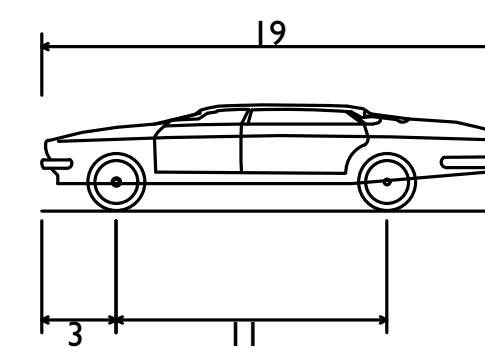
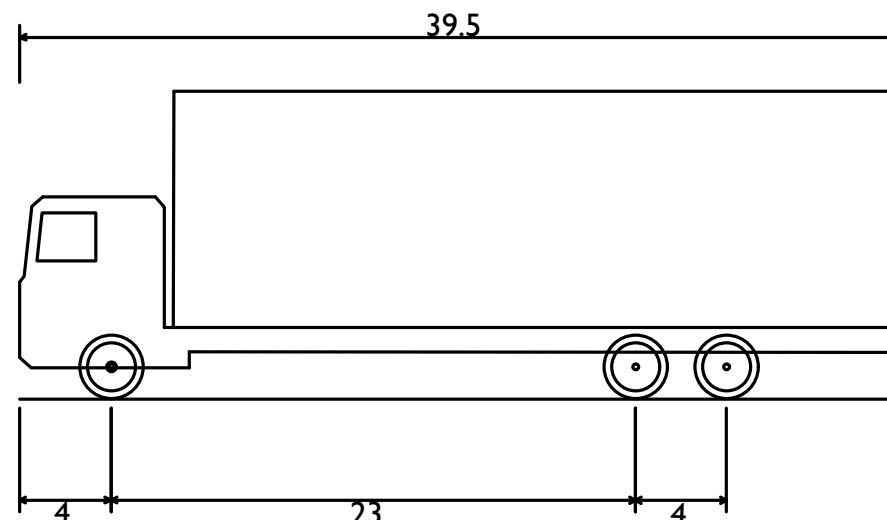
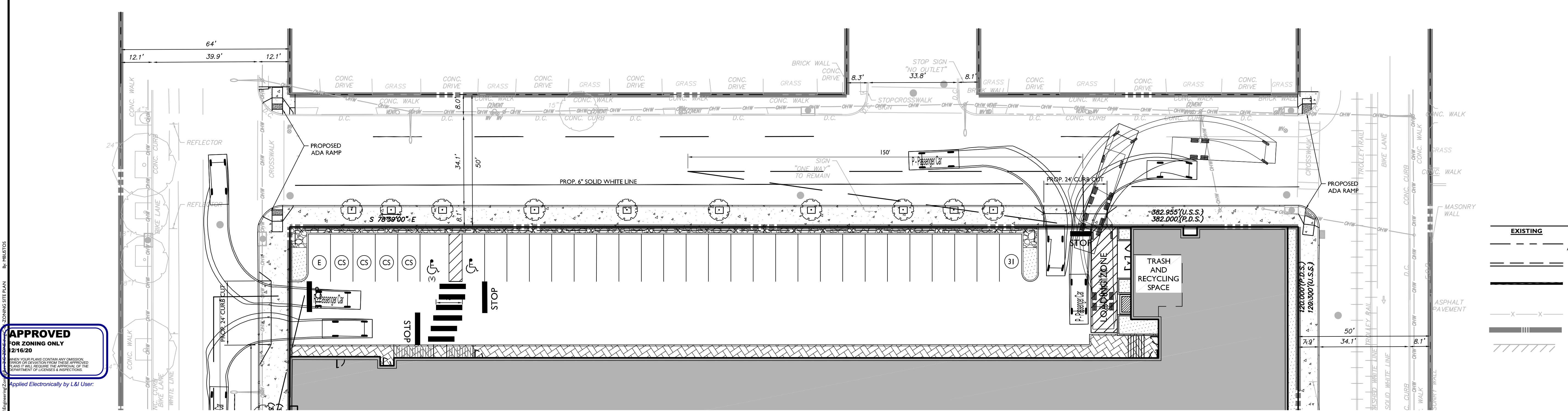




P - Passenger Car	
Overall Length	19.000ft
Overall Width	7.000ft
Overall Body Height	4.300ft
Min Body Ground Clearance	1.115ft
Track Width	6.000ft
Lock-to-lock time	4.00s
Max Steering Angle (Virtual)	31.60°



SU-40 - Single Unit Truck	
Overall Length	39.500ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°



ABBREVIATIONS

P.D.S =	PHILADELPHIA DISTRICT STANDARD	TBR=	TO BE REMOVED
U.S.S=	UNITED STATE STANDARD	MH=	MANHOLE
FF=	FINISH FLOOR	BOL=	BOLLARD
UV=	UNKNOWN VALVE	GR=	GRATE
DEP.#	DEPRESSED	TR=	TO REMAIN
CL=	CENTER LINE	TW=	TOP OF WALL
D.C. =	DEPRESSED CURB	BW=	BOTTOM OF WALL
BC=	BOTTOM OF CURB	CP=	CITY PLAN
TC =	TOP OF CURB	E=	ELECTRIC CAR
UP =	UTILITY POLE	CS=	CAR SHARE
LP=	LIGHT POLE		

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
			DIRECTION OF TRAFFIC FLOW
			MANHOLE
			HYDRANT
			STREET LIGHT
			TREE
			WATER VALVE
			GAS VALVE
			CLEANOUT
			UNKNOWN VALVE
			VENT
			TRAFFIC SIGNAL POLE
			UTILITY POLE
			UTILITY POLE W/ STREET LIGHT
			INLET
			
			
			
			

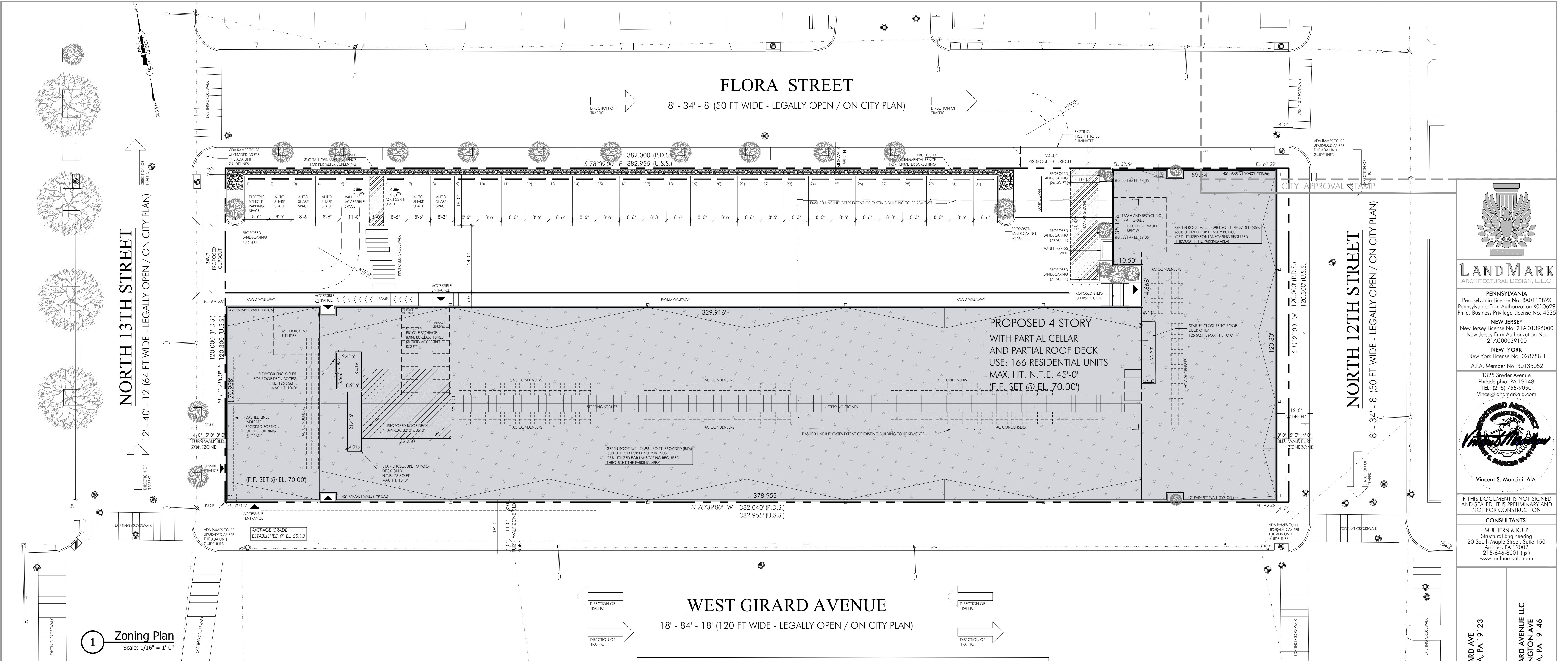
(31)

APPROVED
FOR ZONING ONLY
12/16/20

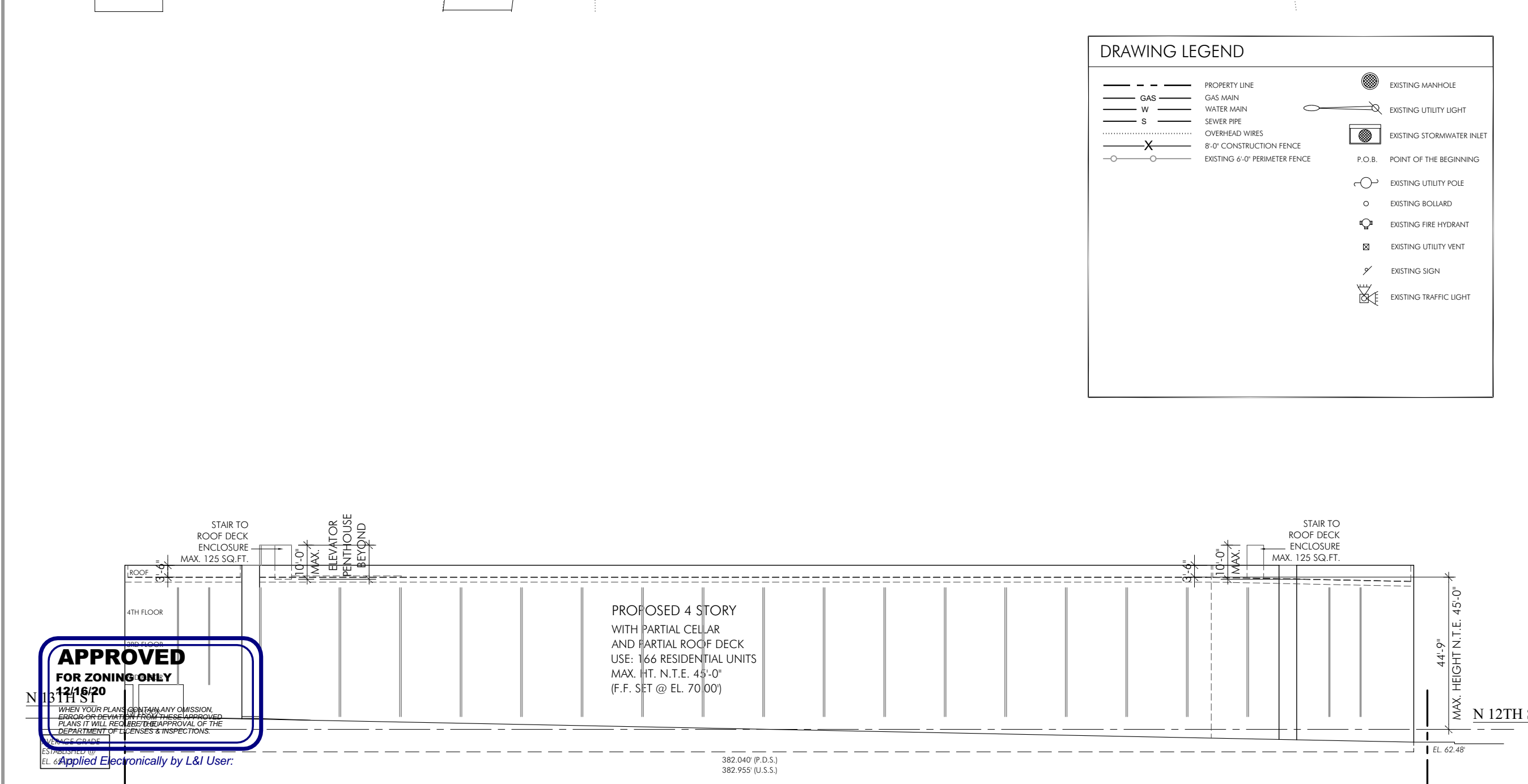
WHEN YOUR PLANS CONTAIN ANY OMISSION,
ERROR OR DEVIATION FROM THESE APPROVED
PLANS IT WILL REQUIRE THE APPROVAL OF THE
SUBMITTER OF LICENSES & INSPECTIONS.

Applied Electronically by L&I User:

P-VEHICLE CIRCULATION EXHIBIT



1 Zoning Plan
Scale: 1/16" = 1'-0"



2 Building Profile (For Reference)
Scale: 1/32" = 1'-0"

PROPERTY INFORMATION: 1201 W. GIRARD AVE /NCP North Central Philadelphia Overlay District - Subarea C (See Code)		
	REQUIREMENTS OF RM-1	PROPOSED:
AREA:	1,440 SQ. FT.	45,842 SQ. FT. (P.D.S.) 46,071 SQ. FT. (U.S.S.)
USE:	MULTI-FAMILY	(166) RESIDENTIAL UNITS PROPOSED TOTAL: 45,842 sq. ft. / 425 sq. ft. = 107 Residential Units Green Roof Bonus (See Plan): 107 units x 1.25 = 133 Units 24,984 sq. ft. (85%) Total Green Roof provided 14,990.4 sq. ft. (60%) of Green Roof is utilized for moderate housing density bonus 9,993.6 sq. ft. (25%) of remaining Green Roof is applied towards required landscaping in the parking lot Moderate Income Housing: 133 Residential Units x 1.25 = 166 Residential Units Allowed Bonus earned: 7'-0" Height Bonus Used: 7'-0" Height 25% Density or 33 Units Bonus Used: 33 Units (Intend to make payment to City in lieu of providing affordable housing) Estimated Payment: 45,842 sq. ft. X \$20 = \$916,840.00
LOT WIDTH:	MIN. 16'-0"	382.040 (P.D.S.) 382.995 (U.S.S.)
OCCUPIED BY BUILDING:	75%, 80% CORNER LOTS	29,490 SQ. FT. (64%)
OPEN AREA:	25%, 20% CORNER LOTS	16,581 SQ. FT. (36%)
REAR YARD DEPTH:	*	N/A PROPERTY WITH 4 FRONTAGES
# OF STORIES:	N/A	MAX. 4 + PARTIAL CELLAR
HEIGHT:	38'-0"	MAX. 45'-0" UTILIZING THE MODERATE INCOME DENSITY BONUS
PARKING:	51 SPACES REQUIRED	5 AUTO SHARE PARKING SPACES PROVIDED (ALLOWING REDUCTION OF 40% OF SPACES) (SEE CODE) (51 REQUIRED x 40%) = 20 SPACES REDUCTION 51-20 = 31 PARKING SPACES REQUIRED/PROVIDED TOTAL: 1 VAN ACCESSIBLE PARKING SPACE 2 (TWO) ACCESSIBLE PARKING SPACES PROVIDED 1 ADA ACCESSIBLE PARKING SPACE 5 AUTO SHARE PARKING SPACE 1 ELECTRIC VEHICLE PARKING SPACE 23 REGULAR PARKING SPACES
LOADING ZONE:	MIN. 10'-0" x 40'-0" REQUIRED	10'-0" x 40'-0" LOADING ZONE PROVIDED (SEE PLAN)
BICYCLE PARKING:	1/3 BICYCLE PARKING CLASS 1A REQUIRED	MIN. 166 x 1/3 = 50 SPACES REQUIRED, PROVIDED MIN. 80 BIKE SPACES
LANDSCAPING:	10% OF PARKING LOT	13,011 SQ. FT. OF PARKING LOT x 10% = 1,301 SQ. FT. 9,993.6 sq. ft. (25%) of remaining Green Roof past moderate income density calculation is applied towards required landscaping in the parking lot. 267 SQ. FT. OF LANDSCAPING PROVIDED THROUGHOUT THE PARKING AREA (SEE PLAN)

REFERENCE FROM PHILADELPHIA ZONING CODE

14-506(3) /NCP North Central Philadelphia Overlay District - Subarea C
The Subarea C /NCP district regulations apply to all RM-1 lots within the area bounded by 20th Street, Margie Street, Glenwood Avenue, 20th Street, Ridge Avenue, College Avenue, 20th Street, Girard Avenue, Ninth Street, and Lehigh Avenue, as shown on the following map for illustrative purposes only.

(a) Permitted Number of Dwelling Units.
A minimum 425 sq. ft. of lot area is required per dwelling unit. Whenever the calculation of permitted number of dwelling units results in a fraction of a dwelling unit, then the number of permitted dwelling units shall be rounded down to the nearest whole number.

(b) Required Parking.
Parking shall not be required for the first three dwelling units, and thereafter, shall be required at a ratio of three parking spaces for every ten dwelling units.

(c) Temporary Real Estate Sign Regulations: 284
(1) All signs located on a property advertising the availability of rental units shall be removed within seven (7) days following the rental, lease, or occupancy of the last available unit in the property.
(2) No such sign shall be artificially illuminated.
(3) The erection of such signs on properties upon which there are no vacancies is prohibited.
(4) No such sign shall exceed a maximum gross area of twenty-five (25) square feet.

14-802(B)(b) Auto-Share Parking Spaces.
The required minimum number of off-street parking spaces for a residential use may be reduced by four spaces for each automobile parking space reserved as an auto-share parking space, up to a maximum of a 40% reduction in the required minimum number of parking spaces in any one surface parking lot or parking garage. The calculation of maximum surface parking spaces shall not be affected by this reduction.

14-802(B)(a) Provision of Bicycle Parking.
For every five Class 1 bicycle parking spaces that are provided on a lot, the number of required off-street automobile parking spaces may be reduced by one space, up to a maximum reduction of 10% of the required automobile parking spaces, provided that the bicycle parking spaces comply with § 14-804(2) (Location of Bicycle Parking Spaces) and § 14-804(3) (Security).

14-602(7) Exception to Use Tables for Green Roofs: 339
The green roof conditions necessary to satisfy the density exceptions for RM-1, CMX-2, and CMX-2.5 districts, set forth in Table Note [1] of Table 14-602-1, Table Note [2] of Table 14-602-2, Table [8], and for the East Falls /NCA overlay district, set forth at § 14-503(2)(b).5(a), are as follows: 339.1
(a) The dwelling units are located in a building with a green roof.
(b) The building shall meet either of the following requirements: 339.2
(1) For new buildings, the building's construction requires a minimum of 5,000 sq. ft. of earth disturbance as determined by the Water Department; or
(2) For existing buildings or expansions of existing buildings, the building requires a minimum building footprint of 5,000 sq. ft.
(c) The roof must be partially or completely covered with a green roof that meets the Water Department's design standards: 339.3
(d) The applicant must execute and record a deed restriction in favor of the City, approved as to form by the Law Department, which requires the green roof to be constructed and maintained, at a minimum, in accordance with the manufacturer's guidelines, where applicable, and with Water Department standards, for the life of the building; and which allows the City to inspect the green roof, or demand proof of, continued compliance with those requirements.
(e) The green roof must cover at least 60% of the rooftop.
(f) The green roof must be safely accessible and made available for inspection with reasonable notice given by the City.
(g) The green roof may not be used to qualify for reduced landscaping for parking lots pursuant to § 14-803(5)(a)(2).

14-803(5)(e) Interior Landscape Requirements for Parking Lots.
(1) A minimum of 10% of the interior surface parking lot in all districts and off-street loading areas in all districts except I-2, I-3, and I-P, calculated as the total of area in all surface parking spaces and surface drive aisles, shall be planted with landscape: 465
(2) If the applicant installs a vegetated roof on a primary or accessory structure on the same lot, the amount of interior parking lot landscape may be reduced by one sq. ft. for each one sq. ft. of vegetated roof area installed.

14-803(5)(d)(2)(b) Perimeter Screening from Public Streets for Parking Lots.
3'-0" Tall Parking Perimeter Ornamental Fence Requirement below.
Screening fences shall be constructed of ornamental metal or wood; chain-link and barbed wire are prohibited as fencing material. The side of the fence presenting a more finished appearance, or the side without bracing supports, shall face towards the Residential district.

PROJECT NAME:
1201 W. GIRARD AVE
PHILADELPHIA, PA 19123

Owner:
1201 W. GIRARD AVENUE LLC
1936 WASHINGTON AVE
PHILADELPHIA, PA 19146

DATE ISSUED
10-8-2020

REVISION DESCRIPTION
Revised as per examiner's request

SHEET TITLE
Zoning Plan

PROJECT NO.
v19-214

DATE
10-1-20

SCALE
As Noted

DRAWN BY:
AMR
RCP

Z-1.0

DRAWING NO.

LANDMARK
ARCHITECTURAL DESIGN, L.L.C.

PENNSYLVANIA
Pennsylvania License No. RA011382X
Pennsylvania Firm Authorization 00106529
Phila. Business Privilege License No. 4535

NEW JERSEY
New Jersey License No. 21A01396000
New Jersey Firm Authorization No. 21AC00029100

NEW YORK
New York License No. 028788-1
A.I.A. Member No. 30135052

325 Snyder Avenue
Philadelphia, PA 19148
TEL: (215) 755-9050
Vince@landmarkaia.com

Vincent S. Mancini, AIA

IF THIS DOCUMENT IS NOT SIGNED AND SEALED, IT IS PRELIMINARY AND NOT FOR CONSTRUCTION

CONSULTANTS:
MULHERN & KULP
Structural Engineering
20 South Maple Street, Suite 150
Ambler, PA 19002
215-646-8001 (p)
www.mulhernkulp.com

APPROVED FOR ZONING ONLY
10/1/2020
WHEN YOUR PLAN IS APPROVED BY ANY AGENCY, IT DOES NOT MEAN THAT THE CITY HAS REVIEWED OR APPROVED THE PLAN. THE CITY'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE CITY'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED.

Zoning Permit

Permit Number ZP-2020-002668

LOCATION OF WORK 1201 W GIRARD AVE, Philadelphia, PA 19123-1003 ENTIRE	PERMIT FEE \$1,050.00	DATE ISSUED 1/14/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER HPRA 2013 LLC	234 CLOSTER DOCK RD CLOSTER NJ 07624
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APPLICANT Vincent Mancini DBA: LANDMARK ARCHITECTURAL DESIGN	1325 Snyder Ave PHILADELPHIA, PA 19148 USA
---	--

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE COMPLETE DEMOLITION OF ALL STRUCTURES ON THE LOT. FOR THE ERECTION OF A DETACHED STRUCTURE, WITH PILOTHOUSES (HEIGHT NTE 10 FEET; AREA NTE 125 SF; FOR STAIR ACCESS ONLY) TO ACCESS ROOF DECK; UTILIZING THE GREEN ROOF BONUS AND MIXED-INCOME HOUSING. SIZE AND LOCATION AS SHOWN IN THE APPLICATION/PLANS.
--

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--

 CONDITIONS AND LIMITATIONS: - Permits, including Zoning Permits not involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, six (6) months from the date of issuance with the following exceptions: 30-days or 10-days for Permits related to Unsafe or Imminently Dangerous properties respectively. 3-years from issuance or date of decision by ZBA for Zoning Permits involving development. 60-days for Plumbing, Electrical or Fire Suppression Rough-In Approvals. - Any Permit issued for construction or demolition is valid for no more than five (5) years. - All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
 Post a copy of this permit in a conspicuous location along each frontage. Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-002668

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1201 W GIRARD AVE, Philadelphia, PA 19123-1003

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR USE AS HOUSEHOLD LIVING (ONE-HUNDRED AND SIXTY-SIX (166) DWELLING UNITS) AND FOR THE CREATION OF THIRTY-ONE (31) PARKING SPACES AND EIGHTY (80) CLASS IA BICYCLE SPACES (LOCATED ON AN ACCESSIBLE ROUTE).

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.