

Zoning Permit

Permit Number ZP-2020-004277

LOCATION OF WORK 5139 WAYNE AVE, Philadelphia, PA 19144-3525	PERMIT FEE \$1,581.00	DATE ISSUED 11/4/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER SRD WAYNE LLC	614 S 4TH ST #146 SRD WWAYNE LLC PHILADELPHIA PA 19147
--------------------------------	--

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT For complete demolition of existing structure. For the erection of a detached structure with roof deck on the 4th floor level accessed by the doorway on the 4th story, size and location as per approved plan. Amendment#1 to add an elevator with corresponding overrun. Amendment#2 for removal of fourth floor roof deck, removal of ground floor recess, and addition of proposed privacy fences at
--

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2020-004277

side yards. And minor revisions to building footprint at courts size.



APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - **30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - **3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - **60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2020-004277

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

5139 WAYNE AVE Philadelphia, PA 19144-3525

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

48 dwelling units by using mixed income housing bonus with 16 bicycle parking spaces on an accessible route.

This permit is subject to the following specific conditions.

CONDITIONS

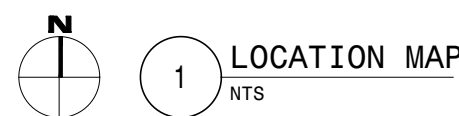
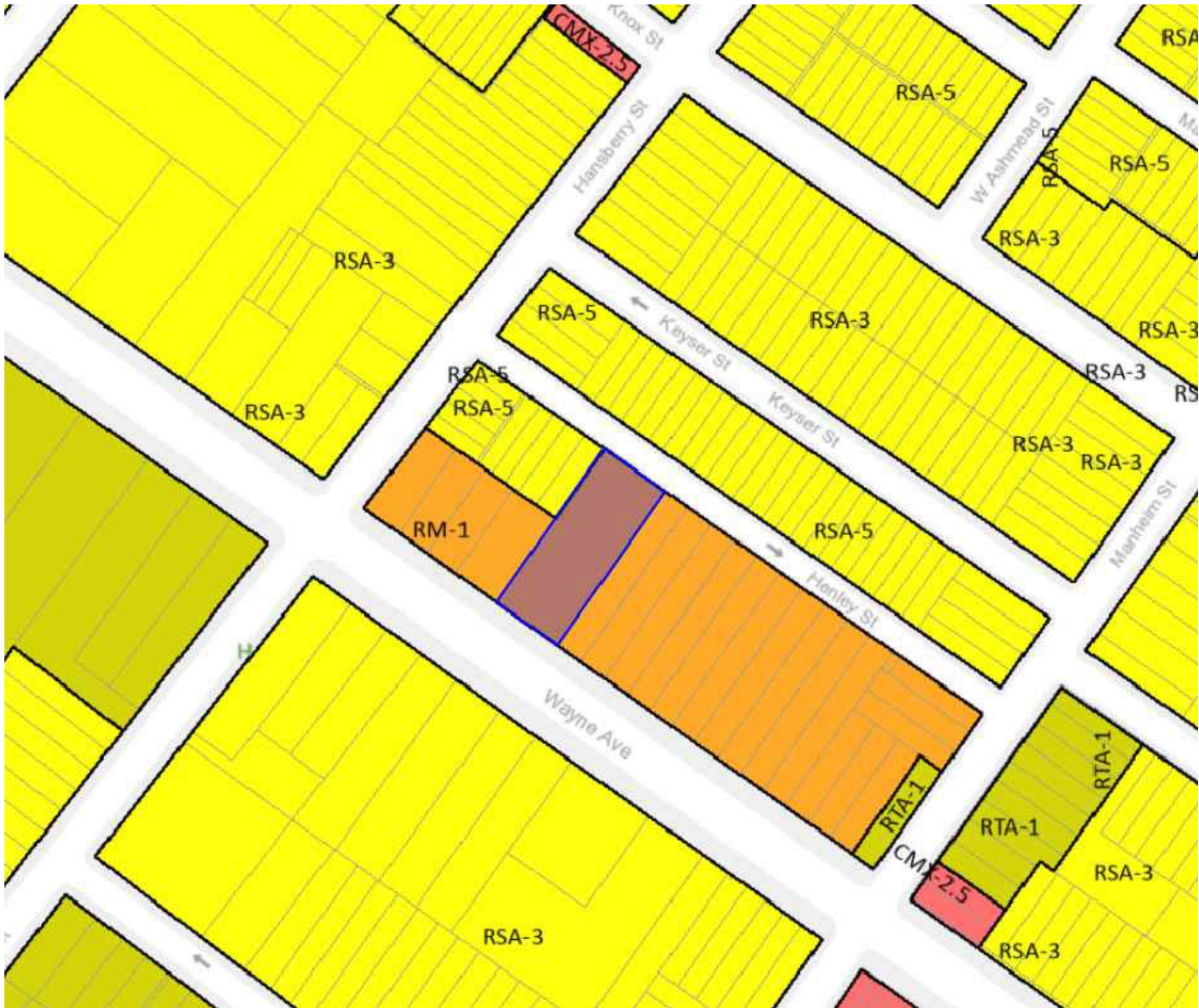
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



ZONING DATA		
RM-1		
	REQ'D/ALLOWED	PROPOSED/EXISTING
LOT AREA	1,440 SF	12,297 SF
LOT WIDTH	16'-0" MIN	70'-0"
OPEN AREA	25% MIN	3,213 SF (26%)
FRONT YARD DEPTH	8'-0" ± 0'-0"	8'-0" ± 0'-0"
SIDE YARD DEPTH	5'-0"	5'-0"
REAR YARD DEPTH	N/A	N/A
REAR YARD AREA	N/A	N/A
BUILDING HEIGHT	38'-0" MAX	45' MAX*
UNIT COUNT	26 UNITS MAX	48 UNITS MAX**
ROOF AREA	N/A	9,083 SF
GREEN ROOF AREA	60% MIN OF TOTAL***	5,462 SF (60%)
BICYCLE PARKING	16	16 MIN

* 7'-0" HEIGHT INCREASE ALLOWED THROUGH COMPLIANCE WITH MIXED-INCOME HOUSING CRITERIA SET FORTH IN 14-702(7)

** UNIT INCREASE ALLOWED THROUGH COMPLIANCE WITH GREENROOF CONDITIONS SET FORTH IN 14-602(7) AND LOW-INCOME HOUSING CRITERIA SET FORTH IN 14-702(7)

GREEN ROOF BONUS: 26 UNITS * 1.25 = 32.5 UNITS
LOW-INCOME BONUS: 32 UNITS * 1.5 = 48.75 UNITS

*** SEE 14-602(7) FOR GREENROOF CONDITIONS

LEGEND

GREEN ROOF

EXISTING CONSTRUCTION

OCCUPIED AREA

ROOF DECK

FENCE

PROPERTY LINE

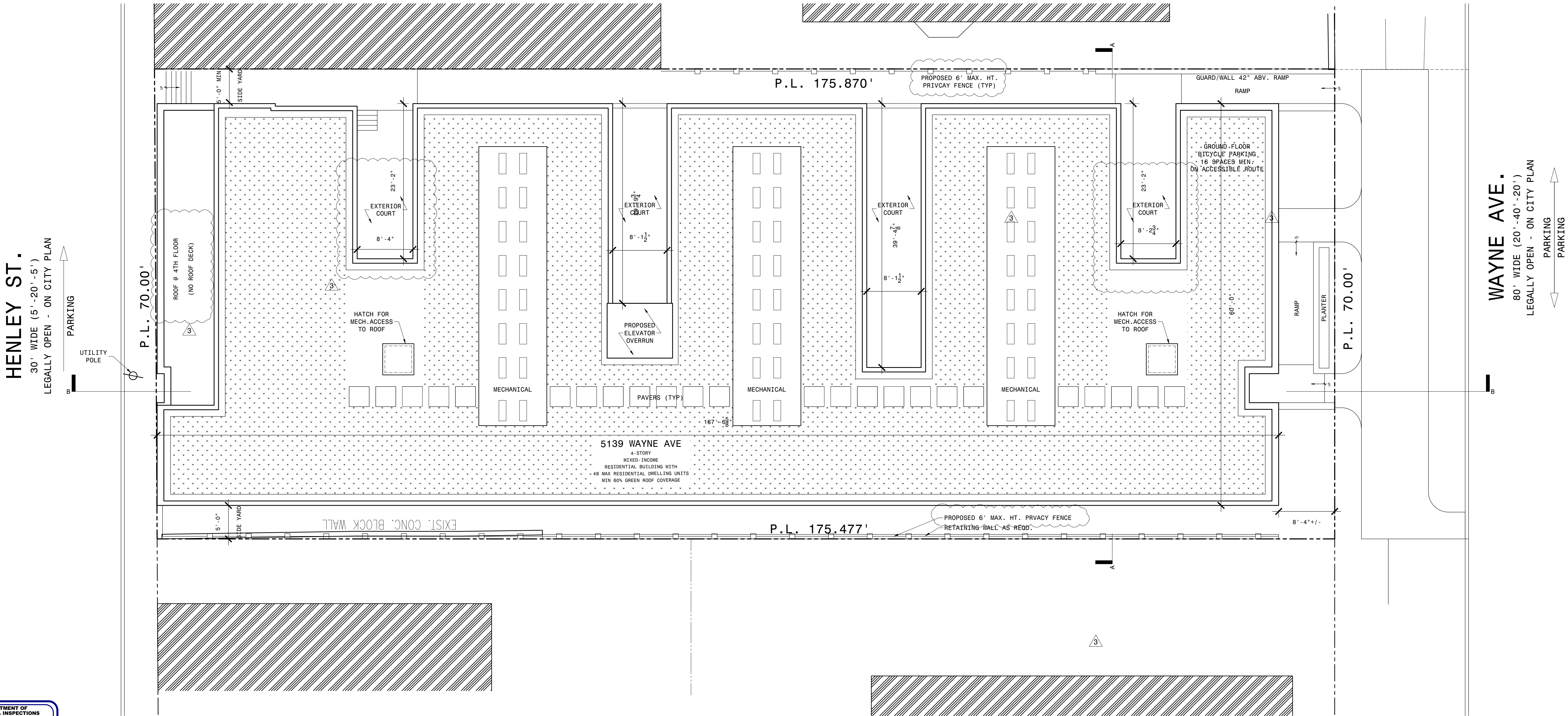
PAVEMENT RESTORATION LIMIT

UTILITY NOTES

1. ALL UTILITIES SHOWN ARE DIAGRAMMATIC & FOR REFERENCE ONLY.

2. ALL UTILITY INFORMATION & LOCATIONS SHALL BE DETERMINED BY CIVIL ENGINEER.

3. ALL SIZING SHOWN ARE ESTIMATES. FINAL SIZING SHALL BE DETERMINED BY M/E/P ENGINEER & COORDINATED WITH FINAL PLUMBING DRAWINGS AND PERMITS.



2 SITE PLAN

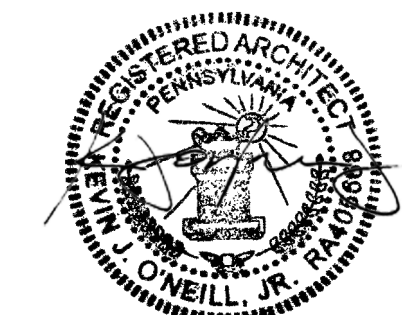
ALL PROPERTY LINE DIMENSIONS / METES & BOUNDS PER AVAILABLE DEED / SCHEDULE "C" TO BE VERIFIED BY CERTIFIED LAND SURVEYOR INCL. DISTANCES, ANGLES, RADII, ETC.

KJO ARCHITECTURE

KJO ARCHITECTURE LLC
2424 E. YORK ST. S110
PHILADELPHIA, PA 19125
P: 215.278.2245 F: 215.359.0603
www.kjoarchitecture.com

MULTI-FAMILY BUILDING
5139 WAYNE AVENUE
PHILADELPHIA, PA 19144

MULTI-FAMILY BUILDING
5139 WAYNE AVE.
PHILADELPHIA, PA 19144
OWNER/PROJECT CONTACT:
OMEGA HOME BUILDERS



THIS DRAWING(S) AND ITS ACCOMPANYING DOCUMENTS (AND ANY ASSOCIATED IDEAS AND DESIGNS) ARE THE SOLE PROPERTY OF KJO ARCHITECTURE, LLC AND ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE FURNISHED. KJO ARCHITECTURE, LLC HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND ALL PROPERTY RIGHTS IN THESE DRAWINGS, IDEAS AND DESIGNS. THE INFORMATION ON THIS SHEET IS NOT TO BE REPRODUCED, MODIFIED OR COPIED IN ANY MANNER. THE INFORMATION ON THIS SHEET IS NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF KJO ARCHITECTURE, LLC. NOTATED DIMENSIONS SHALL SUPERSEDE GRAPHICS; DRAWINGS ARE NOT TO BE SCALED. DRAWINGS VIEWED ELECTRONICALLY ARE NOT FOR CONSTRUCTION. ALL CONTRACTORS MUST HAVE FULL-SCALE HANDCOPY DRAWINGS FOR USE ON SITE DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD; IF DISCREPANCIES ARE FOUND, NOTIFY ALL INTERESTED PARTIES IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR SELECTING APPROPRIATE CONSTRUCTION PROCESSES, COORDINATING WORK WITH THAT OF ALL OTHER TRADES, AND PERFORMING WORK IN A SAFE MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

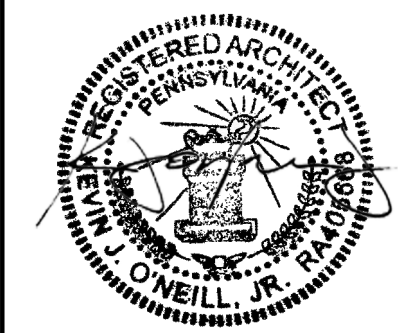
COPYRIGHT ©2020 KJO ARCHITECTURE, LLC.

ISSUED FOR:	DATE:
ZONING PERMIT	07.24.20
REVISION 1	08.21.20
REVISION 2	01.19.23
REVISION 3	02.20.25

SCALE: AS NOTED

SHEET SIZE: ARCH D 24X36
ZONING PLANS

Z-01



THIS DRAWING(S) AND ITS ACCOMPANYING DOCUMENTS (AND ANY ASSOCIATED IDEAS AND DECISIONS) ARE THE SOLE PROPERTY OF KJO ARCHITECTURE, LLC AND ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE FURNISHED. KJO ARCHITECTURE, LLC HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND ALL PROPERTY RIGHTS IN THESE DRAWINGS, IDEAS AND DECISIONS. THE INFORMATION ON THIS SHEET IS NOT TO BE REPRODUCED, MODIFIED OR COPIED IN ANY MANNER. THE INFORMATION ON THIS SHEET IS NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF KJO ARCHITECTURE, LLC. NOTATED DIMENSIONS SHALL SUPERCEDE GRAPHICS; DRAWINGS ARE NOT TO BE SCALED. DRAWINGS VIEWED ELECTRONICALLY ARE NOT FOR CONSTRUCTION. ALL CONTRACTORS MUST HAVE FULL-SCALE HANDCOPY DRAWINGS FOR USE ON SITE DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD; IF DISCREPANCIES ARE FOUND, NOTIFY ALL INTERESTED PARTIES IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR SELECTING APPROPRIATE CONSTRUCTION PROCESSES, COORDINATING WORK WITH THAT OF ALL OTHER TRADES, AND PERFORMING WORK IN A SAFE MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

COPYRIGHT 2025 KJO ARCHITECTURE, LLC.

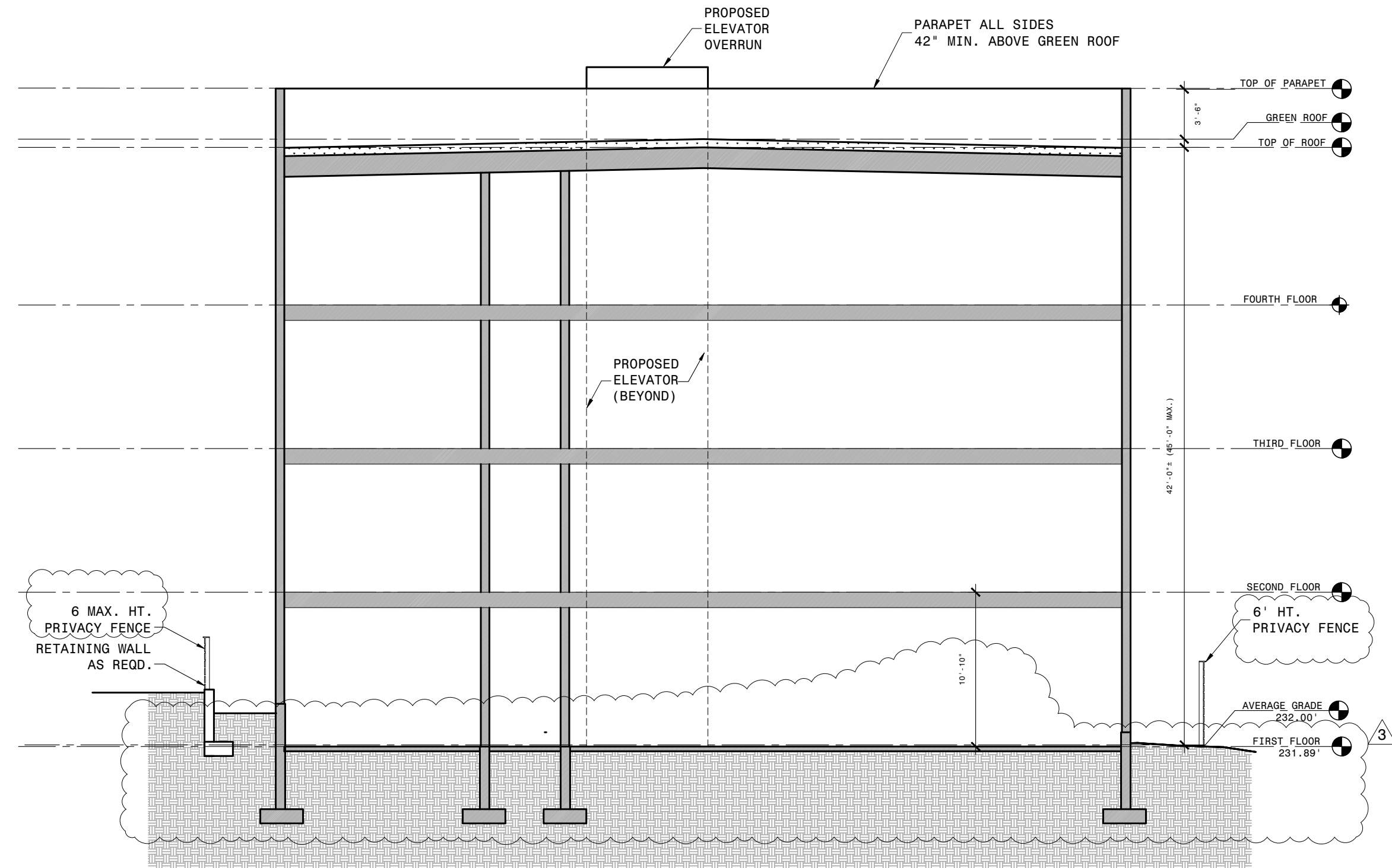
ISSUED FOR:	DATE:
ZONING PERMIT	07.24.20
REVISION 1	08.18.20
REVISION 2	01.19.23
REVISION 3	02.20.25

SCALE: AS NOTED

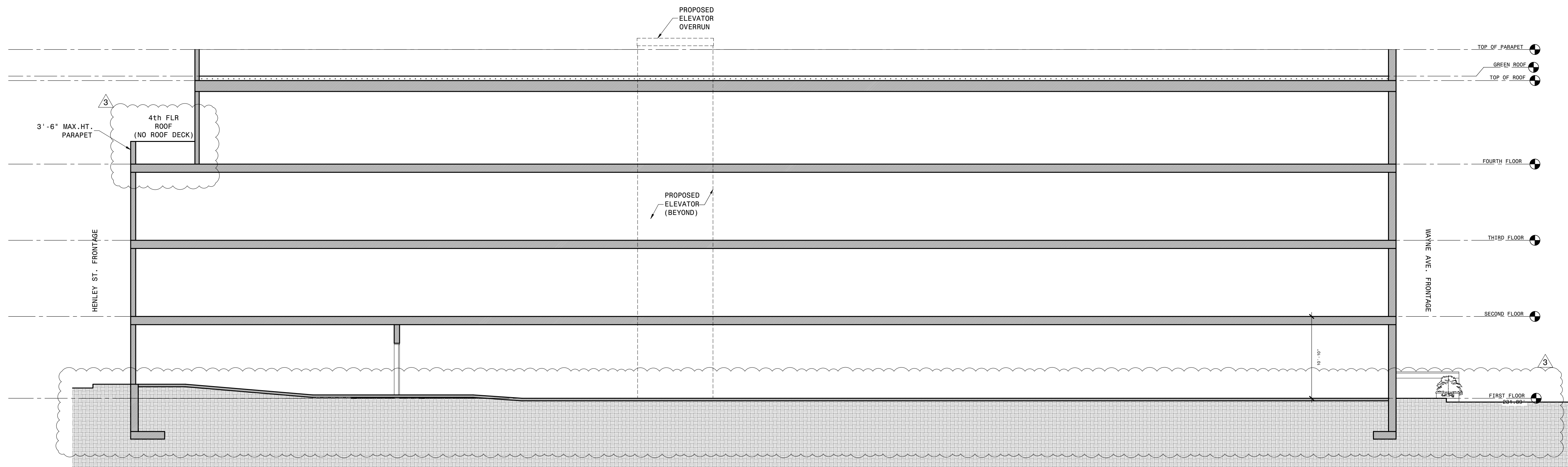
SHEET SIZE: ARCH D 24X36

ZONING PLANS

Z-02



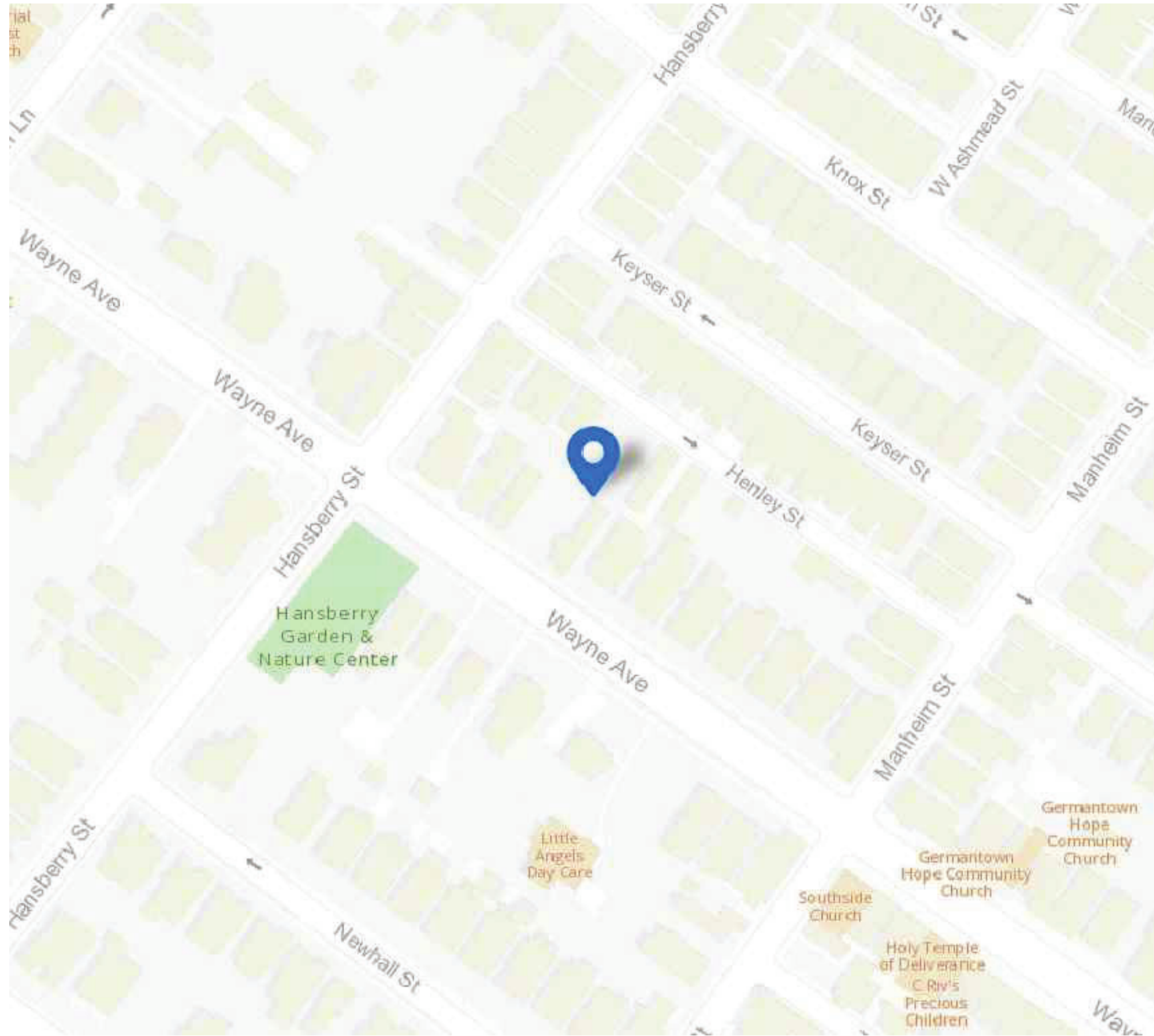
1 SECTION A-A
1/8" = 1'-0"



2 SECTION B-B
1/8" = 1'-0"



Applied by L&I: Richard Chen



Philadelphia City Planning Commission

#Date 08/226/2020
KEITH F DAVIS
MIXED INCOME BONUS

Development Planning

ZONING DATA		
RM-1		
	REQ'D/ALLOWED	PROPOSED/EXISTING
LOT AREA	1,440 SF	12,297.17 SF
LOT WIDTH	16'-0" MIN	70'-0"
OPEN AREA	25% MIN	3,346 SF (27.2%)
FRONT YARD DEPTH	8'-0"±/0'-0"	8'-0"±/0'-0"
SIDE YARD DEPTH	5'-0"	5'-0"
REAR YARD DEPTH	N/A	N/A
REAR YARD AREA	N/A	N/A
BUILDING HEIGHT	38'-0" MAX	45' MAX*
UNIT COUNT	26 UNITS MAX	48 UNITS MAX**
ROOF AREA	N/A	8,630 SF
GREEN ROOF AREA	60% MIN OF TOTAL***	5,368 SF (62%)
BICYCLE PARKING	16	16 MIN.

* 7'-0" HEIGHT INCREASE ALLOWED THROUGH COMPLIANCE WITH MIXED-INCOME HOUSING CRITERIA SET FORTH IN 14-702(7)

** UNIT INCREASE ALLOWED THROUGH COMPLIANCE WITH GREENROOF CONDITIONS SET FORTH IN 14-602(7) AND LOW-INCOME HOUSING CRITERIA SET FORTH IN 14-702(7)

GREEN ROOF BONUS: 26 UNITS * 1.25 = 32.5 UNITS
LOW-INCOME BONUS: 32 UNITS * 1.5 = 48.75 UNITS

LEGEND

GREEN ROOF

EXISTING CONSTRUCTION

OCCUPIED AREA

ROOF DECK

FENCE

PROPERTY LINE

PAVEMENT RESTORATION LIMIT

UTILITY NOTES

1. ALL UTILITIES SHOWN ARE DIAGRAMMATIC & FOR REFERENCE ONLY.

2. ALL UTILITY INFORMATION & LOCATIONS SHALL BE DETERMINED BY CIVIL ENGINEER.

3. ALL SIZING SHOWN ARE ESTIMATES. FINAL SIZING SHALL BE DETERMINED BY M/E/P ENGINEER & COORDINATED WITH FINAL PLUMBING DRAWINGS AND PERMITS.

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 BUSINESS DAYS BEFORE YOU DIG!
1-800-242-1776 OR 8-1-1
POCS SERIAL NO.: 20201832638
DATE: 07 / 01 / 2020

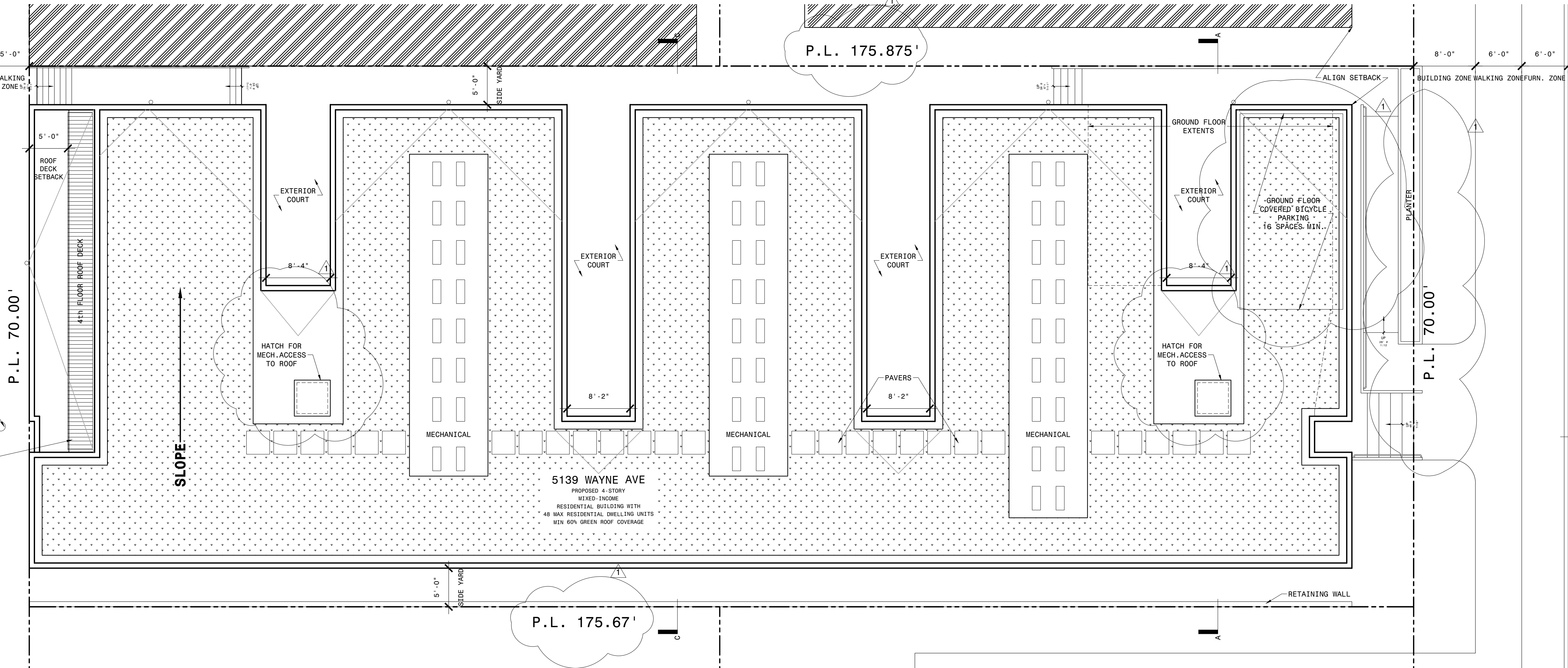
ALL LOCATION MEASUREMENTS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE BEFORE CONSTRUCTION BEGINS

1 LOCATION MAP
NTS

HENLEY ST.
30' WIDE (5'-20'-5')
LEGALLY OPEN - ON CITY PLAN

PARKING

UTILITY POLE
48" HIGH RAILING



WAYNE AVE.
80' WIDE (20'-40'-20')
LEGALLY OPEN - ON CITY PLAN

PARKING

APPROVED
FOR ZONING ONLY
09/03/20

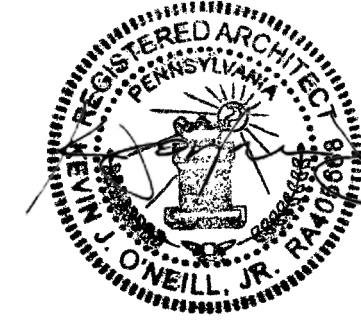
Applied Electronically by L&J User.

2 SITE PLAN
1/8" = 1'-0"

KJO
ARCHITECTURE
KJO ARCHITECTURE LLC
2424 E. YORK ST. S110
PHILADELPHIA, PA 19125
P: 215.278.2245 F: 215.359.0603
www.kjoarchitecture.com

MULTI-FAMILY BUILDING
5139 WAYNE AVENUE
PHILADELPHIA, PA 19144

MULTI-FAMILY BUILDING
5139 WAYNE AVE.
PHILADELPHIA, PA 19144
OWNER/PROJECT CONTACT:
ABE SILBER



THIS DRAWING(S) AND ITS ACCOMPANYING DOCUMENTS (AND ANY ASSOCIATED IDEAS AND DESIGNS) ARE THE SOLE PROPERTY OF KJO ARCHITECTURE, LLC AND ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE FURNISHED. KJO ARCHITECTURE, LLC HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND ALL PROPERTY RIGHTS IN THESE DRAWINGS, IDEAS AND DESIGNS. THE INFORMATION ON THIS SHEET IS NOT TO BE REPRODUCED, MODIFIED OR COPIED IN ANY MANNER. THE INFORMATION ON THIS SHEET IS NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF KJO ARCHITECTURE, LLC. NOTATED DIMENSIONS SHALL SUPERSEDE GRAPHICS; DRAWINGS ARE NOT TO BE SCALED. DRAWINGS VIEWED ELECTRONICALLY ARE NOT FOR CONSTRUCTION. ALL CONTRACTORS MUST HAVE FULL-SCALE HANDCOPY DRAWINGS FOR USE ON SITE DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD; IF DISCREPANCIES ARE FOUND, NOTIFY ALL INTERESTED PARTIES IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR SELECTING APPROPRIATE CONSTRUCTION PROCESSES, COORDINATING WORK WITH THAT OF ALL OTHER TRADES, AND PERFORMING WORK IN A SAFE MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

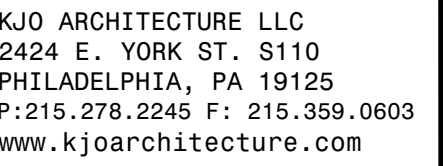
COPYRIGHT ©2020 KJO ARCHITECTURE, LLC.

ISSUED FOR:	DATE:
ZONING PERMIT	07.24.20
REVISION 1	08.21.20

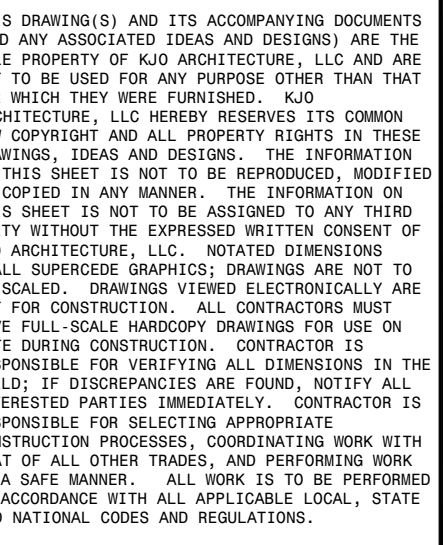
SCALE: AS NOTED
SHEET SIZE: ARCH D 24X36

ZONING PLANS

Z-01

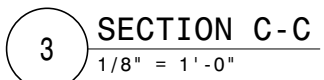
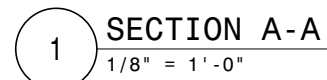


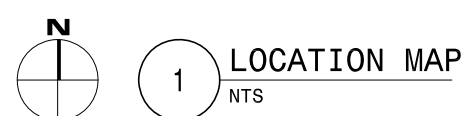
MULTI-FAMILY BUILDING
5139 WAYNE AVE
PHILADELPHIA, PA 19144
OWNER/PROJECT CONTACT:
ABE SILBER



SCALE: AS NOTED

Z - 02



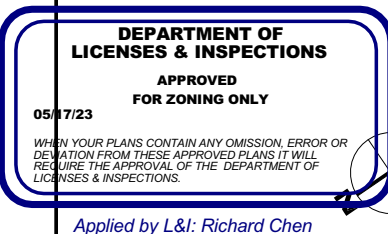
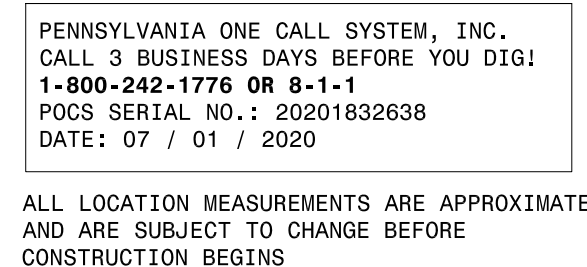


* 7'-0" HEIGHT INCREASE ALLOWED THROUGH COMPLIANCE WITH MIXED-INCOME HOUSING CRITERIA SET FORTH IN 14-702(7)

** UNIT INCREASE ALLOWED THROUGH COMPLIANCE WITH GREENROOF CONDITIONS SET FORTH IN 14-602(7) AND LOW-INCOME HOUSING CRITERIA SET FORTH IN 14-702(7)

GREEN ROOF BONUS: 26 UNITS * 1.25 = 32.5 UNITS
LOW-INCOME BONUS: 32 UNITS * 1.5 = 48.75 UNITS

*** SEE 14-602(7) FOR GREENROOF CONDITIONS



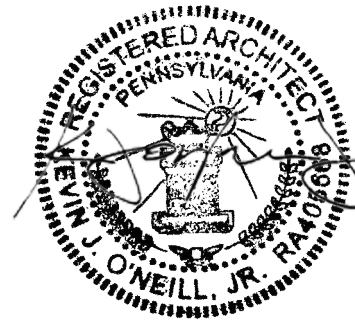
MULTI-FAMILY BUILDING
5139 WAYNE AVENUE
PHILADELPHIA, PA 19144

MULTI-FAMILY BUILDING

5139 WAYNE AVE

PHILADELPHIA, PA 19144

OWNER/PROJECT CONTACT:
SELECT REDEVELOPMENT



THIS DRAWING(S) AND ITS ACCOMPANYING DOCUMENTS (AND ANY ASSOCIATED IDEAS AND DESIGNS) ARE THE SOLE PROPERTY OF KJO ARCHITECTURE, LLC AND ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE FURNISHED. KJO ARCHITECTURE, LLC HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND ALL PROPERTY RIGHTS IN THESE DRAWINGS, IDEAS AND DESIGNS. THE INFORMATION ON THIS SHEET IS NOT TO BE REPRODUCED, MODIFIED OR COPIED IN ANY MANNER. THE INFORMATION ON THIS SHEET IS NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF KJO ARCHITECTURE, LLC. NOTATED DIMENSIONS SHALL SUPERCEDE GRAPHICS; DRAWINGS ARE NOT TO BE SCALED. DRAWINGS VIEWED ELECTRONICALLY ARE NOT FOR CONSTRUCTION. ALL CONTRACTORS MUST HAVE FULL-SCALE HARD COPY DRAWINGS FOR USE ON SITE DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD; IF DISCREPANCIES ARE FOUND, NOTIFY ALL INTERESTED PARTIES IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR SELECTING APPROPRIATE CONSTRUCTION PROCESSES, COORDINATING WORK WITH THAT OF ALL OTHER TRADES, AND PERFORMING WORK IN A SAFE MANNER. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

COPYRIGHT ©2020 KJO ARCHITECTURE, LLC.

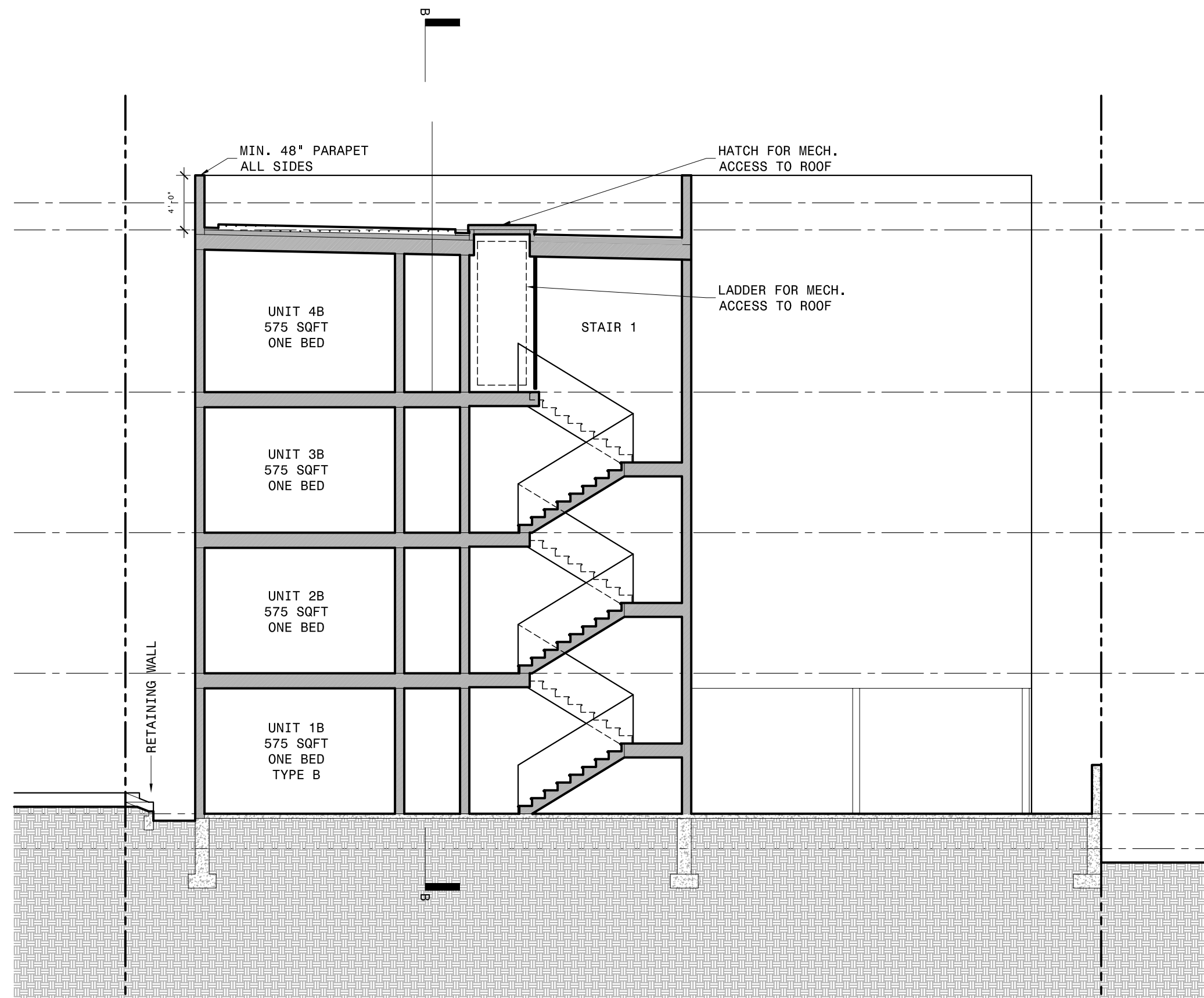
ISSUED FOR:	DATE:
ZONING PERMIT	07.24.20
REVISION 1	08.18.20
REVISION 2	01.19.23

SCALE: AS NOTED

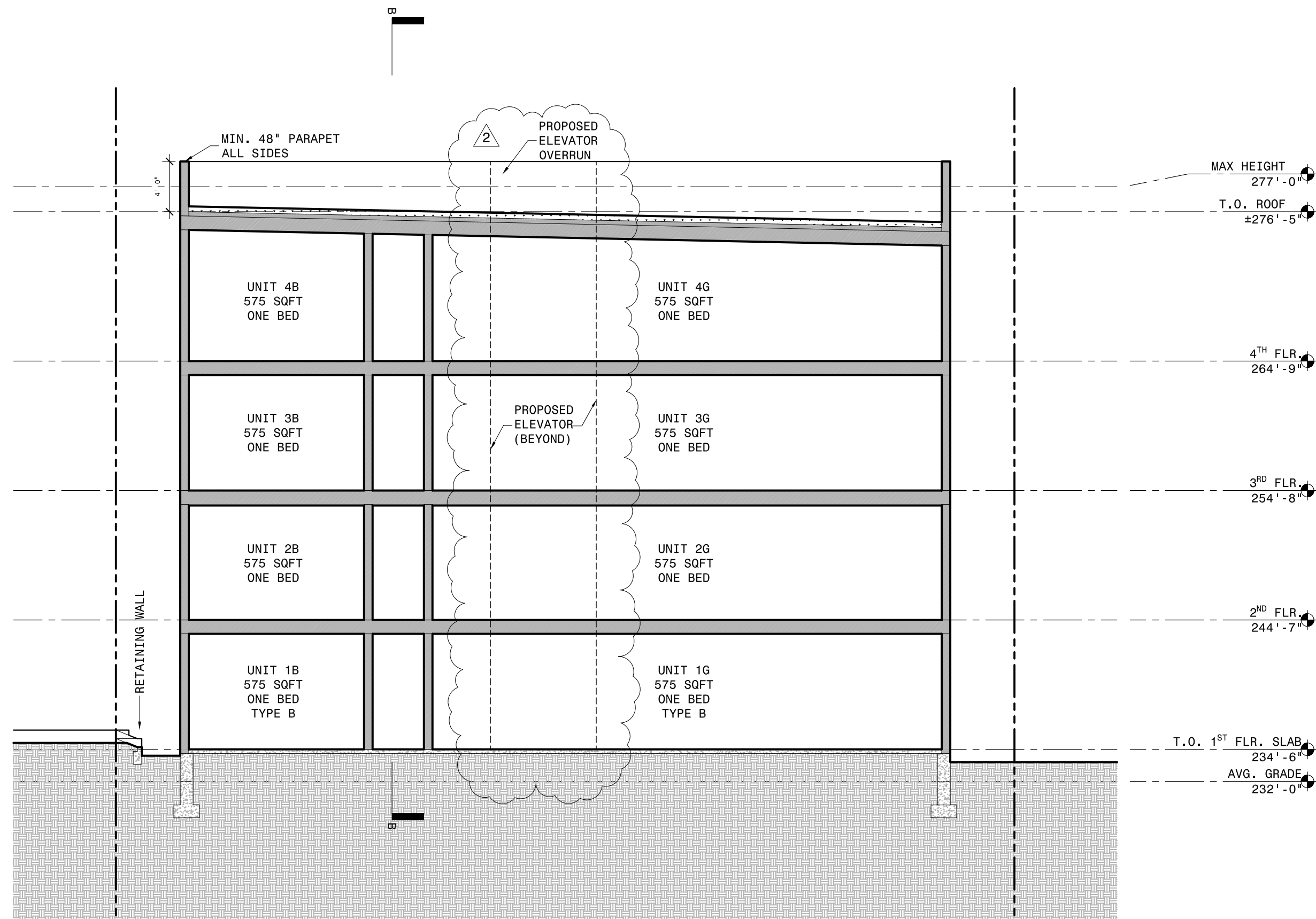
SHEET SIZE: ARCH D 24X36

ZONING PLANS

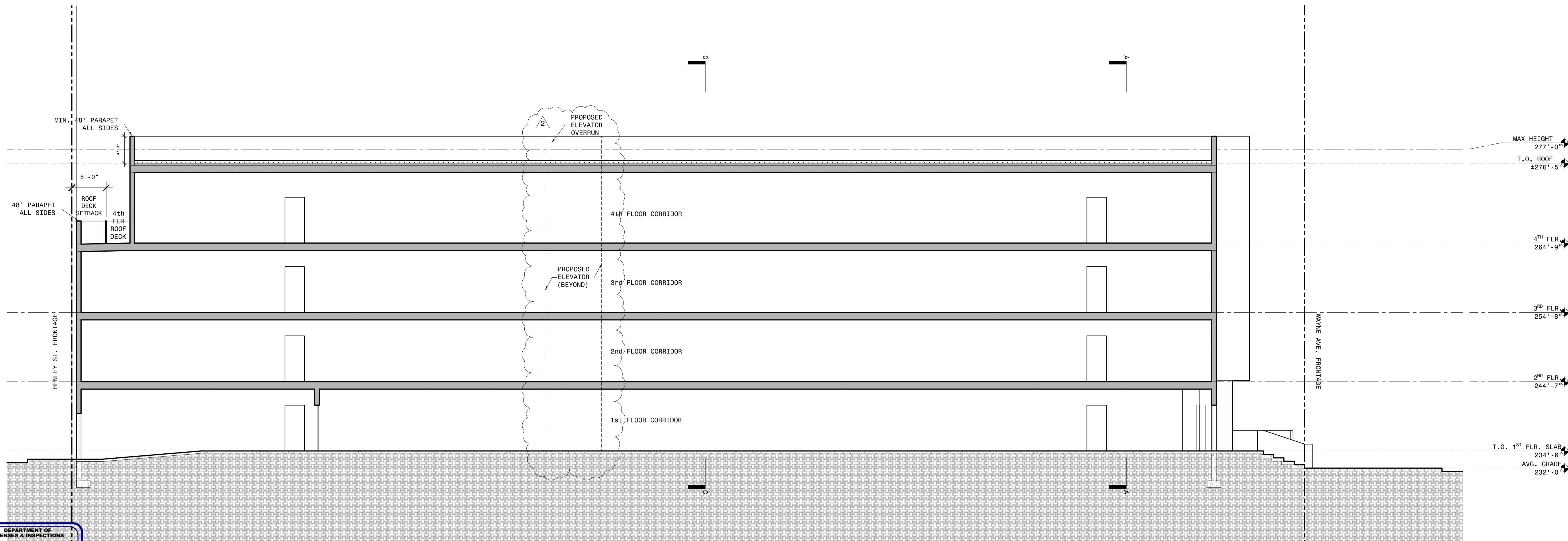
Z-02



1 SECTION A-A
1/8" = 1'-0"



3 SECTION C-C
1/8" = 1'-0"



2 SECTION B-B
1/8" = 1'-0"



Applied by L&I: Richard Chen