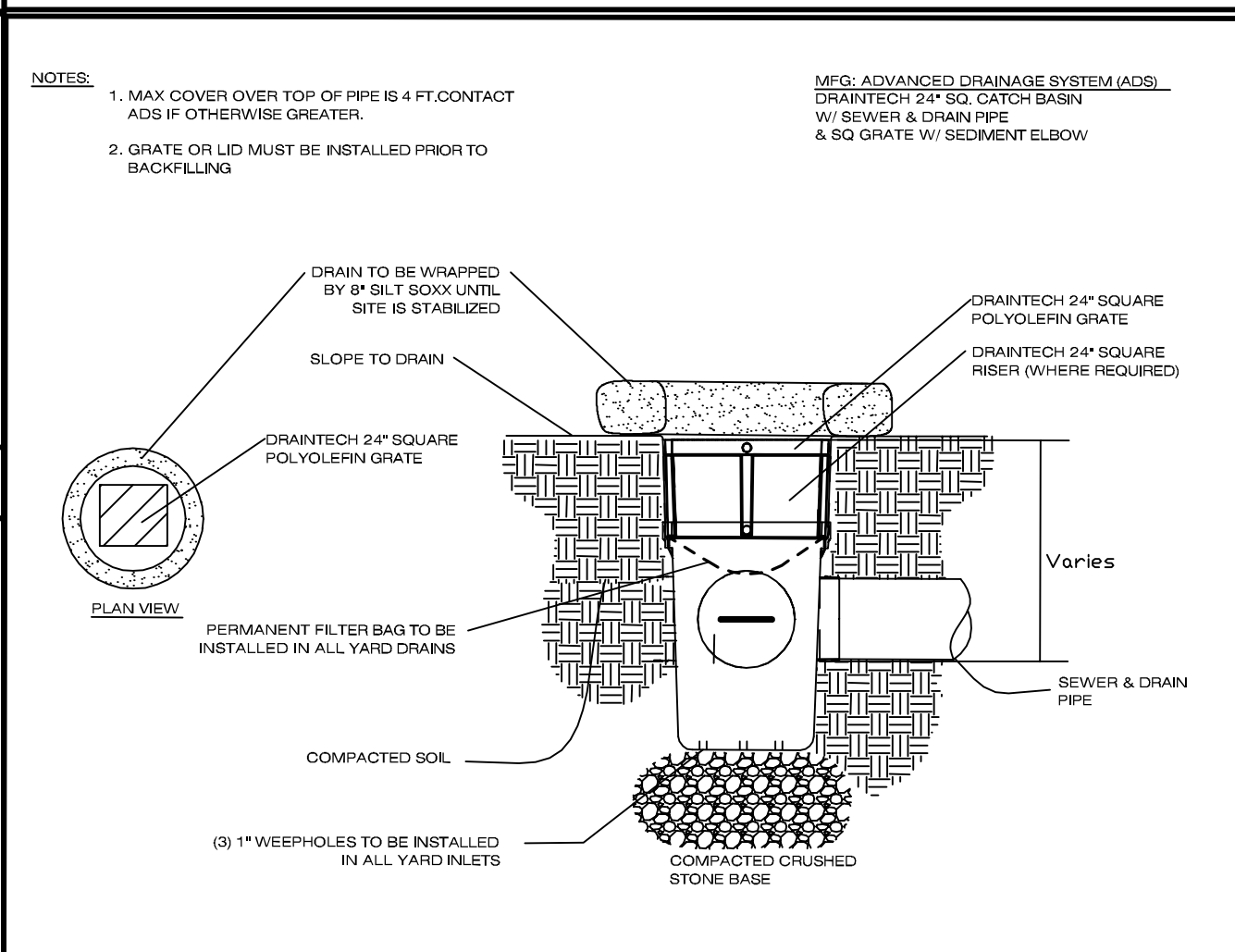
SILT SOXX DETAIL



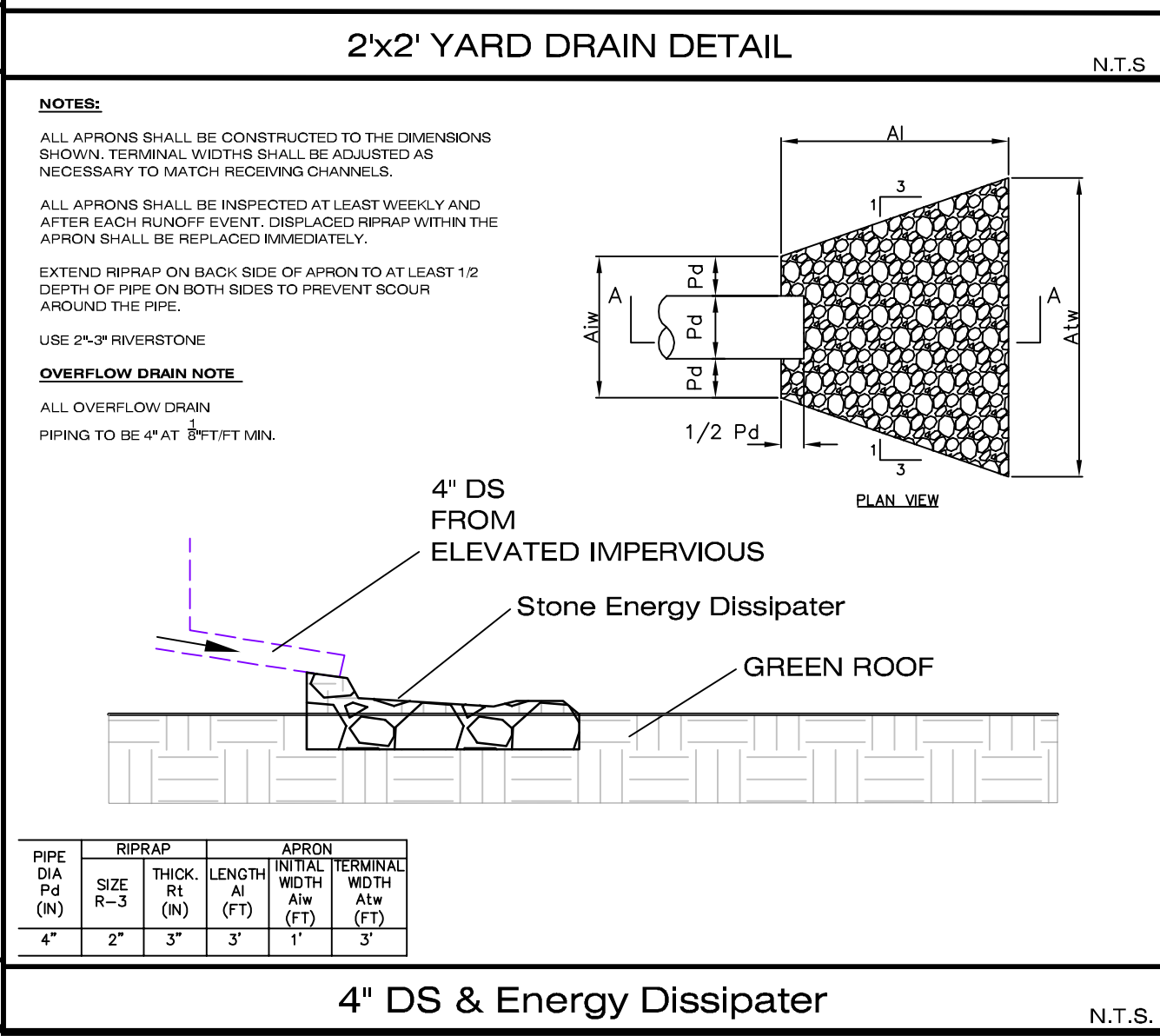
STOCKPILE DETAIL



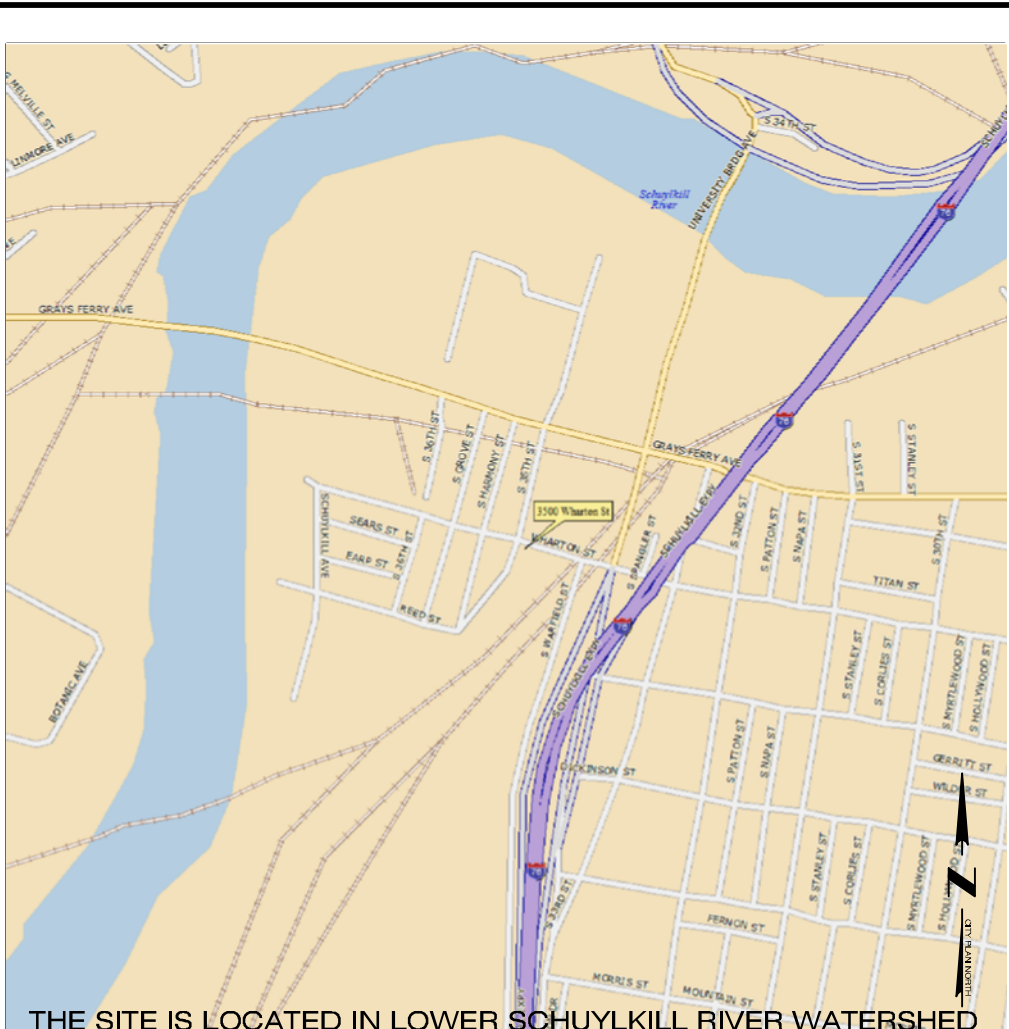
PUMPED WATER FILTER BAG DETAIL



2'x2' YARD DRAIN DETAIL



4" DS & Energy Dissipater



LOCATION MAP

UTILITY OWNERS

SERIAL NUMBER: 20200720411

COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
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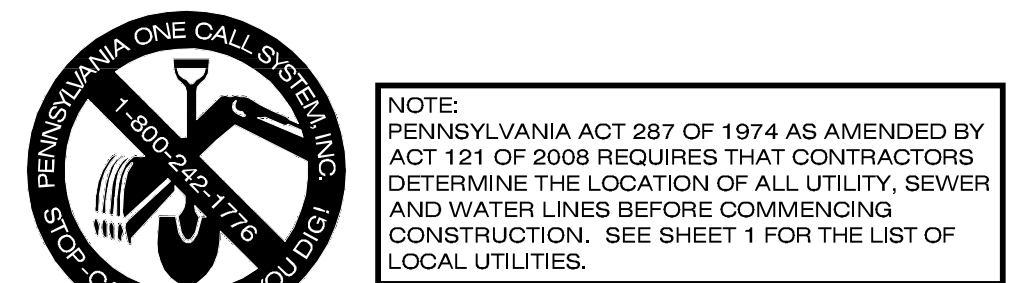
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Ruggiero Plante Land Design

5900 Ridge Avenue Philadelphia, PA 19128

phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: July 22, 2020

Scale: 1" = 10'-0"

Plan Set Title: ERS - FY21-WHAR-6108-01

Sheet Title: DETAILS

Sheet: 4 of 4

Friday, October 2nd, 2020



CONDITIONAL POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN APPROVAL

***Not valid unless signed by Owner and PWD. See page 3.**

Mike Stanton
Constellar Corp
426 S 44th Street
Philadelphia, Pennsylvania 19104

RE: **3500-08 Wharton Street**
PWD Tracking #: FY21-WHAR-6108-01

Project Description: The 3500-08 Wharton Street project proposes the construction of a three-story mixed-use building at 4124-30 HAVERFORD AVE, Philadelphia, PA 19146. Stormwater is proposed to be managed by a green roof. The green roof is designed to overflow into the existing sewer in Wharton Street. The site is located in a combined sewer area of the Lower Schuylkill River Watershed, Flood Management District A. The total earth disturbance proposed is approximately 5,980 square feet.

Philadelphia Water Department (PWD) Stormwater Plan Review has finished reviewing the development site plan set associated with the Constellar Corp. project, received on September 16th, 2020. A table of documents approved as part of this submittal follows:

Item	Description	Dated
Sheet 2 of 4	Erosion Control Plan	09/15/2020
Sheet 3 of 4	Green Roof Plan	09/15/2020
	Construction Certification Package	
	SMP Maintenance Guide	

Based upon a technical review of the Post-Construction Stormwater Management Plan (PCSM) submission, the project cannot be technically approved at this time. Some areas of the design require additional information to be submitted. Provided that the applicant acknowledges the conditions set forth in this letter via signature, PWD will be able to support a Conditional Approval for the project.

PWD has determined that this project meets the green roof conditions as specified in §14-602.7 (b) and (c).

The conditions of approval noted below must be met within [1] month of the issuance of this letter.

- 1. The Deed of Consolidation must be created and recorded in the City of Philadelphia. Notify PWD when consolidation is complete.**

APPROVED

FOR ZONING ONLY
08/08/20

WHEN YOUR PLANS CONTAIN ANY OMISSION,
ERROR OR DEVIATION FROM THESE APPROVED
PLANS IT WILL REQUIRE THE APPROVAL OF THE
DEPARTMENT OF LICENSES & INSPECTIONS.

Philadelphia Water Department | 1101 Market Street | Philadelphia, PA 19107-2994

An Equal Opportunity Employer

Applied Electronically by L&I User:

2. An Operations and Maintenance (O&M) Agreement will be issued, which must be signed and returned along with any applicable recording fees.

By signing below, Constellar Corp. accepts the financial and timing risks associated with the incomplete technical review.

This correspondence applies to the PWD Stormwater Regulations only. See the [Building Permit Sign-off Checklist](#) for more information on the requirements to obtain PWD's endorsement on the Building Permit Application. If a Building Permit is not required for this project, then the Checklist should be treated as a series of pre-requisite approvals that must be obtained from PWD before construction may commence.

New connections to PWD water and sewer infrastructure, or alterations to existing connections, must be permitted by PWD's Water Transport Records. Contact Water Transport Records at 215-685-6270 with questions regarding connection permits. Backflow prevention and cross connection control measures are required as a condition of water service, for new and existing connections, with some exceptions. Information on these requirements can be obtained from PWD Industrial Waste & Backflow Compliance Unit at <http://www.phila.gov/water/ccs.html>. Plumbing Permits must be procured through the Department of Licenses and Inspections.

This Conditional Post-Construction Stormwater Management Plan Approval will expire two (2) years from the date of issuance unless a valid Building Permit is in place.

During construction, the selected contractor is expected to follow the PCSMP approved by PWD. No change or deviation from the approved PCSMP is permitted without prior approval from PWD. Upon issuance of this letter, PWD inspectors are notified. PWD must be notified at least three working days prior to the start of construction activities.

Upon completion of the project, Record Drawings must be provided to PWD.

The applicant is responsible for obtaining any required federal, state, and local permits outside of this review.

If Constellar Corp. agrees to the conditions above, return the executed, original letter (not a photocopy) to the PWD technical reviewer noted below.

If you have any questions, please contact PWD at the contact information provided below.

Regards,



Jo-Marie McNulty
Stormwater Plan Review
Phone: (215) 685-6387
Email: Jo-Marie.McNulty@phila.gov

Sara Anderson, CFM
Supervisor, Stormwater Plan Review
Phone: (215) 685-6387
Email: Sara.Anderson@phila.gov

Victoria Lenoci, LEED Green Associate
Manager, Private Development Services
Phone: (215) 685-6266
Email: Victoria.Lenoci@phila.gov

Approved and Agreed:

Constellar Corp.

By: _____

Title: _____

Date: _____

Philadelphia Water Department

By: _____

Title: _____

Date: _____

Enclosures: *PWD-stamped plan*

Cc: *B. Mohl
E. Ponert
E. Smith
S. Chiu
V. Brindisi
A. Trunk (Ruggiero Plante Land Design)
C. Ruggiero (Ruggiero Plante Land Design)*

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Zoning Permit

Permit Number ZP-2021-010026

LOCATION OF WORK 3500-04 WHARTON ST Parcel F, Philadelphia, PA 19146-3222 New Development	PERMIT FEE \$572.00	DATE ISSUED 12/26/2023
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH ROOF DECK ACCESSED BY A ROOF DECK ACCESS STRUCTURE; TO USE AS A MULTI-FAMILY (ELEVEN (11) DWELLINGS) HOUSEHOLD LIVING; SIZE AND LOCATIONS AS SHOWN IN THE APPLICATION/PLAN.

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-010026

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

3500-04 WHARTON ST Parcel F, Philadelphia, PA 19146-3222

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.