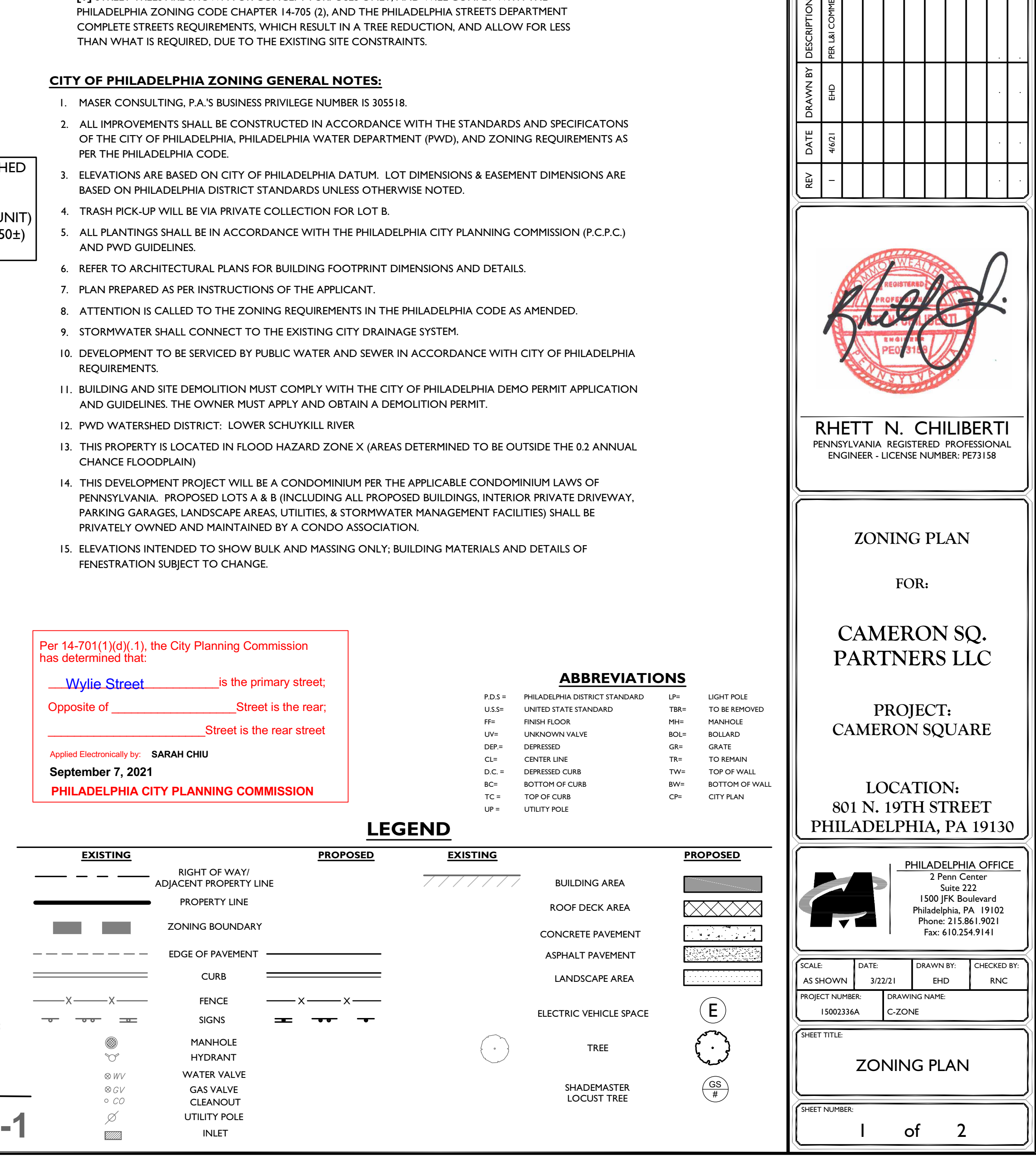
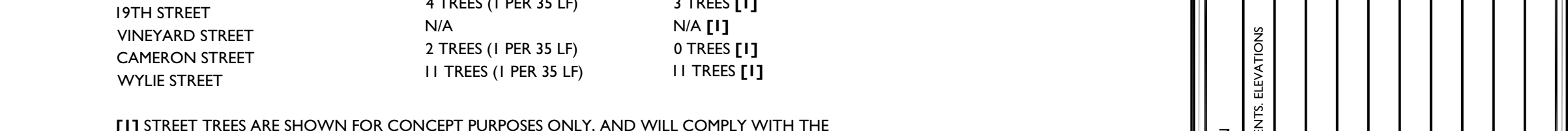
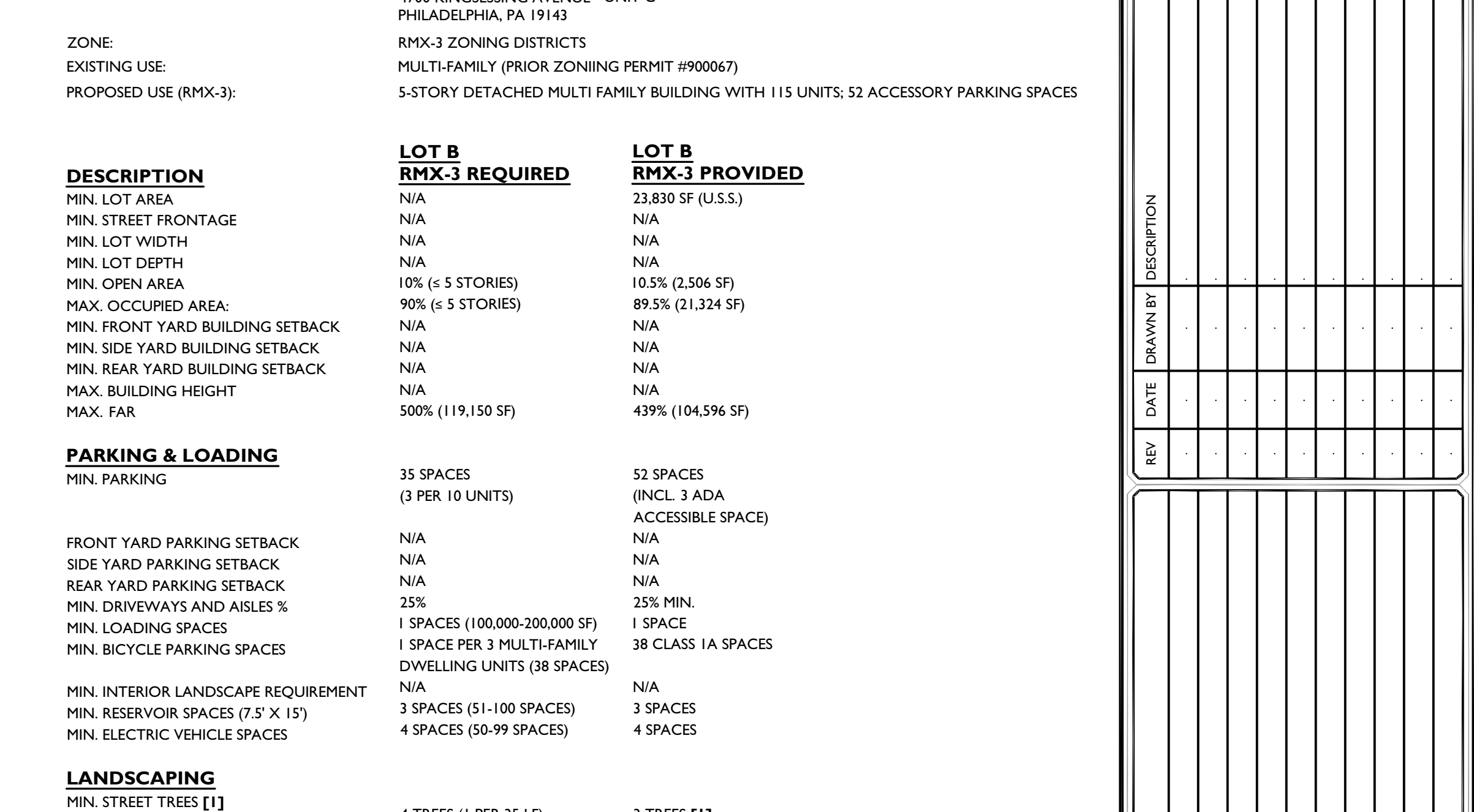
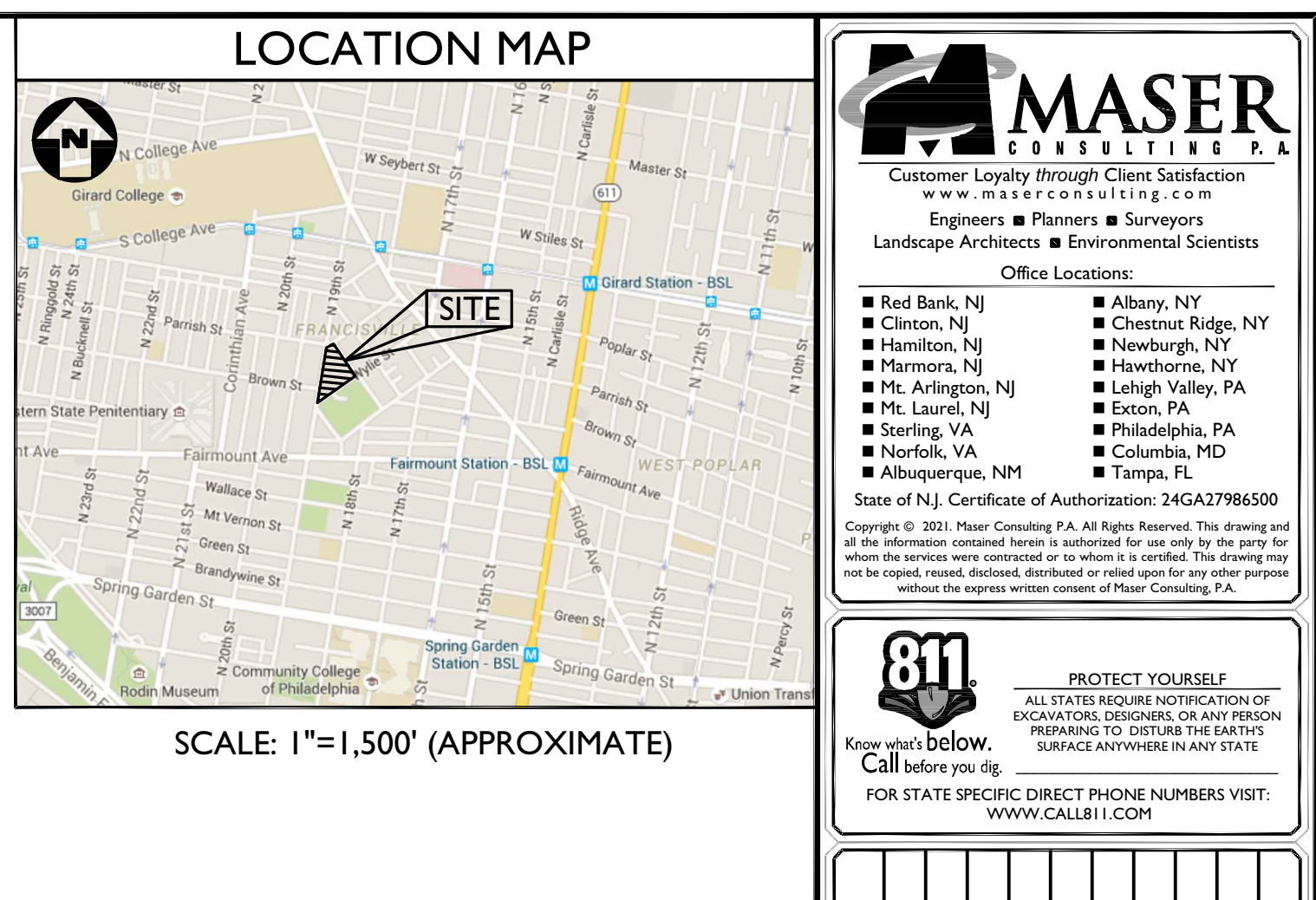


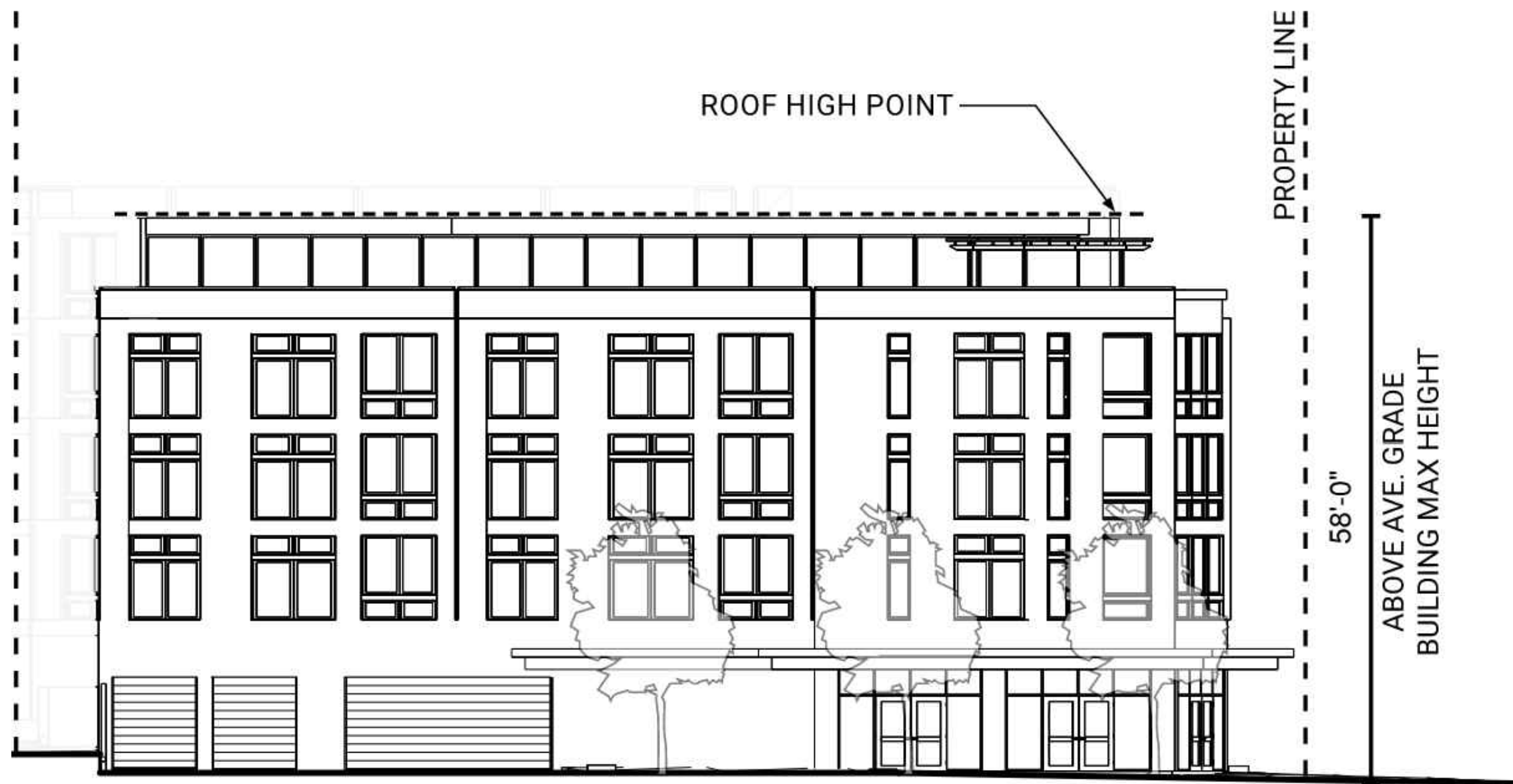




WYLIE STREET ELEVATION

N.T.S.

NOTE: ELEVATIONS INTENDED TO SHOW BULK AND MASSING ONLY; BUILDING MATERIALS AND DETAILS OF FENESTRATION SUBJECT TO CHANGE.



19TH STREET ELEVATION

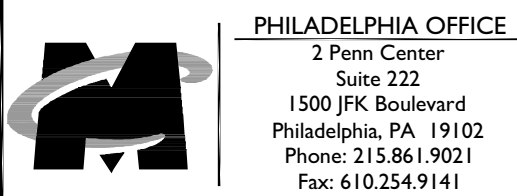
N.T.S.

NOTE: ELEVATIONS INTENDED TO SHOW BULK AND MASSING ONLY; BUILDING MATERIALS AND DETAILS OF FENESTRATION SUBJECT TO CHANGE.



RHETT N. CHILIBERTI
PENNSYLVANIA REGISTERED PROFESSIONAL
ENGINEER - LICENSE NUMBER: PE73158

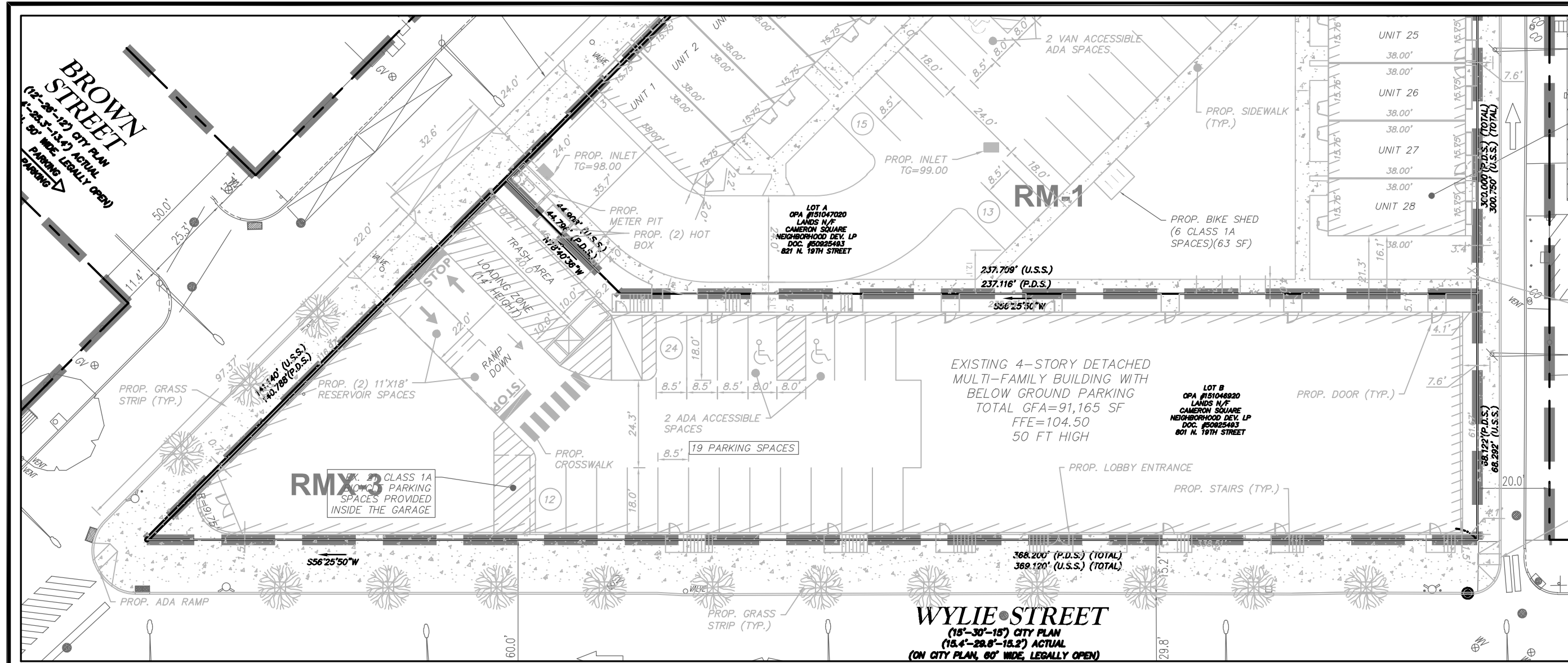
ZONING PLAN
FOR:
**CAMERON SQ.
PARTNERS LLC**
PROJECT:
CAMERON SQUARE
LOCATION:
**801 N. 19TH STREET
PHILADELPHIA, PA 19130**



SCALE: AS SHOWN	DATE: 3/22/21	DRAWN BY: EHD	CHECKED BY: RNC
PROJECT NUMBER: 15002336A	DRAWING NAME: C-ZONE		

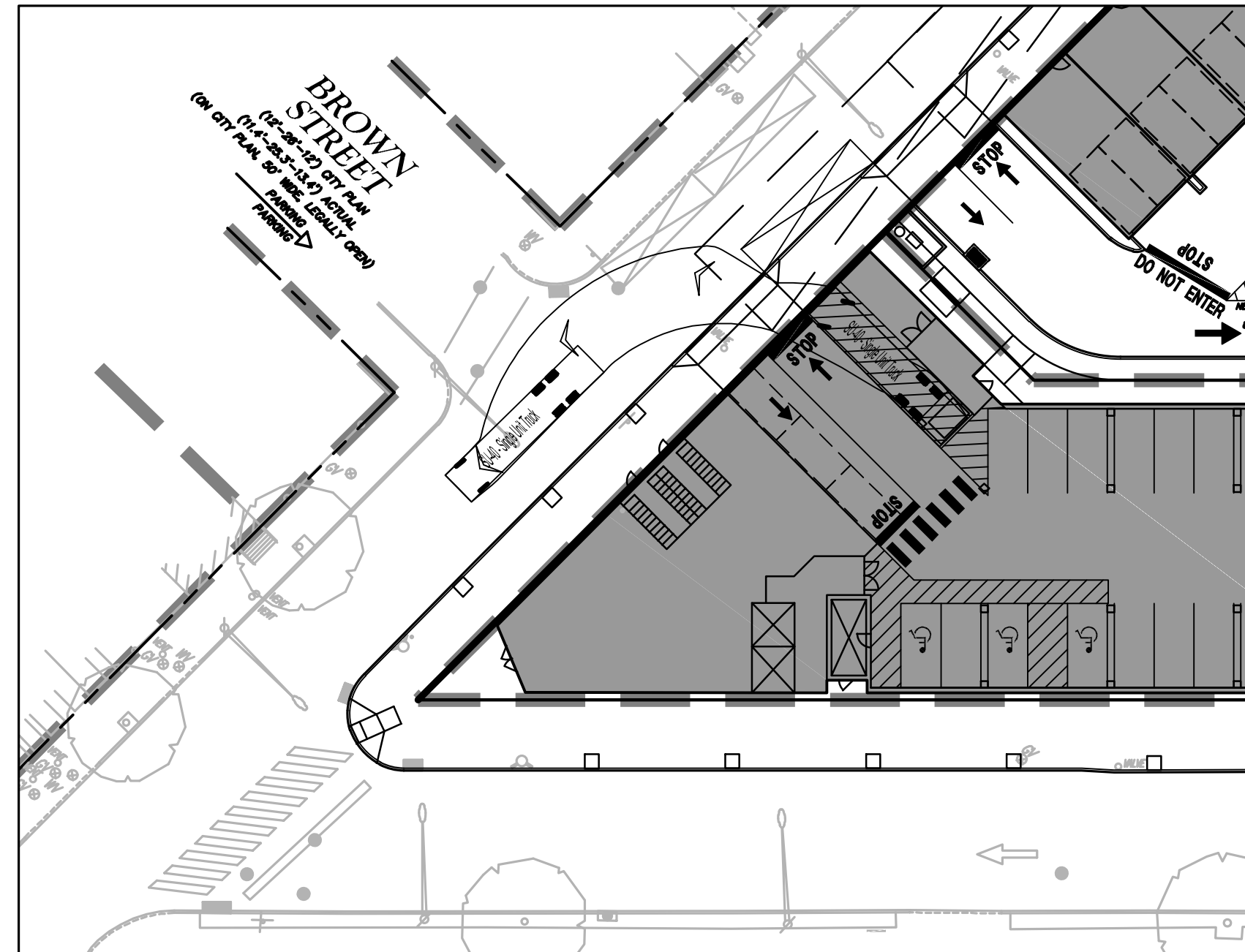
SHEET TITLE:
ZONING ELEVATIONS

SHEET NUMBER:
2 of 2



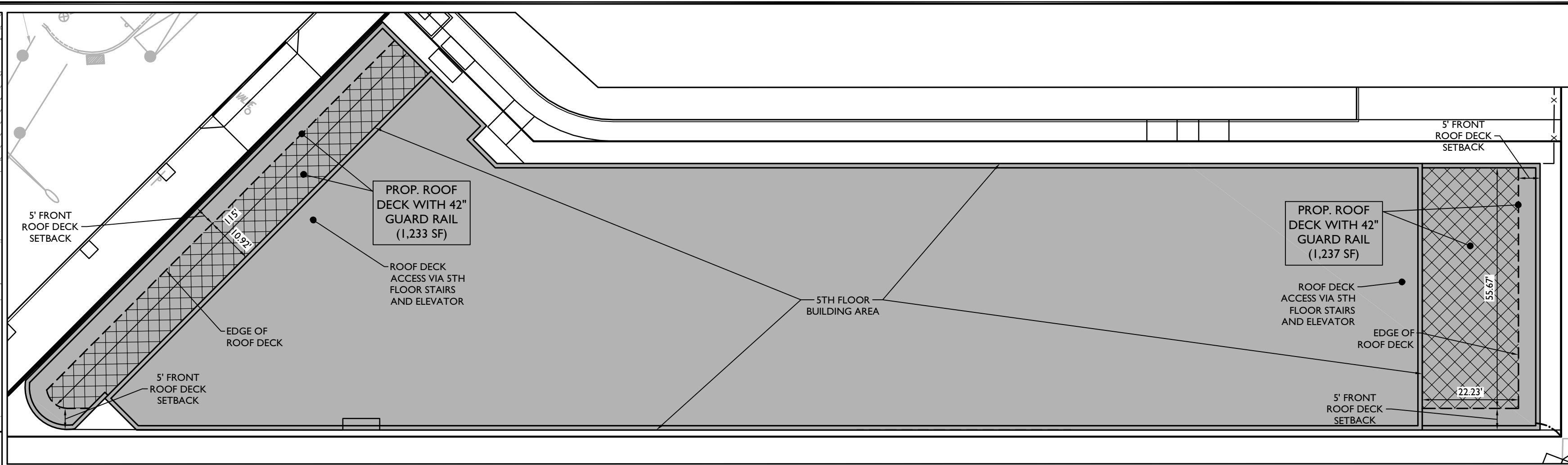
EXISTING CONDITIONS VIEW - LOT B*

(* BASED ON PREVIOUSLY APPROVED ZONING PERMIT #900067)



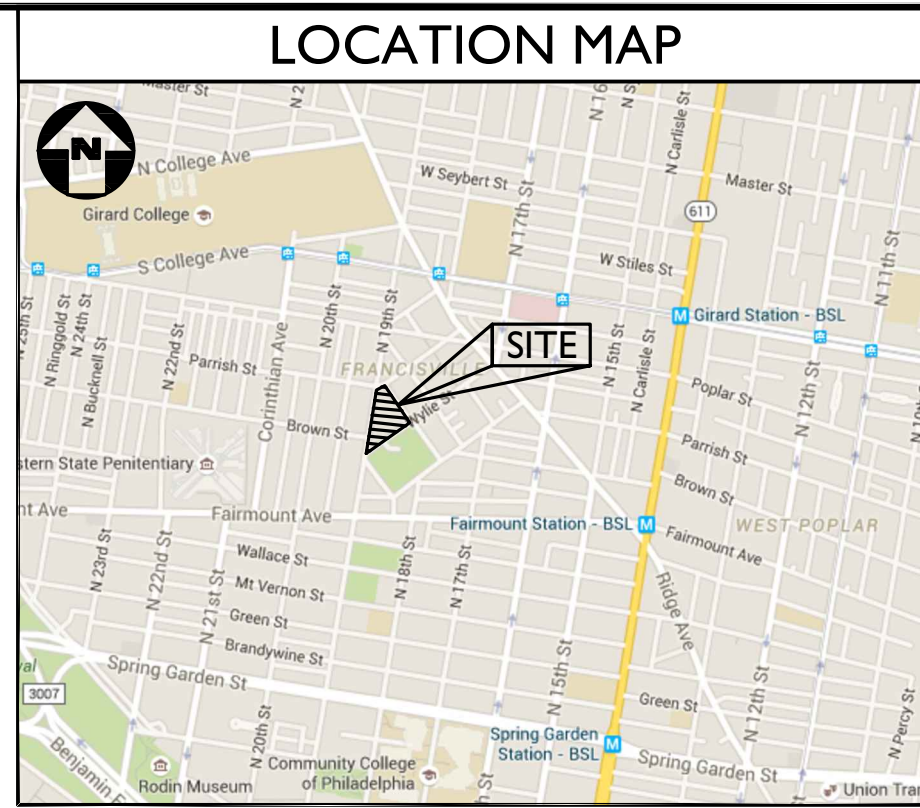
SU-40 LOADING TRUCK CIRCULATION VIEW

SCALE: 1" = 30'



ROOF DECK VIEW

SCALE: 1" = 20'



SCALE: 1" = 1,500' (APPROXIMATE)

ZONING REQUIREMENTS

PROJECT/MUNICIPALITY : 801 N. 19TH STREET (LOT B)
CITY OF PHILADELPHIA
PHILADELPHIA COUNTY, PENNSYLVANIA

EQUITABLE OWNER/APPLICANT: CAMERON SQ. PARTNERS LLC
4700 KINGSESSING AVENUE - UNIT C
PHILADELPHIA, PA 19143

ZONE: RMX-3 ZONING DISTRICTS
EXISTING USE: MULTI-FAMILY (PRIOR ZONING PERMIT #900067)
PROPOSED USE (RMX-3): 5-STORY DETACHED MULTI FAMILY BUILDING WITH 115 UNITS; 52 ACCESSORY PARKING SPACES

DESCRIPTION	LOT B RMX-3 REQUIRED	LOT B RMX-3 PROVIDED
MIN. LOT AREA	N/A	23,830 SF (U.S.S.)
MIN. STREET FRONTAGE	N/A	N/A
MIN. LOT WIDTH	N/A	N/A
MIN. LOT DEPTH	N/A	N/A
MIN. OPEN AREA	10% (5 STORIES)	10.5% (5,596 SF)
MAX. OCCUPIED AREA	90% (5 STORIES)	89.5% (21,324 SF)
MIN. FRONT YARD BUILDING SETBACK	N/A	N/A
MIN. SIDE YARD BUILDING SETBACK	N/A	N/A
MIN. REAR YARD BUILDING SETBACK	N/A	N/A
MAX. BUILDING HEIGHT	N/A	N/A
MAX. FAR	500% (119,150 SF)	439% (104,596 SF)
PARKING & LOADING		
MIN. PARKING	35 SPACES (3 PER 10 UNITS)	52 SPACES (INCL. 3 ADA ACCESSIBLE SPACE)
FRONT YARD PARKING SETBACK	N/A	N/A
SIDE YARD PARKING SETBACK	N/A	N/A
REAR YARD PARKING SETBACK	N/A	N/A
MIN. DRIVEWAYS AND AISLES %	25%	25% MIN.
MIN. LOADING SPACES	1 SPACE PER 3 MULTI-FAMILY DWELLING UNITS (38 SPACES)	1 SPACE
MIN. BICYCLE PARKING SPACES	N/A	38 CLASS 1A SPACES
MIN. INTERIOR LANDSCAPE REQUIREMENT	N/A	N/A
MIN. RESERVOR SPACES (7.5' X 15')	3 SPACES (\$1-100 SPACES)	3 SPACES
MIN. ELECTRIC VEHICLE SPACES	4 SPACES (\$0-99 SPACES)	4 SPACES
LANDSCAPING		
MIN. STREET TREES [1]	4 TREES (1 PER 35 SF)	3 TREES [1]
19TH STREET	N/A	N/A [1]
VINEYARD STREET	2 TREES (1 PER 35 SF)	0 TREES [1]
CAMERON STREET	11 TREES (1 PER 35 SF)	11 TREES [1]
WYLLIE STREET		

[1] STREET TREES ARE SHOWN FOR CONCEPT PURPOSES ONLY, AND WILL COMPLY WITH THE PHILADELPHIA ZONING CODE CHAPTER 14-705 (2), AND THE PHILADELPHIA STREETS DEPARTMENT COMPLETE STREETS REQUIREMENTS, WHICH RESULT IN A TREE REDUCTION, AND ALLOW FOR LESS THAN WHAT IS REQUIRED, DUE TO THE EXISTING SITE CONSTRAINTS.

CITY OF PHILADELPHIA ZONING GENERAL NOTES:

- MASER CONSULTING, P.A.'S BUSINESS PRIVILEGE NUMBER IS 305518.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PHILADELPHIA, PHILADELPHIA WATER DEPARTMENT (PWD), AND ZONING REQUIREMENTS AS PER THE PHILADELPHIA CODE.
- ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA DISTRICT STANDARDS UNLESS OTHERWISE NOTED.
- TRASH PICK-UP WILL BE VIA PRIVATE COLLECTION FOR LOT B.
- ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE PHILADELPHIA CITY PLANNING COMMISSION (P.C.P.C.) AND PWD GUIDELINES.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS AND DETAILS.
- PLAN PREPARED AS PER INSTRUCTIONS OF THE APPLICANT.
- ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED.
- STORMWATER SHALL CONNECT TO THE EXISTING CITY DRAINAGE SYSTEM.
- DEVELOPMENT TO BE SERVICED BY PUBLIC WATER AND SEWER IN ACCORDANCE WITH CITY OF PHILADELPHIA REQUIREMENTS.
- BUILDING AND SITE DEMOLITION MUST COMPLY WITH THE CITY OF PHILADELPHIA DEMO PERMIT APPLICATION AND GUIDELINES. THE OWNER MUST APPLY AND OBTAIN A DEMOLITION PERMIT.
- PWD WATERSHED DISTRICT: LOWER SCHUYLKILL RIVER
- THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOODPLAIN)
- THIS DEVELOPMENT PROJECT WILL BE A CONDOMINIUM PER THE APPLICABLE CONDOMINIUM LAWS OF PENNSYLVANIA. PROPOSED LOTS A & B (INCLUDING ALL PROPOSED BUILDINGS, INTERIOR PRIVATE DRIVEWAY, PARKING GARAGES, LANDSCAPE AREAS, UTILITIES, & STORMWATER MANAGEMENT FACILITIES) SHALL BE PRIVATELY OWNED AND MAINTAINED BY A CONDO ASSOCIATION.
- ELEVATIONS INTENDED TO SHOW BULK AND MASSING ONLY; BUILDING MATERIALS AND DETAILS OF FENESTRATION SUBJECT TO CHANGE.

ABBREVIATIONS

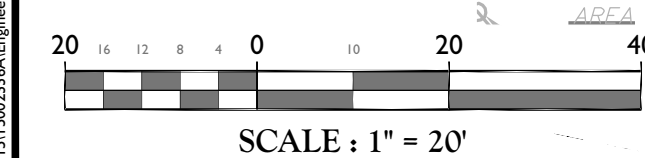
PDS =	PHILADELPHIA DISTRICT STANDARD	LPH =	LIGHT POLE
USPS =	UNITED STATES STANDARD	TRM =	TO BE REMOVED
PH =	FRONT PORCH	MANH =	MANHOLE
UN =	UNKNOWN VALVE	BOL =	BOLARD
DIP =	DEPRESSED	GR =	GRATE
CL =	CENTER LINE	TR =	TO BE REMOVED
D.C. =	DEPRESSED CURB	TW =	TOP OF WALL
BC =	BOTTOM OF CURB	BW =	BOTTOM OF WALL
TC =	TOP OF CURB	CT =	CITY TRAIL
UP =	UTILITY POLE		

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
RIGHT OF WAY/ADJACENT PROPERTY LINE	PROPERTY LINE	BUILDING AREA	ROOF DECK AREA
ZONING BOUNDARY		CONCRETE PAVEMENT	ASPHALT PAVEMENT
EDGE OF PAVEMENT		LANDSCAPE AREA	
CURB		ELECTRIC VEHICLE SPACE	
FENCE		TREE	
SIGNS		SHADEMASTER LOCUST TREE	
MANHOLE			
HYDRANT			
WATER VALVE			
GAS VALVE			
CLEANOUT			
UTILITY POLE			
INLET			

APPROVED FOR ZONING ONLY 02/25/21

Printed Electronically by L&L User:



SP-PO-A

PROPOSED 5-STORY DETACHED MULTI-FAMILY BUILDING WITH UNDERGROUND PARKING GARAGE (TOTAL GFA=104,596 SF) FFE=105.58±; BFE=94.94±; 58 FT BLDG HEIGHT±

WYLLIE STREET

(15'-30'-15') CITY PLAN (15'-30'-15') ACTUAL (ON CITY PLAN, 60' WIDE, LEGALLY OPEN)

PARKING

RM-1

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- Columbia, MD
- Tampa, FL

State of NJ Certificate of Authorization: JAC07996500

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FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DRAWN BY	DESCRIPTION
1	4/20/21	PHILADELPHIA COMMENTS ELEVATIONS	

RHETT N. CHILBERTI
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER - LICENSE NUMBER: PE73158

ZONING PLAN

FOR:

CAMERON SQ. PARTNERS LLC

PROJECT: CAMERON SQUARE

LOCATION: 801 N. 19TH STREET PHILADELPHIA, PA 19130

PHILADELPHIA OFFICE

2 Penn Center
Suite 222
1500 JFK Boulevard
Philadelphia, PA 19102
Phone: 215.861.9021
Fax: 610.254.9141

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	3/22/21	EHD	RNC

PROJECT NUMBER	DRAWING NAME
15002336A	C-ZONE

SHEET TITLE:

ZONING PLAN

SHEET NUMBER:

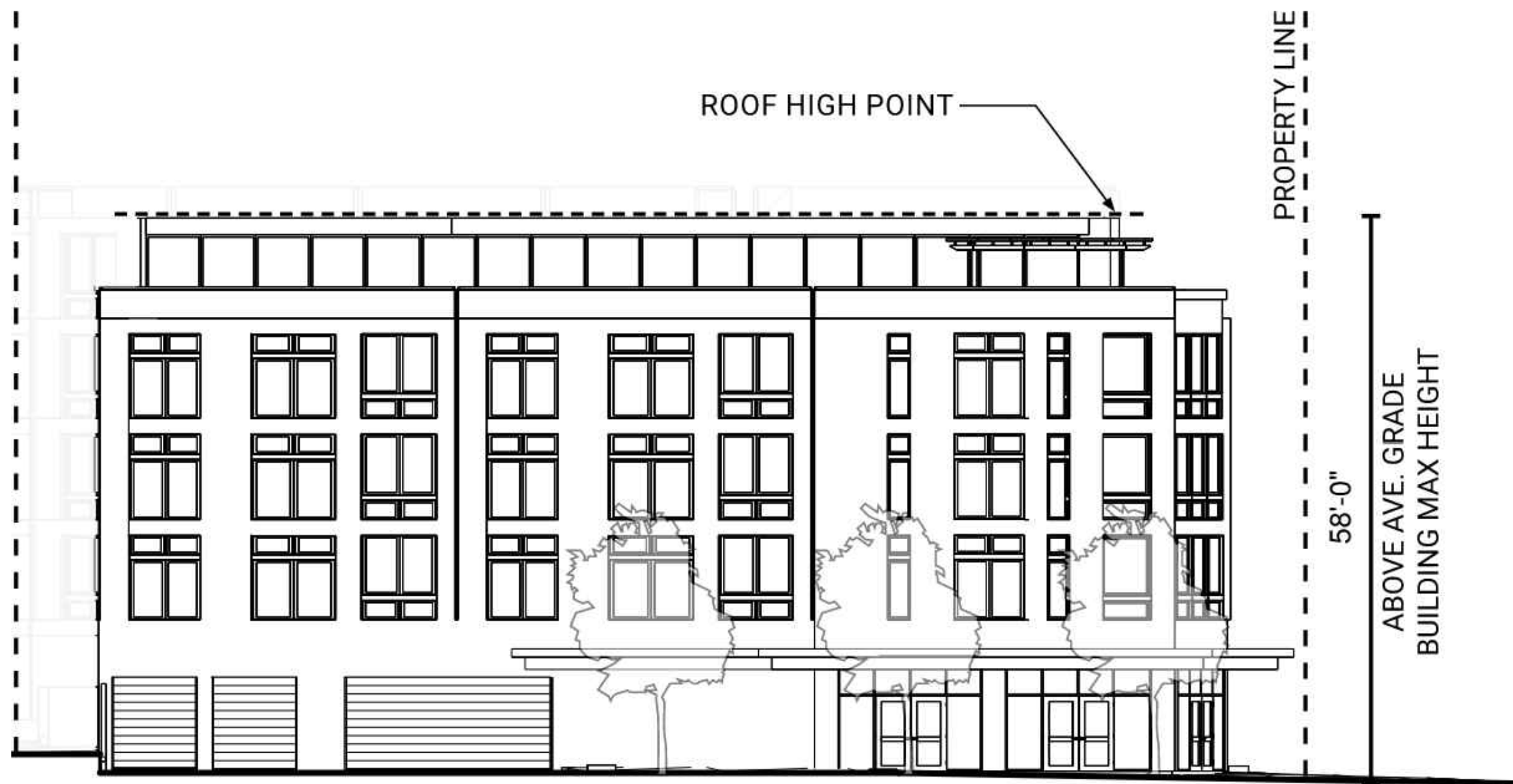
1 of 2



WYLIE STREET ELEVATION

N.T.S.

NOTE: ELEVATIONS INTENDED TO SHOW BULK AND MASSING ONLY; BUILDING MATERIALS AND DETAILS OF FENESTRATION SUBJECT TO CHANGE.



19TH STREET ELEVATION

N.T.S.

NOTE: ELEVATIONS INTENDED TO SHOW BULK AND MASSING ONLY; BUILDING MATERIALS AND DETAILS OF FENESTRATION SUBJECT TO CHANGE.

Zoning Permit

Permit Number ZP-2021-003112

LOCATION OF WORK 801 N 19TH ST, Philadelphia, PA 19130-2001	PERMIT FEE \$1,922.00	DATE ISSUED 8/26/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RMX3 RM1	

PERMIT HOLDER CAMERON SQUARE, NEIGHBORHOOD DEV LP	707 EAGLEVIEW BLVD 4TH FLOOR EXTON PA 19341
--	---

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE ERECTION OF ONE(1) DETACHED STRUCTURE WITH TWO(2) ROOF DECKS AND ACCESS BY A PILOTHOUSE . SIZE AND LOCATION AS SHOWN IN THE APPLICATION.
--

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-003112

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

801 N 19TH ST, Philadelphia, PA 19130-2001

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A MULTI-FAMILY HOUSEHOLD LIVING(115 DWELLING UNITS) WITH FIFTY-TWO(52) ACCESSORY UNDERGROUND PARKING SPACES INCLUDING WITH THREE(3) ACCESSIBLE SPACES; FOUR(4) ELECTRIC VAN SPACES ; THREE(3) RESERVOIR SPACES AND THIRTY-EIGHT(38) 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE.*AMENDED APPLICATION*: AMENDMENT TO ZONING PERMIT TO REVISE UNDERGROUND GARAGE PARKING CONFIGURATION OF PREVIOUSLY APPROVED PERMIT . THE TOTAL# OF PARKING SPACES REMAINS THE SAME.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.