

Zoning Permit

Permit Number ZP-2024-000656

LOCATION OF WORK 11 SHURS LN, Philadelphia, PA 19127-2113 Entire	PERMIT FEE \$2,927.00	DATE ISSUED 6/5/2024
	ZBA CALENDAR MI-2024-000798	ZBA DECISION DATE 6/5/2024
	ZONING DISTRICTS ICMX	

PERMIT HOLDER Andrew Langsam	6060 Ridge Ave Philadelphia, Pennsylvania 19128
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF A FOUR (4) STORY STRUCTURE. SIZE AND LOCATION AS SHOWN IN THE APPLICATION/PLAN. AMENDMENT #1: AMEND TO REVISE THE ELECTRICAL AND TRASH ROOM LOCATIONS AND SHIFT BICYCLE PARKING TO ACCOMMODATE
--

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA) With proviso: "Revised plans, 3 pages, stamped by ZBA on June 5, 2024."



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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PECO'S REQUEST FOR A LARGER ELECTRICAL ROOM. CHANGES ALSO INCLUDE ADDING AN EGRESS PATH, REMOVING THE PREVIOUSLY APPROVED FRONT FAÇADE WALL PER THE HISTORIC COMMISSION, MODIFYING THE PARKING LAYOUT TO ADDRESS COLUMN LOCATIONS WHILE MAINTAINING THE TOTAL NUMBER OF SPACES AND INCREASING COMPACT SPACE: FROM 3 TO 9, AND INCREASING BICYCLE PARKING FROM 14 TO 30 AS PER AMENDED PLAN.



APPROVED USE(S)

Residential - Household Living - Multi-Family

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

11 SHURS LN Philadelphia, PA 19127-2113

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR USE AS A VACANT COMMERCIAL SPACE (USE REGISTRATION REQUIRED PRIOR TO OCCUPANCY) ON THE FIRST FLOOR AND MULTI-FAMILY (FORTY-TWO (42) DWELLING UNITS) HOUSEHOLD LIVING WITH THIRTY-SEVEN (37) INTERIOR OFF-STREET ACCESSORY PARKING SPACES

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



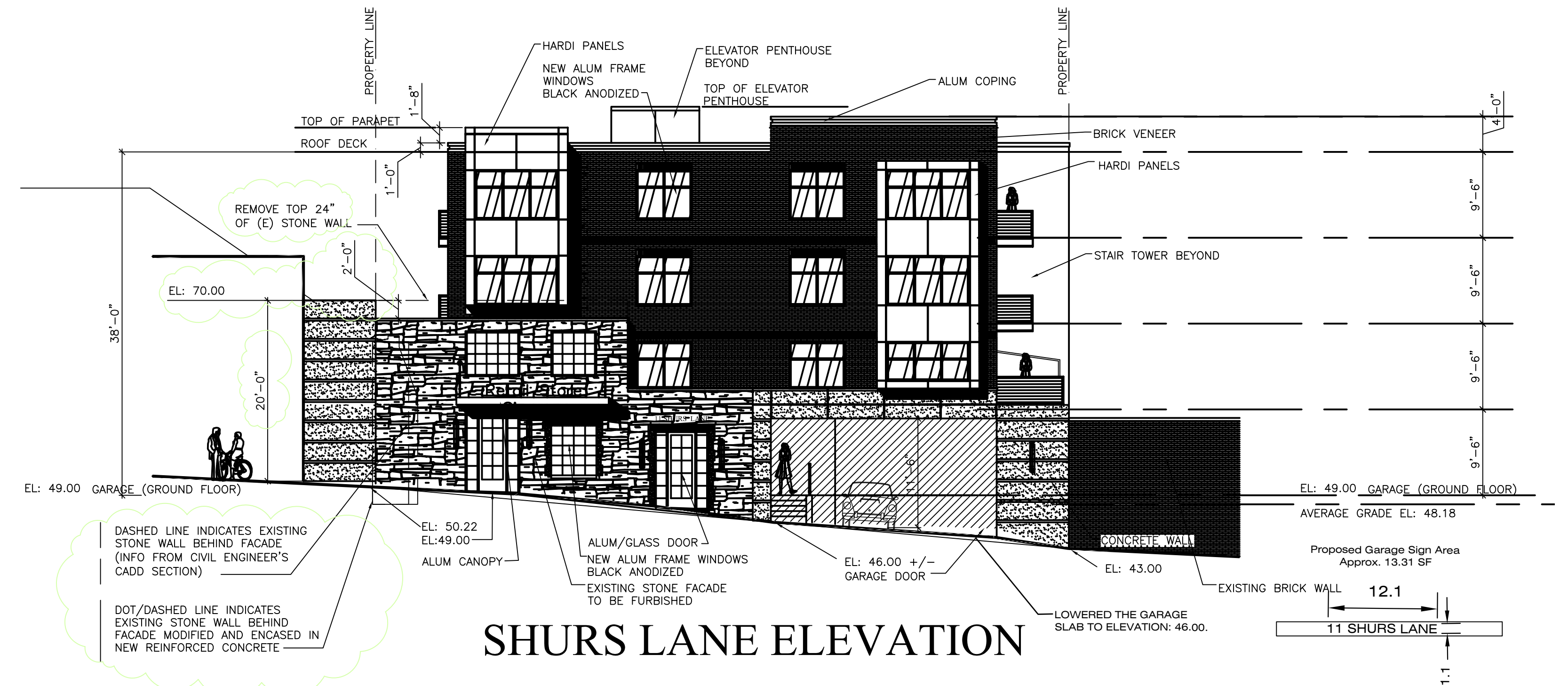
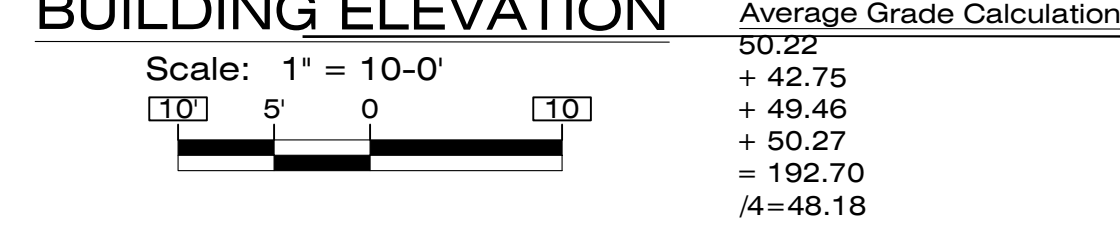
ZONING BOARD OF ADJUSTMENT

REVISED PROVISO PLANS FORM

PROPERTY ADDRESS: 11 Shurs Lane	
ZONING PERMIT NUMBER (ZP-): ZP-2024-00656	CALENDAR NUMBER (MI-): MI-2024-000798
OWNER/OWNER'S REPRESENTATIVE (APPELLANT, ATTORNEY, DESIGN PROFESSIONAL): RYAN N. BOLAND	
PROPOSED CHANGES: ALL CHANGES TO THE APPLICATION REVIEWED BY THE DEPARTMENT OF LICENSES AND INSPECTIONS MUST BE LISTED (USE ADDITIONAL SHEETS IF NECESSARY) AND HIGHLIGHTED ON REVISED PLAN: Lowered the garage slab to elevation: 46.00 to increase height in the garage to 11'-6" Added stair and HC accessible ramp to access residential lobby from Shurs Lane Revised trash area added truck loading area Revised grades along the Shurs Lane elevation to match contours on Civil Drawings Added dashed line to the Shurs elevation to show profile of the existing retaining wall Reduced size of residential Lobby Recessed balconies along the North elevation Revised signage and canopy design in Shurs elevation Removed pair of metal doors from Shurs elevation (electrical room was relocated) APPROVED	
INSTRUCTIONS AND PLAN REQUIREMENTS: 1. THE SITE PLAN MUST BE DRAWN TO ONE OF THE FOLLOWING SCALES: - ENGINEER: 1' = 10'; 20'; 30'; 40'; 50'; 60'; 100' - ARCHITECT: 1/16; 1/8; 1/4; 3/16 2. THE SITE PLAN AND ELEVATION DRAWINGS MUST BE ON A MINIMUM 11" X 17" SIZED SHEET 3. THE SITE PLAN MUST INCLUDE THE FOLLOWING: - IDENTIFICATION OF NORTH POINT; - EXISTING LOT LINES AND DIMENSIONS AS RECORDED IN THE PROPERTY DEED OR ASSOCIATED LOT ADJUSTMENT PLAN; - ALL STRUCTURES WITH EXTERIOR DIMENSIONS, BUILDING HEIGHTS, AND NUMBER OF STORIES; - THE LENGTH AND WIDTH OF ALL FRONT, SIDE, AND REAR YARDS, AND DIMENSIONS OF ALL OTHER OPEN AREAS; STREETS, ALLEYS, AND/OR DRIVEWAYS BORDERING THE PROPERTY; - LOCATION AND DIMENSIONS OF ALL OFF-STREET PARKING, BICYCLE SPACES, AND LOADING SPACES, INCLUDING AISLES AND DRIVEWAYS, AND THE DISTANCES FROM THE LOT LINES; - NEW LANDSCAPING, STREET TREES, AND HERITAGE TREES WHERE APPLICABLE; AND - THE EXACT LOCATION, SIZES, AND TYPES AND ILLUMINATION OF ALL EXISTING AND PROPOSED SIGNS, IF APPLICABLE. Revised plans, 3 pages, stamped by ZBA on June 5, 2024. <i>Hilary J. Emerson</i> Hilary J. Emerson, Esq. Counsel for ZBA	
I CERTIFY THAT ALL SIGNIFICANT CHANGES TO THE APPLICATION HAVE BEEN FULLY AND ACCURATELY DOCUMENTED. SIGNATURE OF OWNER/OWNER'S REPRESENTATIVE: DEPARTMENT OF LICENSES & INSPECTIONS APPROVED FOR ZONING ONLY 08/31/24 WHEN YOUR PLANS CONTAIN ANY OMISSION, ERROR OR REVISION TO THEM, THESE APPROVED PLANS IT WILL REQUIRE THE APPROVAL OF THE DEPARTMENT OF LICENSES & INSPECTIONS.	

Applied by L&I: Chierika Ugwu

BUILDING ELEVATION

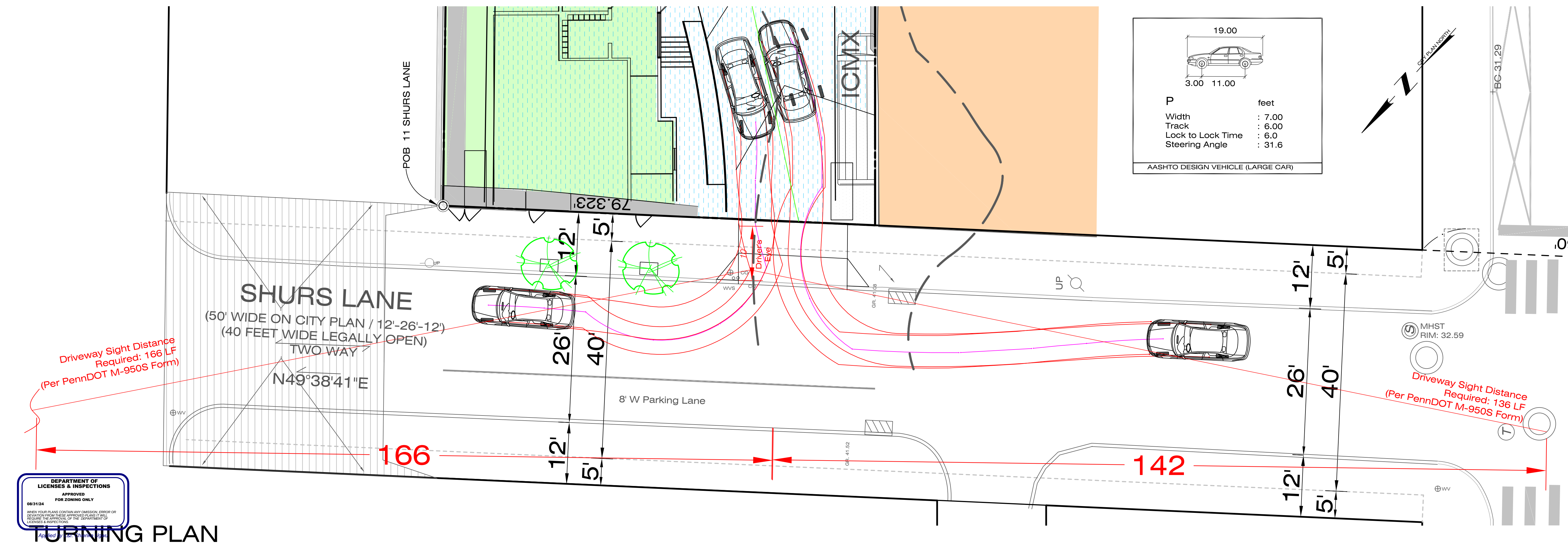


APPROVED

Revised plans, 3 pages, stamped by ZBA
on June 5, 2024.

Hilary J. Emerson

Hilary J. Emerson, Esq.
Counsel for ZBA



NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

REVISIONS				
1	1/25/2024	ZONING COMMENTS		
2	2/2/2024	ZONING COMMENTS		
3	3/22/2024	RCO COMMENTS		

11 SHURS LANE
Philadelphia, PA 19127
21ST WARD - OPA #884629701

prepared for:
Andrew Langsam
1257 Bobarn Drive
Penn Valley, PA 19072

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E



Ruggiero Plante Land Design
 5900 Ridge Avenue Philadelphia, PA 19128
 phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: JANUARY 18, 2024

Scale: 1" = 20'-0"

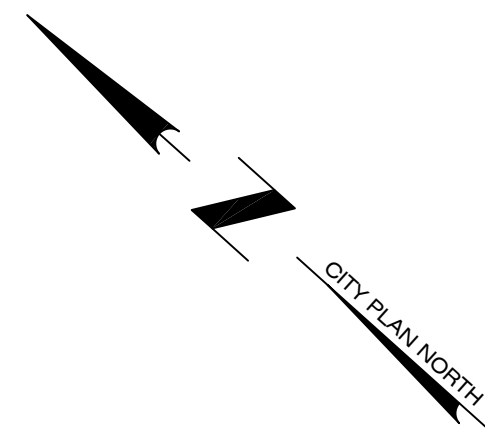


A horizontal graphic scale bar with three segments. The first segment is labeled '20', the second '10', and the third '0'. The segments are separated by vertical tick marks.

Sheet Title:
ZONING SUBMISSION

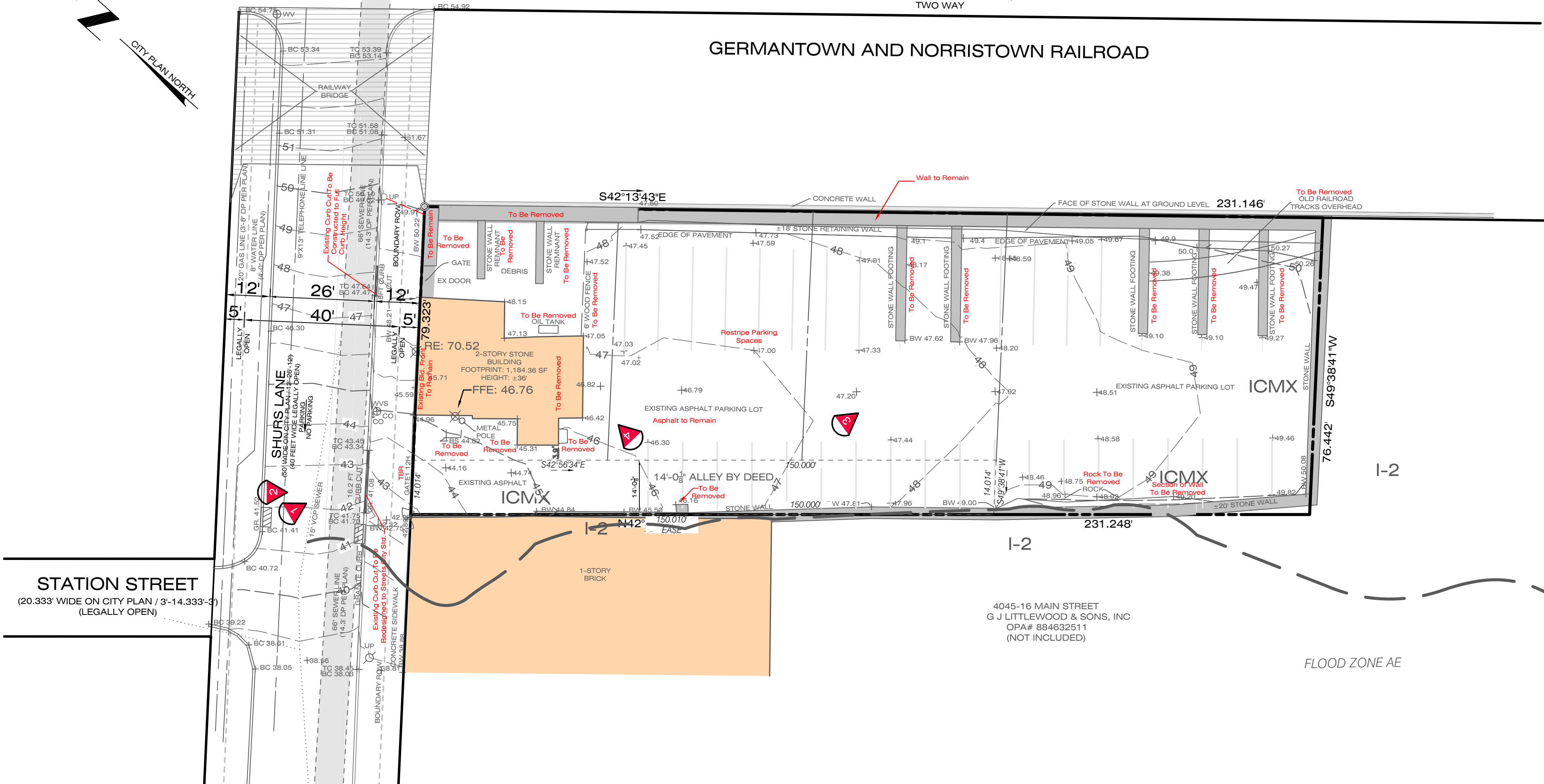
Sheet Title:
BUILDING ELEVATION AND TURNING PLAN

Sheet 3 of 3



CRESSION STREET
(ON CITY PLAN / VAR-12)
(38 FEET WIDE LEGALLY OPEN)
TWO WAY

GERMANTOWN AND NORRISTOWN RAILROAD



STEEP SLOPE NOTE
ALL SLOPES ON THE SITE
ARE LESS THAN 15%.

APPROVED

Revised plans, 3 pages, stamped by ZBA
on June 5, 2024.

Hilary J. Emerson

Hilary J. Emerson, Esq.
Counsel for ZBA



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

LEGEND

- EXISTING FEATURES**
- TELECOMMUNICATION MANHOLE
 - WATER MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - CITY INLET
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - SIGN
 - LIGHT STANDARD
 - COMBINED SEWER
 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND ELECTRIC LINE
 - OVERHEAD AERIAL LINE
 - FENCE LINE
 - EXISTING BUILDINGS
 - ZONING BOUNDARY LINE
 - PHOTO LOCATION
 - PHOTO ID
 - RETAINING WALL
 - STEEP SLOPE 15-25%
 - STEEP SLOPE >25%

**ICMX - INDUSTRIAL COMMERCIAL
MIXED-USE ZONING CRITERIA**

LOT REQUIREMENTS	Required
Max. % Occupied Area	100%
Min. % Open Area	0%
BUILDING DIMENSIONS	
Front Yard Setback	None required
Side Yard Setback	0' / 8' if used
Rear Yard Setback	0' / 8' if used
Building Height	60'
Max. FAR	500%

NOTES

- Boundary and Location information is based on a field survey performed by Ruggiero Plante Land Design on December 21, 2021.
- Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet.
- The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
- Vertical datum is NGVD 1929, the benchmark is "C-325" a standard brass disk set in a concrete retaining wall, having an elevation of 81.29'. Located 0.25 miles southeast along the Reading Railroad from the Station at Manayunk, 59' southeast of the southeast abutment of the Roxborough Avenue underpass, 6' southwest of the southwest rail of the southwest set of tracks, set in the top and at the east corner of an offset in the concrete retaining wall around the two southwest legs of a metal pylon, 5.6' east to the more southeasterly of the two southwest legs of the pylon, 1.7' north of a metal fence post and about level with the track. To Achieve City datum, Subtract 4.81'.
- The bearings shown hereon are referenced from a "PLAN OF PROPERTY", made for Aaron Hart by Israel Serota, Surveyor and Regulator of the Ninth Survey District of Philadelphia, dated August 1, 1968.
- FEMA FIRM map #4207570089G effective January 17, 2007 designates the site as Zone X, - Other Flood Area.
- Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
- Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
- The property is identified as within the Industrial Commercial Mixed-Use District (ICMX).



UTILITY OWNERS

DATE CONTACTED: December 13, 2021
SERIAL NUMBER: 20213472676
COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@cable.comcast.com
COMPANY: USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19406
CONTACT: GAVIN HEWITT
EMAIL: gavinhe Witt@usicinc.com
COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov
COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: JOSEPH KISIEL
EMAIL: joseph.kisiel@phila.gov
COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOCHANSKI
COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTVYDAS
EMAIL: dmontvydas@septa.org
COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 180 SHEREE BLVD, STE 2100 ROOM N/A
EXTON, PA 19341
CONTACT: KELLY B. BLOUNT
EMAIL: kelly.b.blount@verizon.com
OWNER OF RECORD
11 SHURS LANE
SMITH BOYDING
Jasper & Lehigh Ave
Philadelphia PA 19125



NOTE:
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11 SHURS LANE
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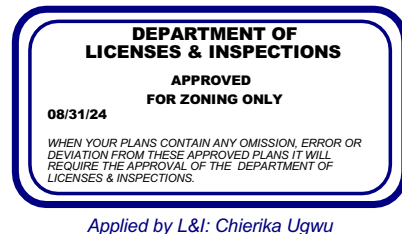
prepared for:
Andrew Langsam
1257 Bobarn Drive
Penn Valley, PA 19072

David J. Plante
DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplanteland.com

Plan Date: JANUARY 18, 2024
Scale: 1" = 20'-0"
20' 10' 0' 20'

Sheet Title:
ZONING SUBMISSION
Sheet Title:
EXISTING CONDITION PLAN
Sheet 1 of 3



ZONING SCHEDULE
ZONE: ICMX (INDUSTRIAL COMMERCIAL MIXED-USE ZONING CRITERIA)
ABUTTING ZONING DISTRICT: I-2 MEDIUM INDUSTRIAL
ZONING DISTRICT ACROSS STREET: ICMX INDUSTRIAL COMMERCIAL MIXED-USE
LOT AREA: 17,993 SF OR 0.4131 AC

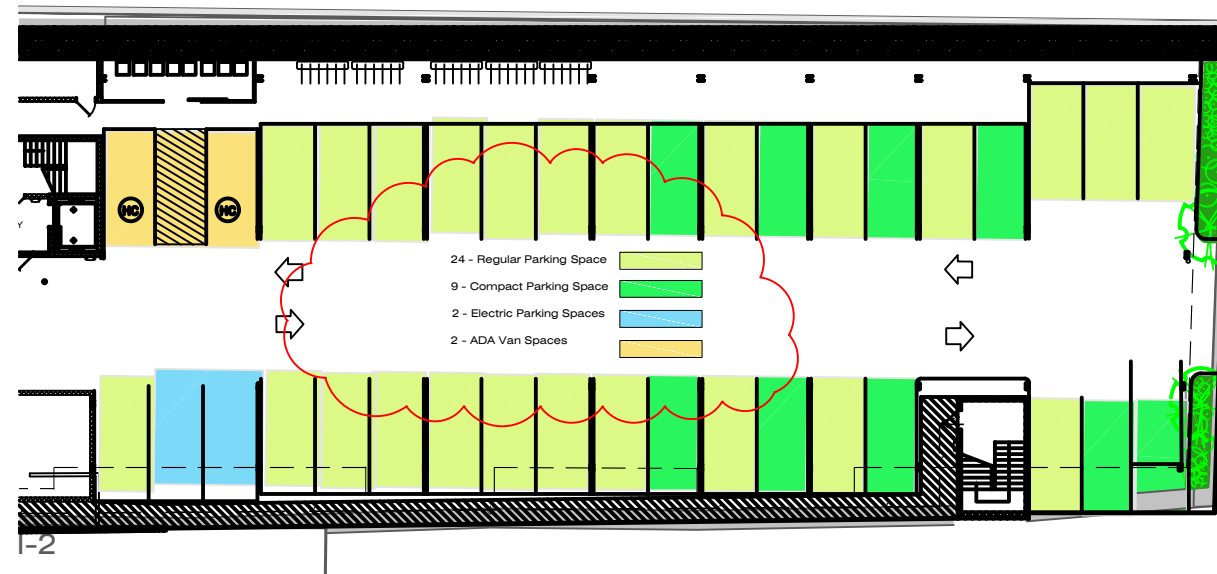
ZONING DATA	PERMITTED	PROP. LOT
MAX. % OCCUPIED AREA	100	81
MIN. FRONT YARD (FT)	0 [3]	0
MIN. SIDE YARD WIDTH (FT)	8 [3]	0
MIN. REAR YARD DEPTH (FT)	8 [3]	0
MAX. HEIGHT (FT)	38	38
MAX. FLOOR AREA RATIO (%)	500%	242%

Note:
[3] Where the lots abuts a residential district, front yards, side yards, and rear yards shall be provided on the lot on the sides abutting the residential districts. The minimum requirements for those yards shall be either those for the industrial district, or those for the residential district on the abutting side, whichever is larger.

OCCUPIED AREA CALCULATIONS:

PROPOSED
Lot Area: 17,993 SF
Occupied Area: 14,566 SF
% Occupied Area: 80.95
% Open Area: 19.05

PARKING KEY MAP



PARKING IN INDUSTRIAL DISTRICT (TABLE 14-802-3)

RESIDENTIAL USE CATEGORY: MULTI-FAMILY
Required: 1/2 units
Total Number of Units = 42
Required Number of spaces = 21

RETAIL USE CATEGORY:
Required: 0 for first 2,500 SF
Total SF: 922 SF
Required Number of spaces = 0

Total spaces Required: 21
Total Proposed Spaces: 37
24 - Regular Parking Space
2 - ADA Spaces
9 - Compact Parking Space
2 - Electric Parking Spaces

PARKING FOR PERSONS WITH DISABILITIES (TABLE 14-802-4)

MULTI-FAMILY USE - Two percent of the parking spaces, but not less than one proposed parking space.

Required: 2% x 37 of proposed spaces = 0.74
Proposed: 2 proposed

ELECTRIC VEHICLE PARKING SPACES (TABLE 14-803-3)

Total Number of Spaces Proposed = 37
Total Number of Electric Spaces Required = 2
Total Number of Electric Spaces Provided = 2

REQUIRED BICYCLE PARKING (TABLE 14-804-1)

Multi-Family Building: 12 or More Dwelling Units

Required: 1 per every 3 DU's of Fraction Thereof
Total Number of Units = 42
Required Number Bicycle Parking = 14
Provided Bicycle Parking = 30

COMPLETE STREETS ZONE REQUIREMENTS

Shurs Lane
Urban Arterial
Pedestrian - 6' Min. (Or half total sidewalk)
Building - No Min. Requirement
Furnishing - 4' Minimum

STREET TREE PLANTING REQUIREMENT

At least one tree per 35 feet of linear frontage, and provide at least 15 feet spacing between minimum space between tree trunk.

BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
Koeleruteria Paniculata	Goldenrain Tree	2.5'-3' Cal B&B	2

All landscaping shall be in accordance with PCPC Recommended plant list.

NEIGHBORHOOD COMMERCIAL AREA OVERLAY DISTRICT
MAIN STREET/MANAYUNK AND VENICE ISLAND SUB AREA B
(NCA) [§14-503(4)(a)(2)]

(b) Height
(1) The height of the building may not exceed 38 ft.
(1) Additions to buildings in existence on July 1, 1997 that do not increase the floor area of the building by more than (10%) may be built to a height not to exceed the existing building.

(c) Setbacks - not applicable to Subarea B

(d) Parking in Subarea B, pertaining to eating and drinking not applicable.

INTERIOR LANDSCAPING [§14-803(5)(e)(1)]

10% of the interior surface parking lot. (Covered Parking Area excluded)

Total Open Area = 1,533 SF
Required Area = 1,533 SF/ 10 = 153 SF
Provided Area = 206.25 SF

LANDSCAPING [§14-803(5)(e)(5)]

Shade trees, shrubs, perennials, and groundcover
1 Shade Tree / 200 SF
3 shrubs / 200 SF
15 groundcover/perennials / 200 SF
Provided Area = 206.25 SF

Provided Landscaping
2 Shade Tree
6 shrubs
30 groundcovers

BUILDING IDENTIFICATION SIGN IN ICMX (TABLE 14-904-1)

Allowed:
Maximum Number: 1 per frontage

Signage area:
Lots with one building frontage: 3 sf per lin. ft. of building frontage

Maximum Height: The lower roof line or second floor window sill.

Permitted Sign Characteristics: Static Illumination, Animated Wall, and Mechanical Motion

Proposed:
Maximum Number: 1 per frontage

Signage Area Allowed: 79.32/ 3 = 26.44 sf
Signage Area Proposed: 13.31 sf

Maximum Height: Lower Roof

*Sign is shown on Front Elevation, Sheet 3 of 3.

CRESSON STREET

(ON CITY PLAN / VAR-12)
(36 FEET WIDE LEGALLY OPEN)
TWO WAY

GERMANTOWN AND NORRISTOWN RAILROAD

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- The property is identified as within the Industrial Commercial Mixed-Use District (ICMX) .

SOURCE OF TITLE

Deed from C.O. Struse & Sons to Smith & Boyd, Inc., dated January 25, 1967, being recorded in the City of Philadelphia on January 26, 1967 as Document Db. 901, Pg. 368.

PLAN REFERENCES

- 'PLAN OF PROPERTY' made for Gleneagles Corporation by Israel Serota Surveyor & Regulator of the 9th Survey District of Philadelphia dated December 21, 1964 and last revised by Vincent F. Collier on August 31, 1976.
- 'PLAN OF PROPERTY' made by K.W. Granlund, Surveyor & Regulator of the 8th Survey District of Philadelphia dated March 5, 1928.

LEGEND

EXISTING FEATURES	
TELECOMMUNICATION MANHOLE	
WATER MANHOLE	
ELECTRICAL MANHOLE	
SANITARY MANHOLE	
CITY INLET	
FIRE HYDRANT	
WATER VALVE	
UTILITY POLE	
SIGN	
LIGHT STANDARD	
COMBINED SEWER	
UNDERGROUND WATER LINE	
UNDERGROUND GAS LINE	
UNDERGROUND ELECTRIC LINE	
OVERHEAD AERIAL LINE	
FENCE LINE	
EXISTING BUILDINGS	
ZONING BOUNDARY LINE	

PROPOSED FEATURES

OPEN ABOVE	
Proposed Building (Ground Floor)	



UTILITY OWNERS

DATE CONTACTED: December 13, 2021

SERIAL NUMBER: 20213472676

COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@cable.comcast.com

COMPANY: USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19406
CONTACT: GAVIN HEWITT
EMAIL: gavinhe Witt@usicinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: JOSEPH KISIEL
EMAIL: joseph.kisiel@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOCHANSKI

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTVYDAS
EMAIL: dmontvydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 180 SHEREE BLVD, STE 2100 ROOM N/A
EXTON, PA 19341
CONTACT: KELLY BLOUNT
EMAIL: kelly.b.blount@verizon.com

OWNER OF RECORD

11 SHURS LANE
SMITH BOYD INC
Jasper & Lehigh Ave
Philadelphia PA 19125



NOTE:
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REVISIONS				
1	1/25/2024	ZONING COMMENTS		
2	2/9/2024	ZONING COMMENTS		
3	3/22/2024	RDC COMMENTS		
4	1/17/2025	BUILDING PERMIT COORDINATION		
5	3/6/2025	BUILDING PERMIT COORDINATION		

11 SHURS LANE

Philadelphia, PA 19127
21ST WARD - OPA #884629701

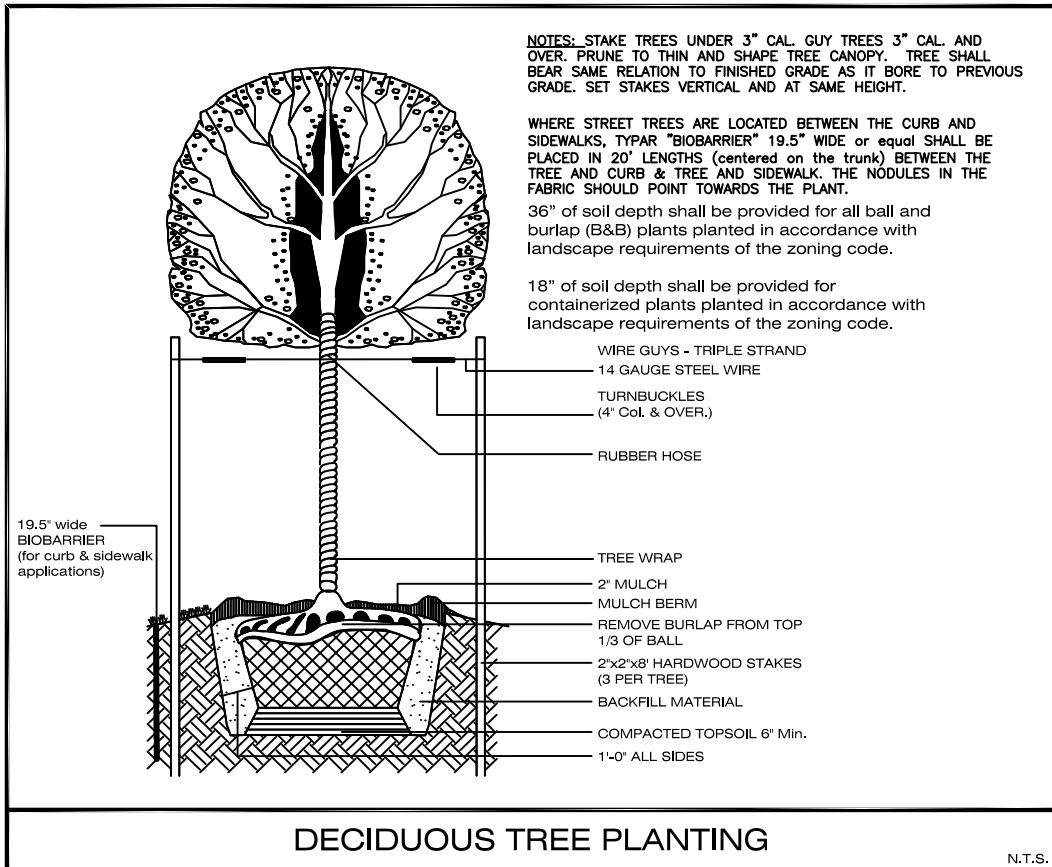
prepared for:
Andrew Langsam
1257 Bobam Drive
Penn Valley, PA 19072

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplanteland.com

Plan Date: JANUARY 18, 2024
Scale: 1" = 20'-0"

Sheet Title: ZONING SUBMISSION
Sheet Title: SITE PLAN
Sheet 2 of 3



I PLOTTED BY: Dennis J. FILE: P:\Ronda\11 Shurs Lane\CIVIL MODEL FILES\11 SHURS LANE MAIN.dwg | LAYOUT: Zoning-Sub

Notice of: ☒ **Refusal** ☐ **Referral**

Application Number: ZP-2024-000656	Zoning District(s): ICMX	Date of Refusal: 2/9/2024
Address/Location: 11 SHURS LN, Philadelphia, PA 19127-2113 Parcel (PWD Record)		Page Number Page 1 of 1
Applicant Name: David Plante, P.E. DBA: Ruggiero Plante Land Design	Applicant Address: 5900 Ridge Avenue Philadelphia, PA 19128 USA	Civic Design Review? N

Application for:

FOR THE ERECTION OF A FOUR (4) STORY STRUCTURE. FOR USE AS A VACANT COMMERCIAL SPACE (USE REGISTRATION REQUIRED PRIOR TO OCCUPANCY) ON THE FIRST FLOOR AND MULTI-FAMILY (FORTY-TWO (42) DWELLING UNITS) HOUSEHOLD LIVING WITH THIRTY-SEVEN (37) INTERIOR OFF-STREET ACCESSORY PARKING SPACES; SIZE AND LOCATION AS SHOWN IN THE APPLICATION/PLAN.

The permit for the above location cannot be issued because the proposal does not comply with the following provisions of the Philadelphia Zoning Code. (Codes can be accessed at www.phila.gov.)

Code Section(s):	Code Section Title(s):	Reason for Refusal:
Table 14-602-3	Uses Allowed in Industrial Districts - Refusal	HOUSEHOLD LIVING IS NOT PERMITTED IN THIS ZONING DISTRICT, ICMX. WHEREAS, THE APPLICATION PROPOSES MULTI-FAMILY (FORTY-TWO (42) DWELLING UNITS) HOUSEHOLD LIVING.

ONE (1) USE REFUSAL

Fee to File Appeal: \$ 300

NOTES TO THE ZBA:

N/A

Parcel Owner:

SMITH BOYDING



CHANWOO JUNG
PLANS EXAMINER

2/9/2024
DATE SIGNED

Notice to Applicant: An appeal from this decision may be made to the Zoning Board of Adjustment, One Parkway Building, 1515 Arch St., 18th Fl., Phila., PA 19102 within thirty (30) days of date of Refusal / Referral. Please see appeal instructions for more information.