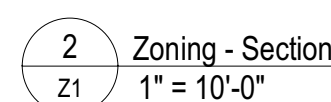
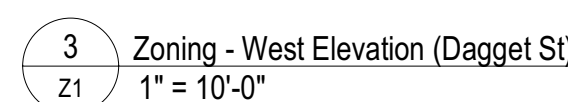
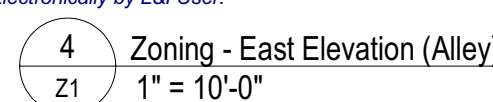
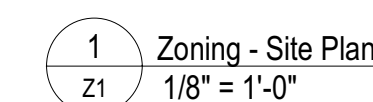
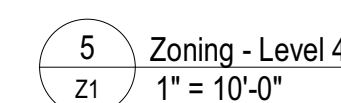
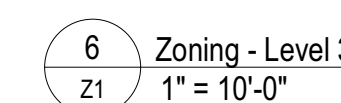
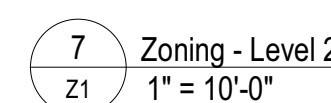
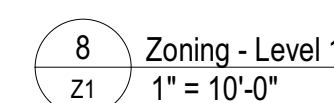
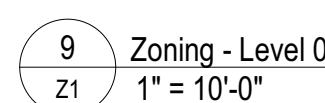


ZONING TABULATION - OPTION 2		
Zoning District: RM-1 Residential Multi-Family	Required / Allowable	Proposed
Lot Width	16' - 0"	30' - 0"
Lot Area	1,440 Sf	2,775 Sf
Occupied Area	75% Max (2,081 Sf)	1,840 Sf (67%)
Open Area	25% Min (694 Sf)	935 Sf (33%)
Front Setback	18' - 9" Min (Based on Adjacent)	18' - 9"
Side Yard Width	N/A	N/A
Rear Yard Depth	9' - 0" Min	9' - 0"
Rear Yard Area	144 Sf Min	270 SF
Building Height	38' - 0" Max	38' - 0"
Total Gross Floor Area	N/A	6,567 Sf 4 Stories + Cellar
Parking Spaces	0 Spaces Required	0 Spaces
Bike Racks	0 Bike Racks Required	0 Bike Racks
Total Units	Total: 6 Units First 1,440 Sf / 360 Sf: 4 Units Remaining 1,335 Sf / 480: 2 Units	6 Units



Mark C. Paul

Issued for Zoning

[illegible]

New
Construction
Multi-Family

431- 433 Daggett Street
Philadelphia, PA 19151

Drawing Title:

ZONING

Date 09/12/2022

UO Project Number: 22008

Drawn by _____ AH

Checked by _____ AS

Scale	As indicated
-------	--------------

Drawing Number:

Z1

Copyright 2022, Unfound Object, LLC

Zoning Permit

Permit Number ZP-2022-010574

LOCATION OF WORK 431 N DAGGETT ST, Philadelphia, PA 19151-4016	PERMIT FEE \$722.00	DATE ISSUED 12/9/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1, RM1, RM1	

PERMIT HOLDER 3801 POPLAR STREET LLC	431 N DAGGETT ST PHILADELPHIA, PA 19151-
---	--

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH A CELLAR AND A ROOF DECK WITH A ROOF ACCESS STRUCTURE. SIZE AND LOCATION AS SHOWN ON PLANS. *AMEND 1-16-25; REVISE FOR REMOVAL OF ROOF-DECK ACCESS STRUCTURE AND FOR ADDITION OF BALCONIES AND ROOF DECKS ACCESSED THROUGH WALL OPENINGS*

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-010574

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

431 N DAGGETT ST Philadelphia, PA 19151-4016

431 N DAGGETT ST T-C-56993, Philadelphia, PA 19151

433 N DAGGETT ST Philadelphia, PA 19151-4016

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

SIX(6) FAMILIES

This permit is subject to the following specific conditions.

CONDITIONS

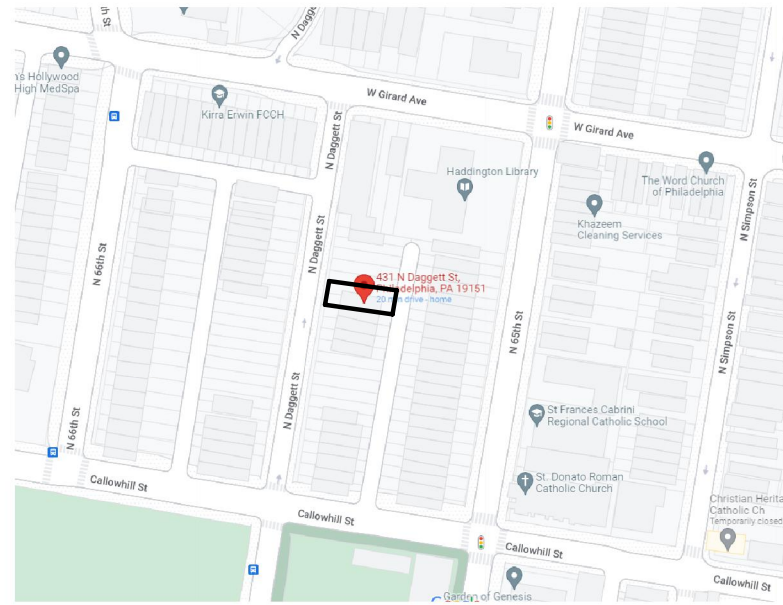
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



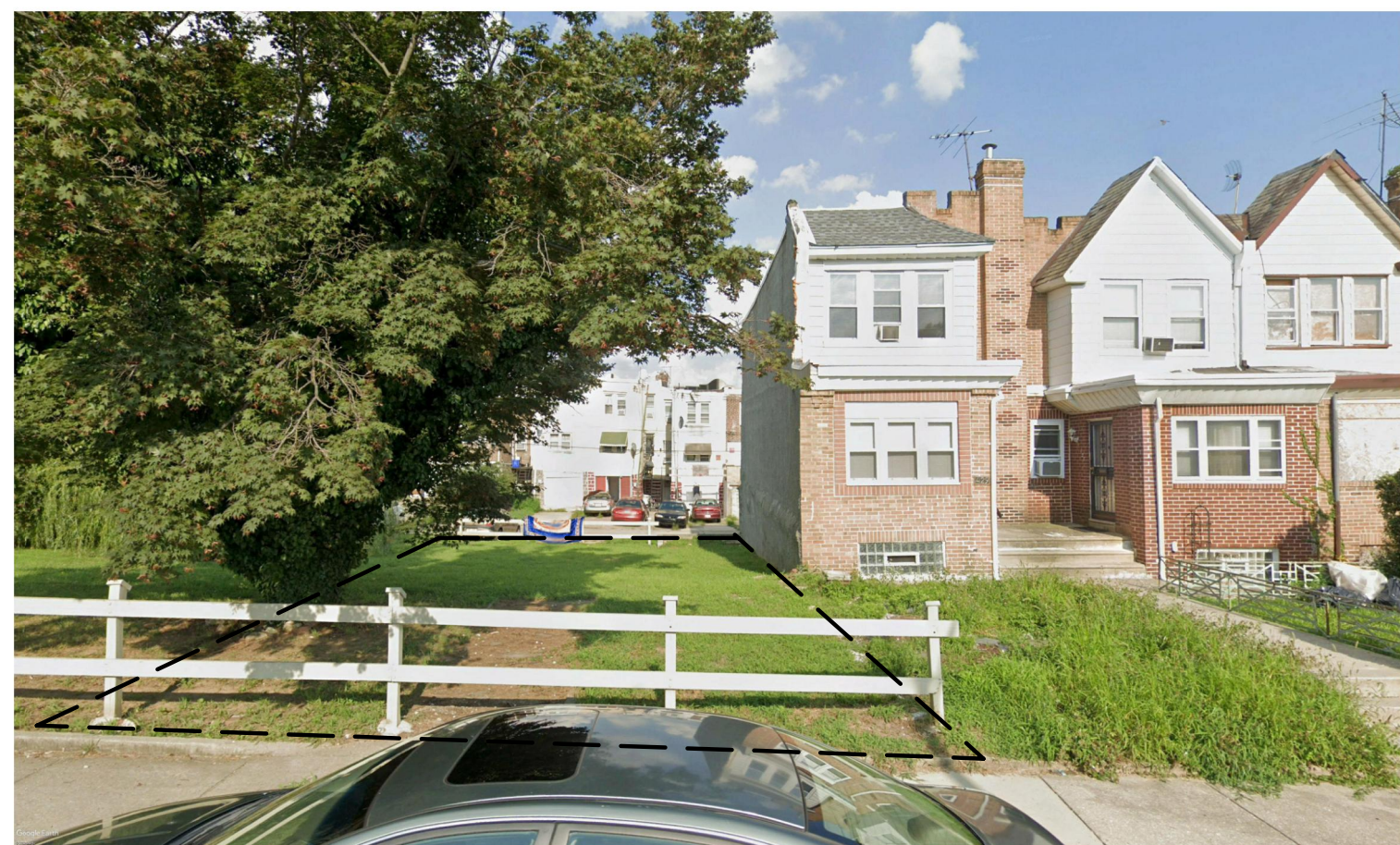
Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



SITE LOCATION



EXISTING SITE AERIAL VIEW



EXISTING SITE FROM DAGGETT STREET



10 PROPOSED BUILDING
Z1

ZONING TABULATION		
ZONING DISTRICT: RM-1 RESIDENTIAL MULTI-FAMILY	REQUIRED / ALLOWABLE	PROPOSED
LOT WIDTH	16' - 0"	30' - 0"
LOT AREA	1,440 SF	2,775 SF
OCCUPIED AREA	75% MAX (2,081 SF)	1,851 SF (67%)
OPEN AREA	25% MIN (694 SF)	924 SF (33%)
FRONT SETBACK	18' - 9" MIN (BASED ON ADJACENT)	19' - 6"
SIDE YARD WIDTH	N/A	N/A
REAR YARD DEPTH	9' - 0" MIN	9' - 0"
REAR YARD AREA	144 SF MIN	270 SF
BUILDING HEIGHT	38' - 0" MAX	38' - 0"
TOTAL GROSS FLOOR AREA	N/A	6,665 SF 4 STORIES + CELLAR
PARKING SPACES	0 SPACES REQUIRED	0 SPACES
BIKE RACKS	0 BIKE RACKS REQUIRED	0 BIKE RACKS
TOTAL UNITS	TOTAL: 6 UNITS FIRST 1,440 SF / 360 SF: 4 UNITS REMAINING 1,335 SF / 480: 2 UNITS	6 UNITS

ZONING
PERMIT

No.	Description	Date
1	ZONING AMENDMENT	11-18-2024

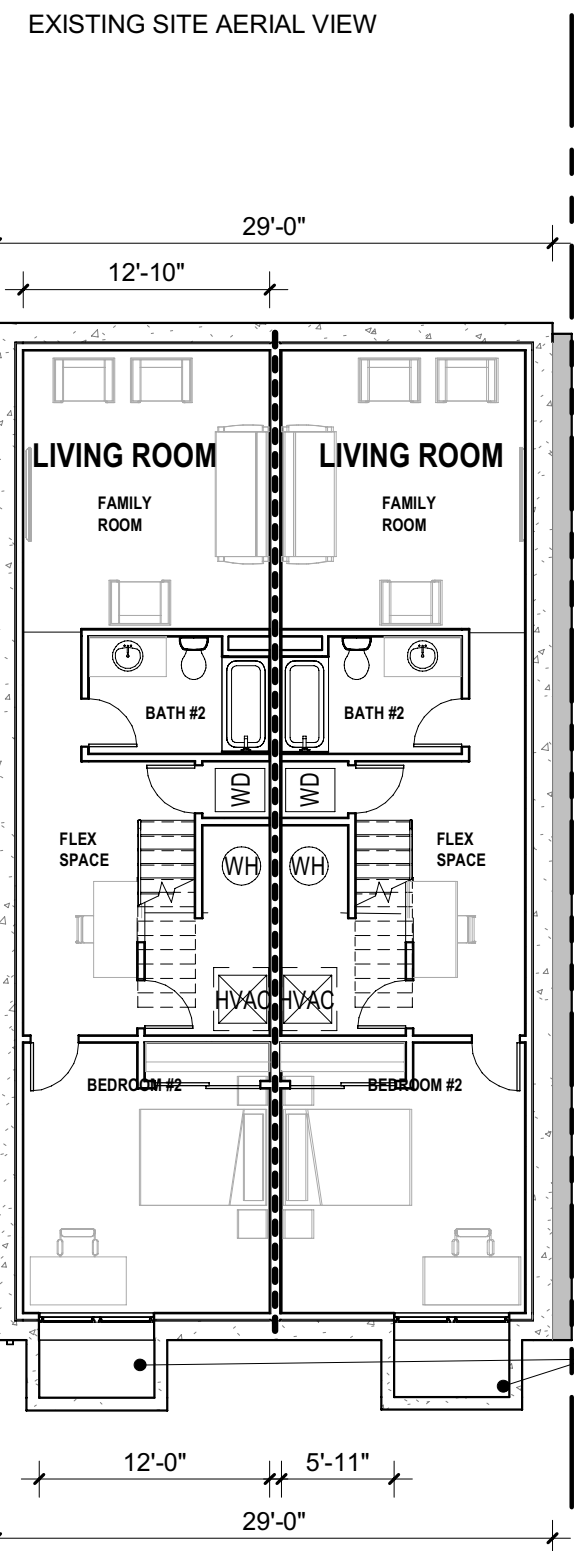
NEW
CONSTRUCTION
MULTI-FAMILY
431-433 DAGGETT STREET
PHILADELPHIA, PA 19151

Drawing Title:

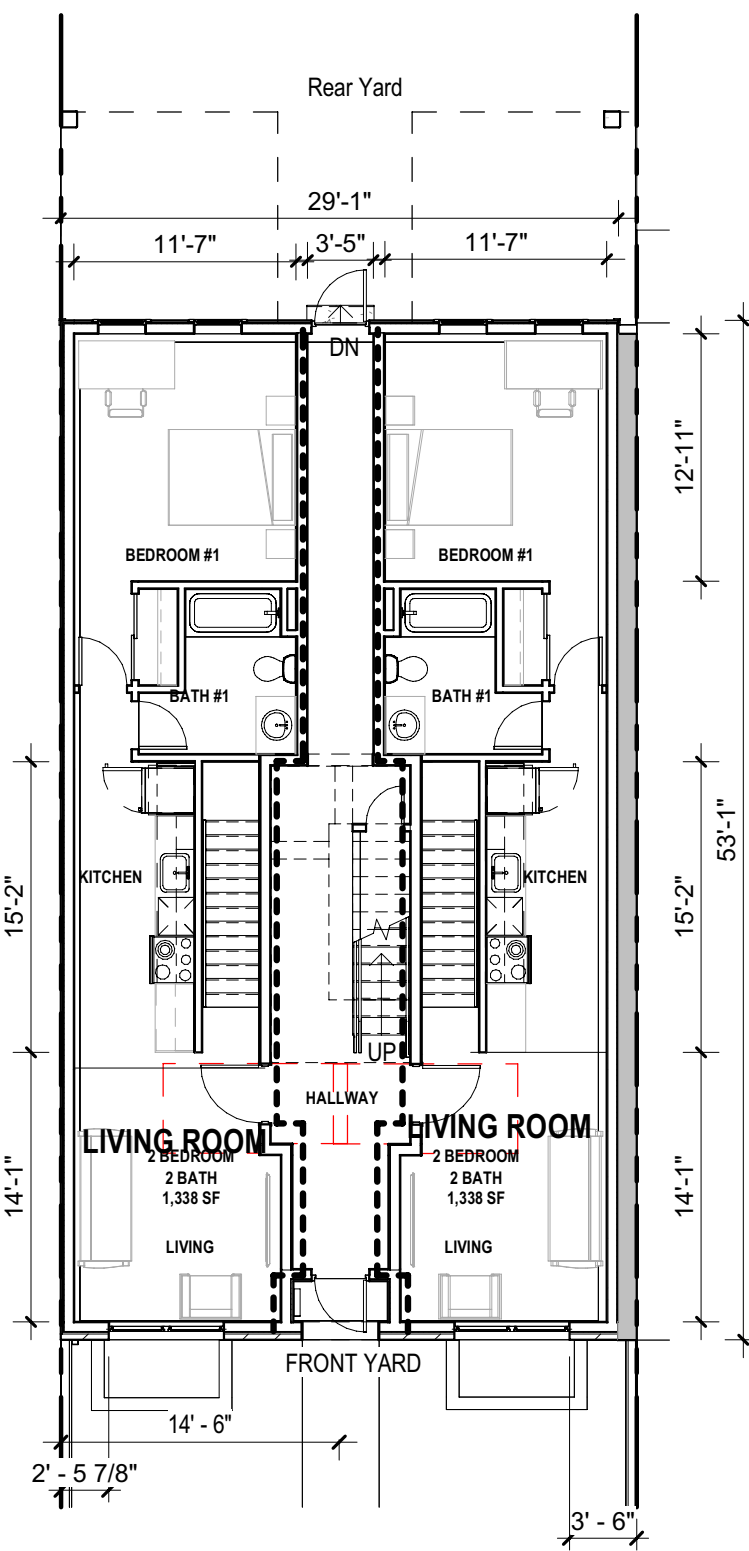
ZONING

Date: 12/06/2024
UO Project Number: 22008
Drawn by: AH
Checked by: AS
Scale: As indicated
Drawing Number:

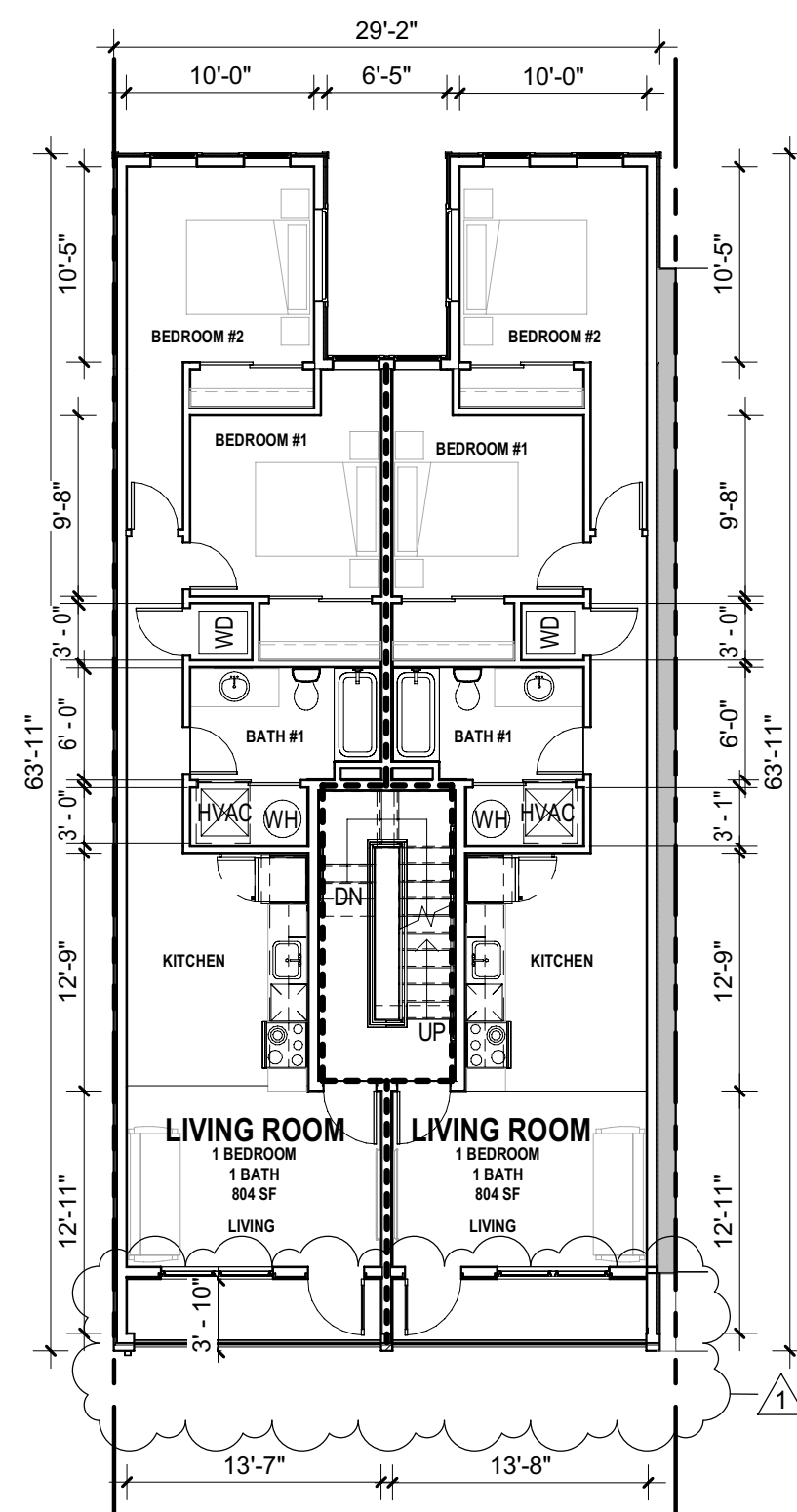
Z1



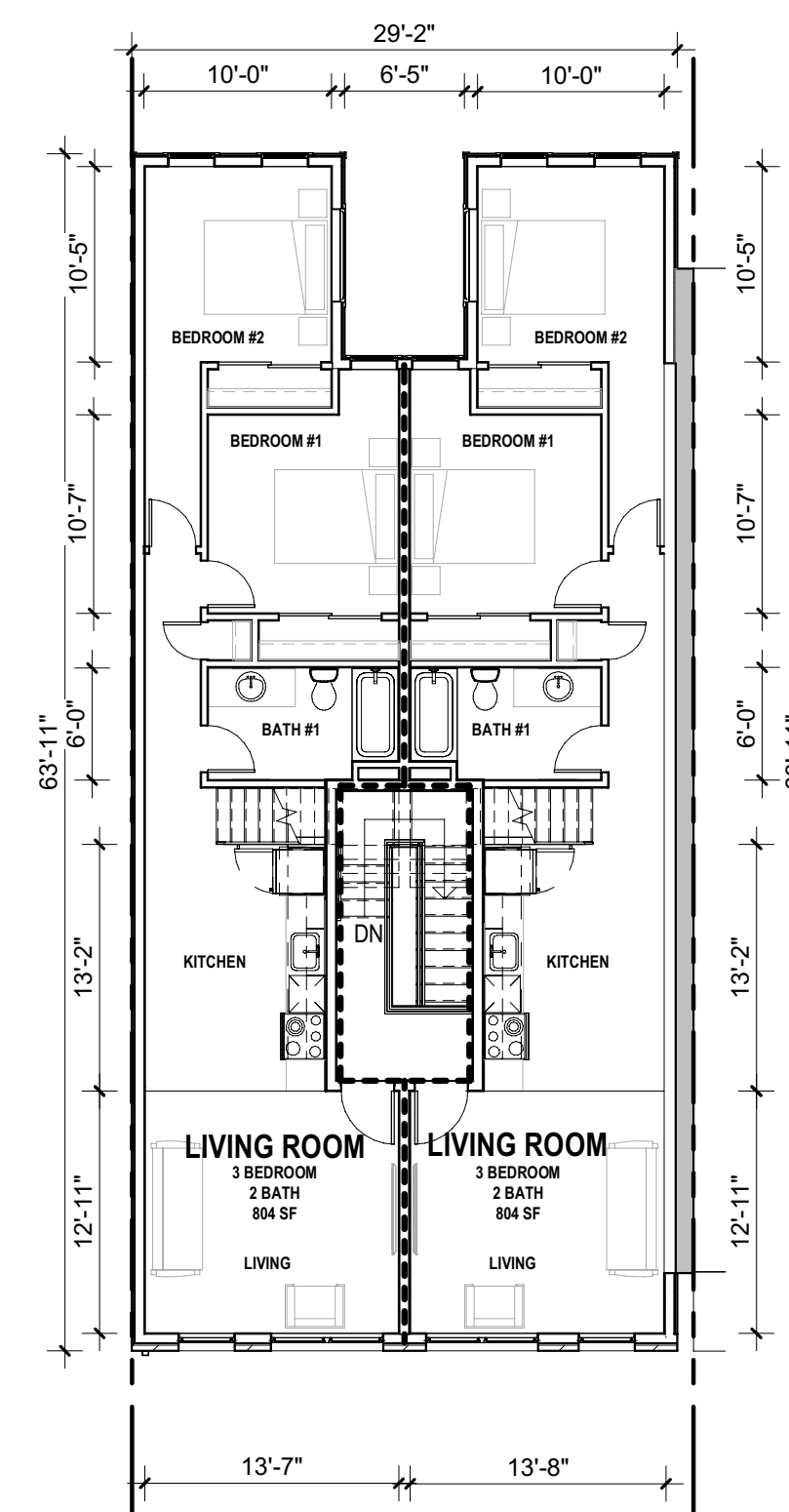
9 ZONING - LEVEL 0
Z1 1" = 10'-0"



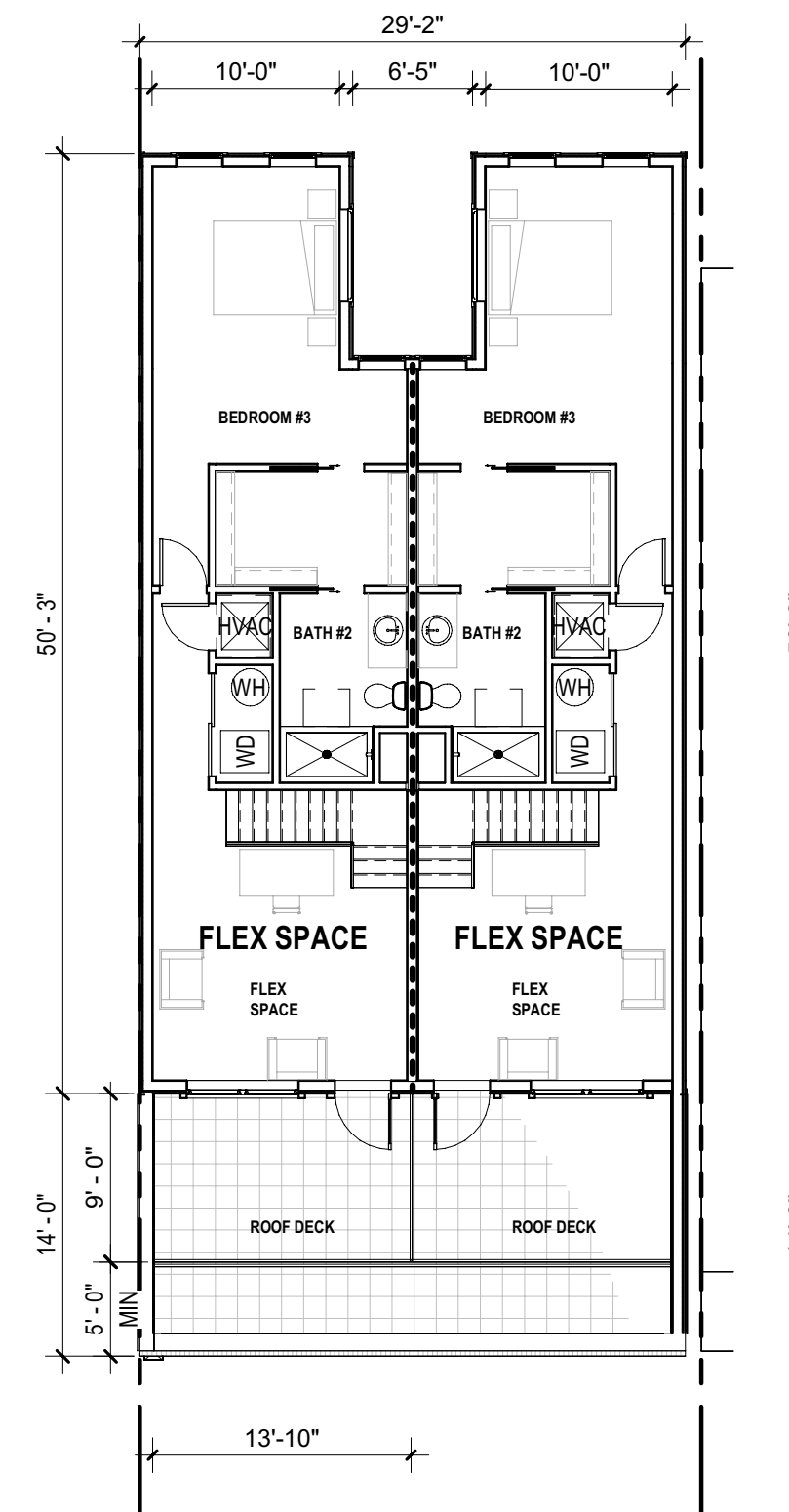
8 ZONING - LEVEL 1
Z1 1" = 10'-0"



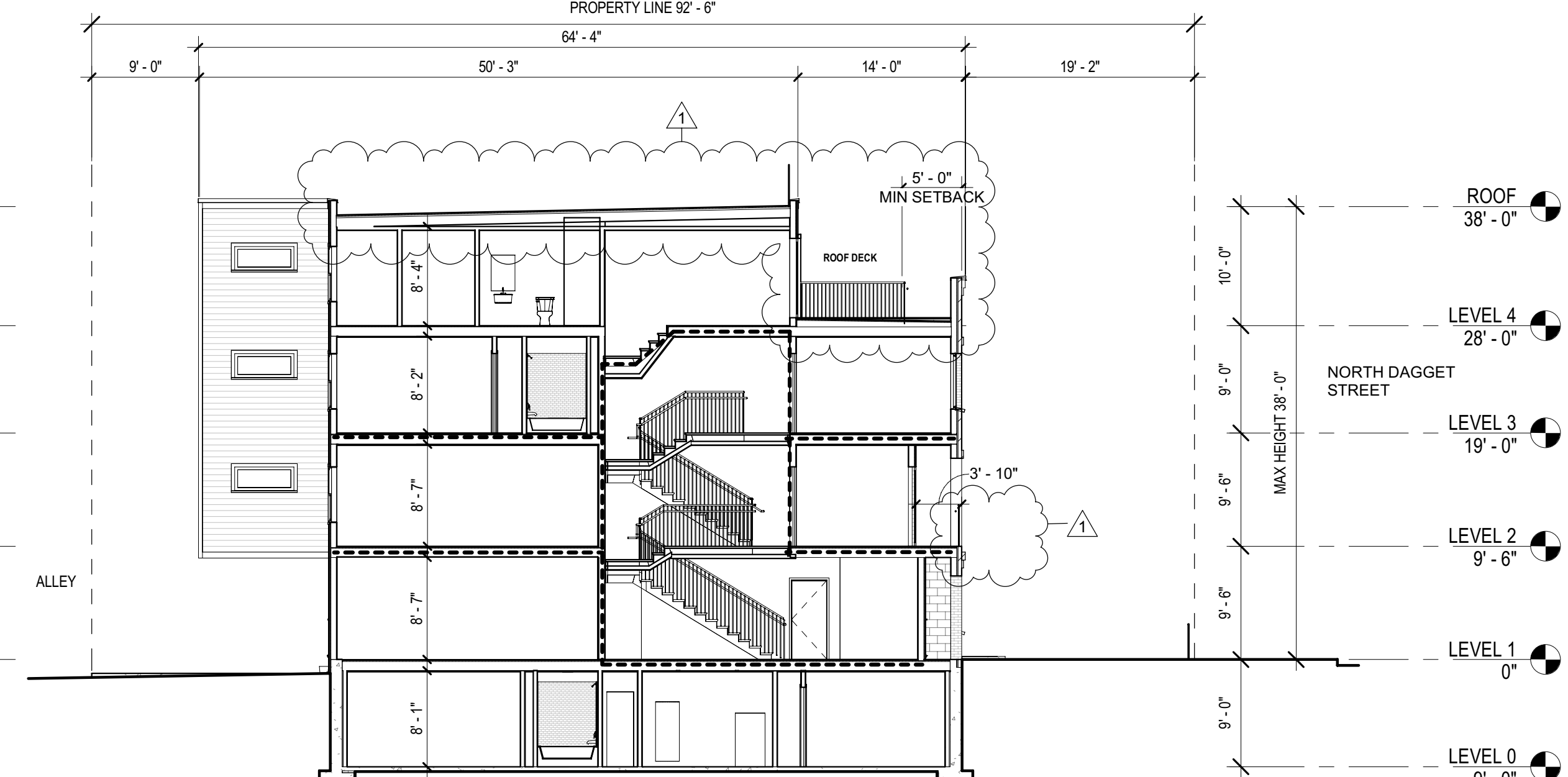
7 ZONING - LEVEL 2
Z1 1" = 10'-0"



6 ZONING - LEVEL 3
Z1 1" = 10'-0"



5 ZONING - LEVEL 4
Z1 1" = 10'-0"

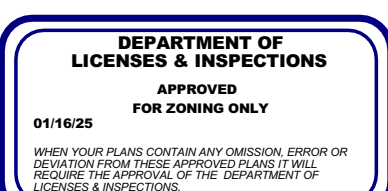


2 ZONING - SECTION
Z1 1" = 10'-0"



3 ZONING - WEST ELEVATION (DAGGETT ST)
Z1 1" = 10'-0"

4 ZONING - EAST ELEVATION (ALLEY)
Z1 1" = 10'-0"



Applied by L&I: James Cunningham