

ZONING CODE FOR THE CITY OF PHILADELPHIA RM-1 DISTRICT SUMMARY FOR PROPERTY 408-10 N FRONT ST.		
APPLICABLE REGULATIONS	PERMITTED / REQUIRED	PROPOSED
PERMITTED USE BY RIGHT	RESIDENTIAL, SINGLEMULTI	MULTI-FAMILY (10 UNITS)
LOT WIDTH	16'-0"	39'-1 1/2"
LOT AREA	1440	3524 SQ. FT. = 100% Total Lot Area
OPEN AREA	NOT LESS THAN 25%	881 SQ. FT. = 25.0% Open
OCCUPIED AREA	BUILDING MAY OCCUPY NO MORE THAN 75%	2643 SQ. FT. = 75.0% Covered
FRONT YARD SETBACK	N/A	N/A
REAR YARD SETBACK	9'-0"	9'-0" / 35'-9 1/4"
UNITS	8 UNITS	8 UNITS + 2 UNITS (MODERATE DENSITY BONUS) \$20 X 3524 = \$70,480.00
HEIGHT REGULATIONS	38'-0" MAX.	45'-0" (38'-0" + 7'-0" MODERATE INCOME DENSITY CREDIT)



PHOTO 1



PHOTO 2



THE UNDERGROUND UTILITY LINE PROTECTION LAW
(ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996
AND ACT 199 IN JANUARY 2005)
SITE SERIAL NO. 20192503589 (ward 5)
LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN
DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND
INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE,
DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR
STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF
PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974, AS AMENDED BY ACT 187 OF
1996 AND ACT 199 IN JANUARY 2005, CONTRACTORS MUST VERIFY
LOCATION OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS
THROUGH THE ONE-CALL SERVICE 242-7700 LESS THAN 3, NOR
MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

PROPOSED MULTI-FAMILY (10 UNIT) RESIDENCE

PROPOSED (4) STORY (10) FAMILY RESIDENCE w/ PILOT HOUSES & ROOF DECK
408-10 N. FRONT STREET, PHILADELPHIA, PENNSYLVANIA



2 FRONT ELEVATION
Z-1 SCALE: 1/8"=1'-0"

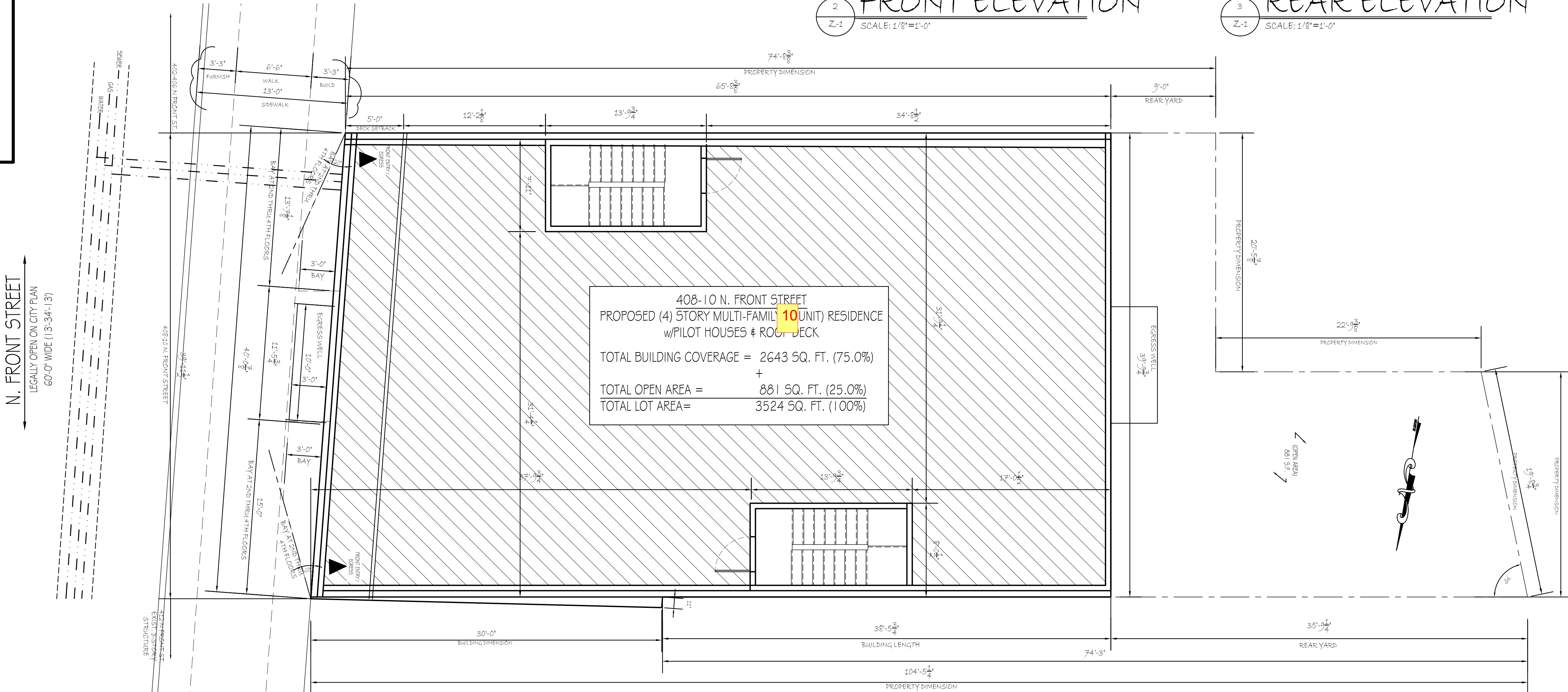
8 REAR ELEVATION
Z-1 SCALE: 1/8"=1'-0"

Philadelphia City
Planning Commission

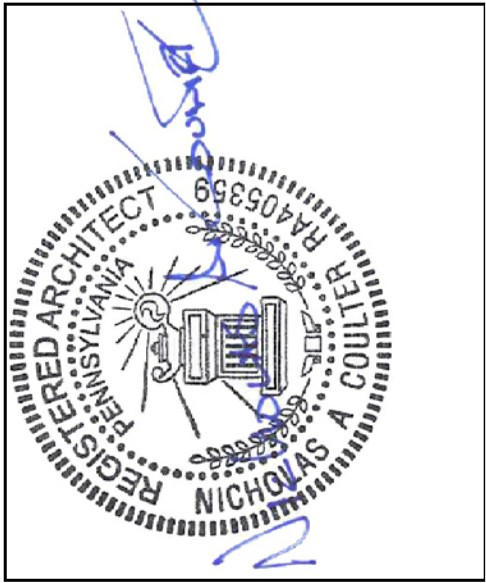
#Date

mixed income bonus
12/1/2020
Keith F Davis

Development Planning



1 ZONING PLAN
Z-1 SCALE: 3/16"=1'-0"



PROPOSED MULTI FAMILY RESIDENCE
408-410 NORTH FRONT STREET
PHILADELPHIA, PENNSYLVANIA

ZONING PLAN & ELEVATIONS

PROJECT

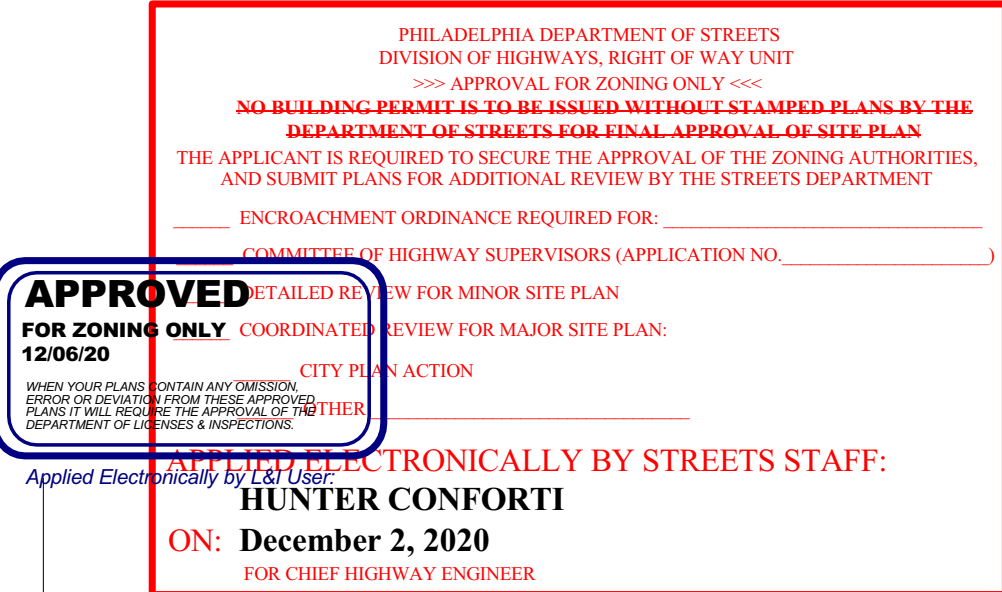
DWG. TITLE

REVISIONS:
RFI

DRAWN BY: HK
CHECKED BY: HK
DATE: 07/22/2016
SCALE: AS NOTED

JOB No: 408-410 N FRONT
FILE: 408-410 N FRONT

Z-1



Zoning Permit

Permit Number ZP-2020-007607

LOCATION OF WORK 408 N FRONT ST, Philadelphia, PA 19123-4206	PERMIT FEE \$1,929.00	DATE ISSUED 12/8/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX4 RM1	

PERMIT HOLDER 1833 REALTY LLC	157 FORGE LA FEASTERVILLE TREVOSE PA 19051
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APPLICANT Hyon Kang DBA: KCA Design Associates	6525 Tulip Street Philadelphia, PA 19135 USA
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT Erection of an attached structure with two roof access structures.
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APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.



Post a copy of this permit in a conspicuous location along each frontage.

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-007607

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

408 N FRONT ST, Philadelphia, PA 19123-4206

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

Multi Family Household Living (10 Dwelling Units) with roof deck for residential use only.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.