

ZONING CODE FOR THE CITY OF PHILADELPHIA cmx-2.5 DISTRICT SUMMARY FOR PROPERTY 6211 WOODBINE AVE		
APPLICABLE REGULATIONS	PERMITTED / REQUIRED	PROPOSED
PERMITTED USE BY RIGHT	MIXED USE / COMMERCIAL / MULTI-FAMILY	GRND FLR - PARTIAL VACANT COM/ + 1 RES UNIT FLRS 2-5 - 11 RES UNITS, 270 S.F. PER UNIT (BUILDING 45' OR HIGHER)
LOT WIDTH	16'-0"	VARIABLE - 64'-0" & 52'-9-1/8"
LOT AREA	1440	3502 SQ. FT. = 100% Total Lot Area
OPEN AREA	NOT LESS THAN 25%	878 SQ. FT. = 25.1% Open
OCCUPIED AREA	BUILDING MAY OCCUPY NO MORE THAN 75%	2624 SQ. FT. = 74.9% Covered
FRONT YARD SETBACK	0'-0"	0'-0"
REAR YARD SETBACK	9'-0"	9'-0"
SIDE YARD SETBACK	5'-0" IF USED	5'-0"
HEIGHT REGULATIONS	55'-0" MAX.	55'-0" FROM AVG. GRADE



ZONING MAP - CMX-2.5 ZONING

PROJECT ADDRESS:
6211 WOODBINE AVE



THE UNDERGROUND UTILITY LINE PROTECTION LAW
(ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1995
AND ACT 199 IN JANUARY 2005)

SITE SERIAL NO. 20210113208 (ward 34)

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN
DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND
INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF THE SITE,
DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR
STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF
PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974, AS AMENDED BY ACT 187 OF
1995 AND ACT 199 IN JANUARY 2005, CONTRACTORS MUST VERIFY
LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS
THROUGH THE OFFICIAL SYSTEM (ORCA) AT 1775, NO LESS THAN 10 DAYS
PRIOR TO EXCAVATION OR DEMOLITION WORK.

PHILADELPHIA DEPARTMENT OF STREETS
DIVISION OF HIGHWAYS, RIGHT OF WAY UNIT
NO BUILDING PERMIT IS TO BE ISSUED WITHOUT STAMPED PLANS BY THE
DEPARTMENT OF STREETS FOR FINAL APPROVAL OF SITE PLAN
THE APPLICANT IS REQUIRED TO SECURE THE APPROVAL OF THE ZONING AUTHORITIES,
AND SUBMIT PLANS FOR ADDITIONAL REVIEW BY THE STREETS DEPARTMENT

ENCROACHMENT ORDINANCE REQUIRED FOR:
COMMITTEE OF HIGHWAY SUPERVISORS (APPLICATION NO. _____)
DETAILED REVIEW FOR MINOR SITE PLAN
COORDINATED REVIEW FOR MAJOR SITE PLAN:
CITY PLAN ACTION
OTHER _____

APPLIED ELECTRONICALLY BY STREETS STAFF:
Coleman Cosby
ON: **February 22, 2021**
FOR CHIEF HIGHWAY ENGINEER

APPROVED
FOR ZONING ONLY
03/08/21

MAKING YOUR PLANS COMPLY WITH ORDINANCE
BEFORE OR PERMITTING THEM TO BE APPROVED
PLANNED AND ENSURING THE APPROVAL OF THE
DEPARTMENT OF LICENSES & INSPECTIONS

Applied Electronically by L&I User:



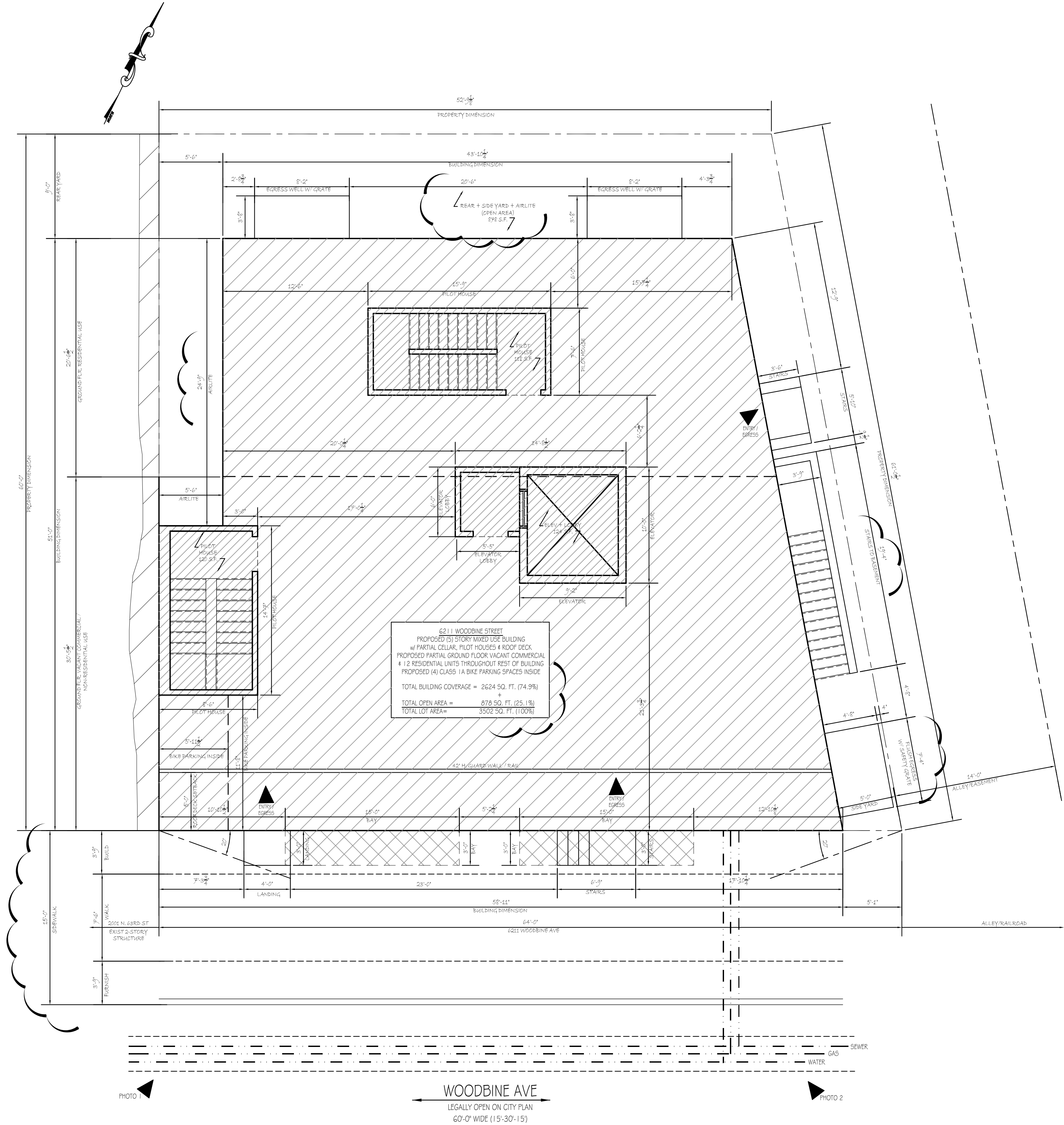
PHOTO 1



PHOTO 2

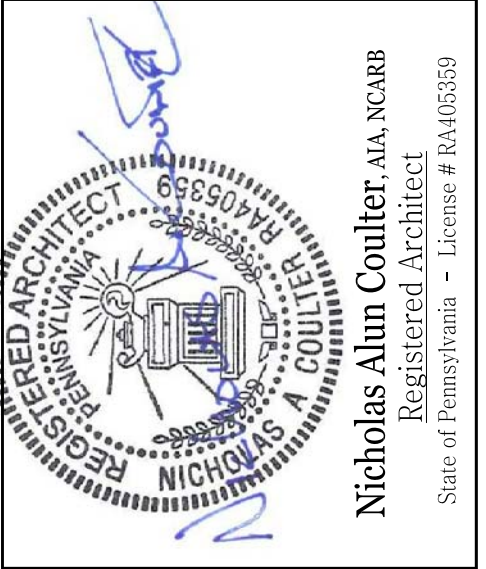
PROPOSED MIXED USE BUILDING

PROPOSED 5- STORY (12) FAMILY RESIDENCE w/ PARTIAL CELLAR, PARTIAL GROUND FLR. VACANT COMMERCIAL, PILOT HOUSES & ROOF DECK
PROPOSED (4) CLASS 1-A BIKE PARKING SPACES INSIDE BUILDING
6211 WOODBINE AVE, PHILADELPHIA, PENNSYLVANIA



WOODBINE AVE
LEGALLY OPEN ON CITY PLAN
60'-0" WIDE (15'-30'-15')

ZONING PLAN
SCALE: 3/16" = 1'-0"



PROJECT
PROPOSES MULTI-FAMILY RESIDENCES
6211 WOODBINE AVE
PHILADELPHIA, PENNSYLVANIA

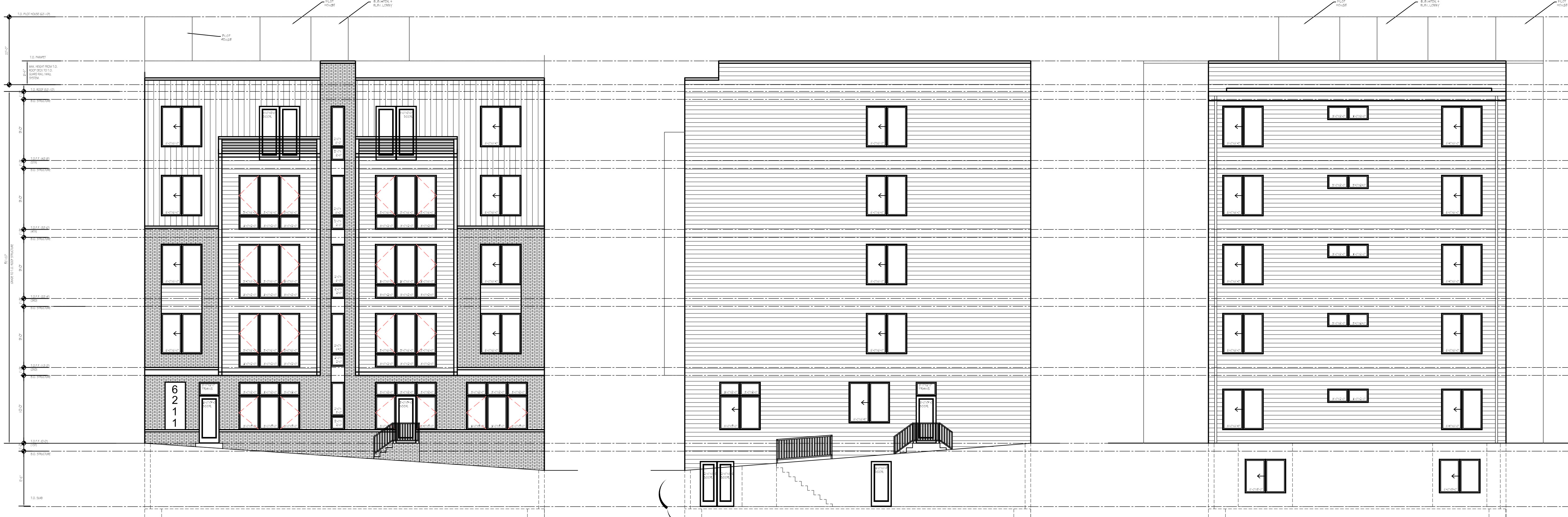
DWG. TITLE
ZONING PLAN & ELEVATIONS

REVISIONS:
RFI COMMENTS

DRAWN BY: LD
CHECKED BY: HK
DATE: 12/15/2020
SCALE: AS NOTED

JOB NO: 6211 WOODBINE
FILE: 6211 WOODBINE

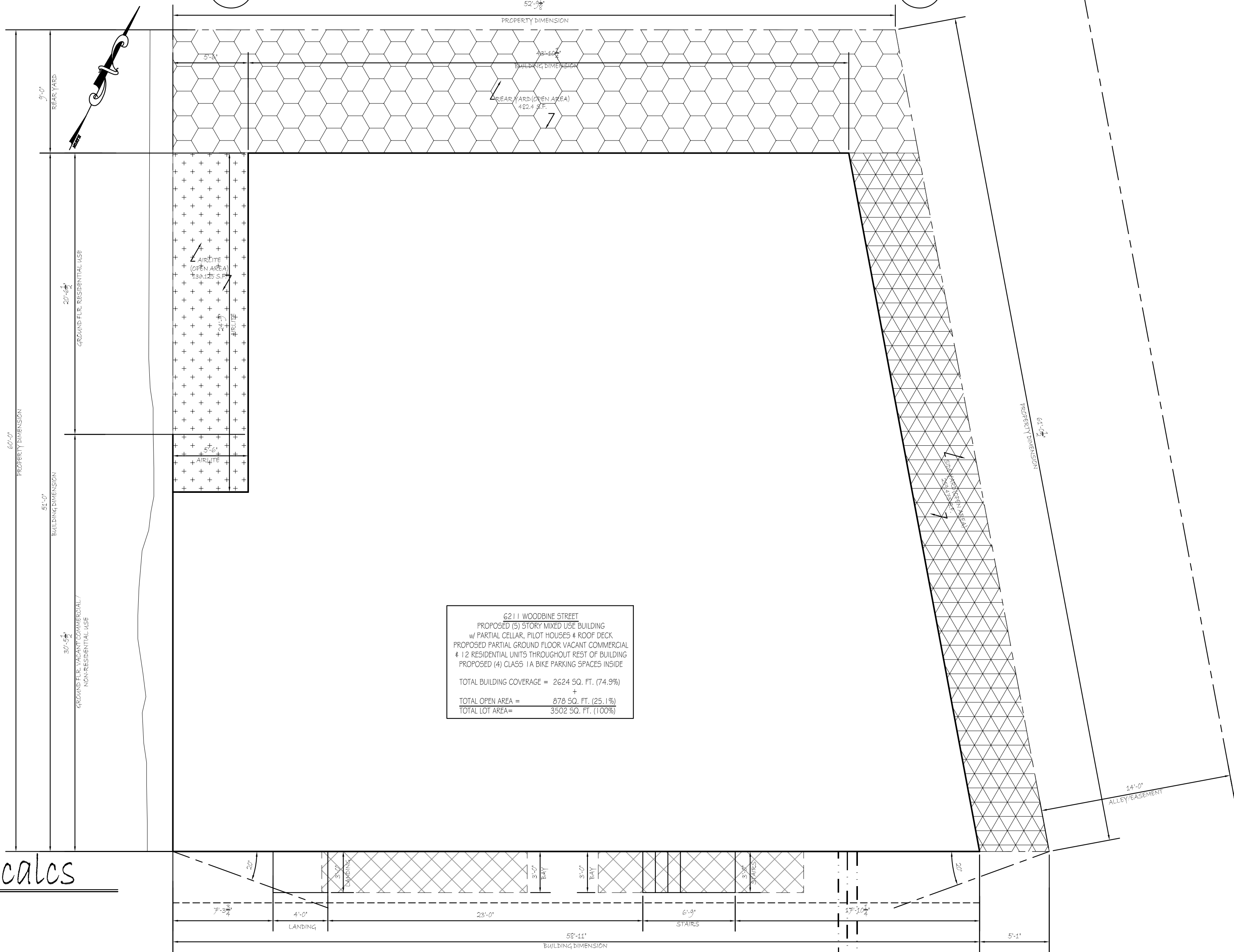
Z-1



1 FRONT ELEV.
Z-2 SCALE: 1/8"=1'-0"

2 SIDE ELEV.
Z-2 SCALE: 1/8"=1'-0"

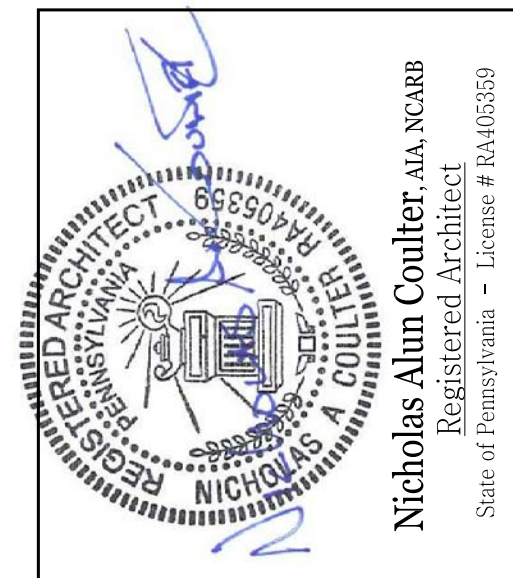
3 REAR ELEV.
Z-2 SCALE: 1/8"=1'-0"



4 open area calcs
Z-2 SCALE: 3/16"=1'-0"

PROJECT SHALL COMPLY WITH NCO OVERLAY 14-504 - OVERBROOK FARMS, INCLUDING BUT NOT LIMITED TO DESIGN GUIDELINES, SETBACK GUIDELINES, ETC, FINAL APPROVAL AS REQUIRED BY CITY PLANNING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMITS

APPROVED
FOR ZONING ONLY
04/26/21
WHEN YOUR PLANS CONTAIN ANY DISMISSAL
OR NON-CONFORMANCE WITH THE APPLICABLE
ZONING ORDINANCE, THE CITY OF PHILADELPHIA
DEPARTMENT OF LICENSING & INSPECTIONS
OFFICE OF THE CHIEF OF INSPECTIONS
APPROVED ELECTRONICALLY BY L&I USER:



PROJECT PROPOSES MULTI-FAMILY RESIDENCES
6211 WOODBINE AVE
PHILADELPHIA, PENNSYLVANIA

ZONING PLAN & ELEVATIONS

DWG. TITLE

REVISIONS:
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DRAWN BY: LD
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SCALE: AS NOTED

JOB NO: 6211 WOODBINE
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Z-2

Zoning Permit

Permit Number ZP-2021-000236

LOCATION OF WORK 6211 WOODBINE AVE, Philadelphia, PA 19151-2633	PERMIT FEE \$672.00	DATE ISSUED 3/11/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2.5	

PERMIT HOLDER QUINN BRIAN E, MARQUETTE-DARLENE	1420 WALNUT ST STE 1200 PHILADELPHIA PA 19102
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APPLICANT Logan Dry DBA: KCA Design Associates	6525 Tulip Street Philadelphia, PA 19135USA
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT For the erection of an attached structure, roof deck and roof deck access structures. Size and location as shown in the application/plan.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.



Post a copy of this permit in a conspicuous location along each frontage.

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2021-000236

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

6211 WOODBINE AVE, Philadelphia, 19151-2633

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

For twelve (12) dwelling units, and one (1) vacant commercial space (separate use registration permit required).

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.