

Zoning Permit

Permit Number ZP-2022-002605

LOCATION OF WORK 3838-52 PECHIN ST, Philadelphia, PA 19128	PERMIT FEE \$1,722.00	DATE ISSUED 5/11/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM2	

PERMIT HOLDER Pechin Court, LLC	6060 Ridge Avenue, Suite 200 Philadelphia, Pennsylvania 19128
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF A DETACHED BUILDING (SIZE AND LOCATION AS SHOWN ON PLANS).
--

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-002605

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

3838-52 PECHIN ST, Philadelphia, PA 19128

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS MULTI-FAMILY (15 UNITS) HOUSEHOLD LIVING AND TO INCLUDE SIX (6) OFF-STREET ACCESSORY PARKING SPACES (INCLUDING ONE (1) ADA VAN SPACE) AND ACCESSORY FIVE (5) CLASS 1A BICYCLE PARKING SPACES.

This permit is subject to the following specific conditions.

CONDITIONS

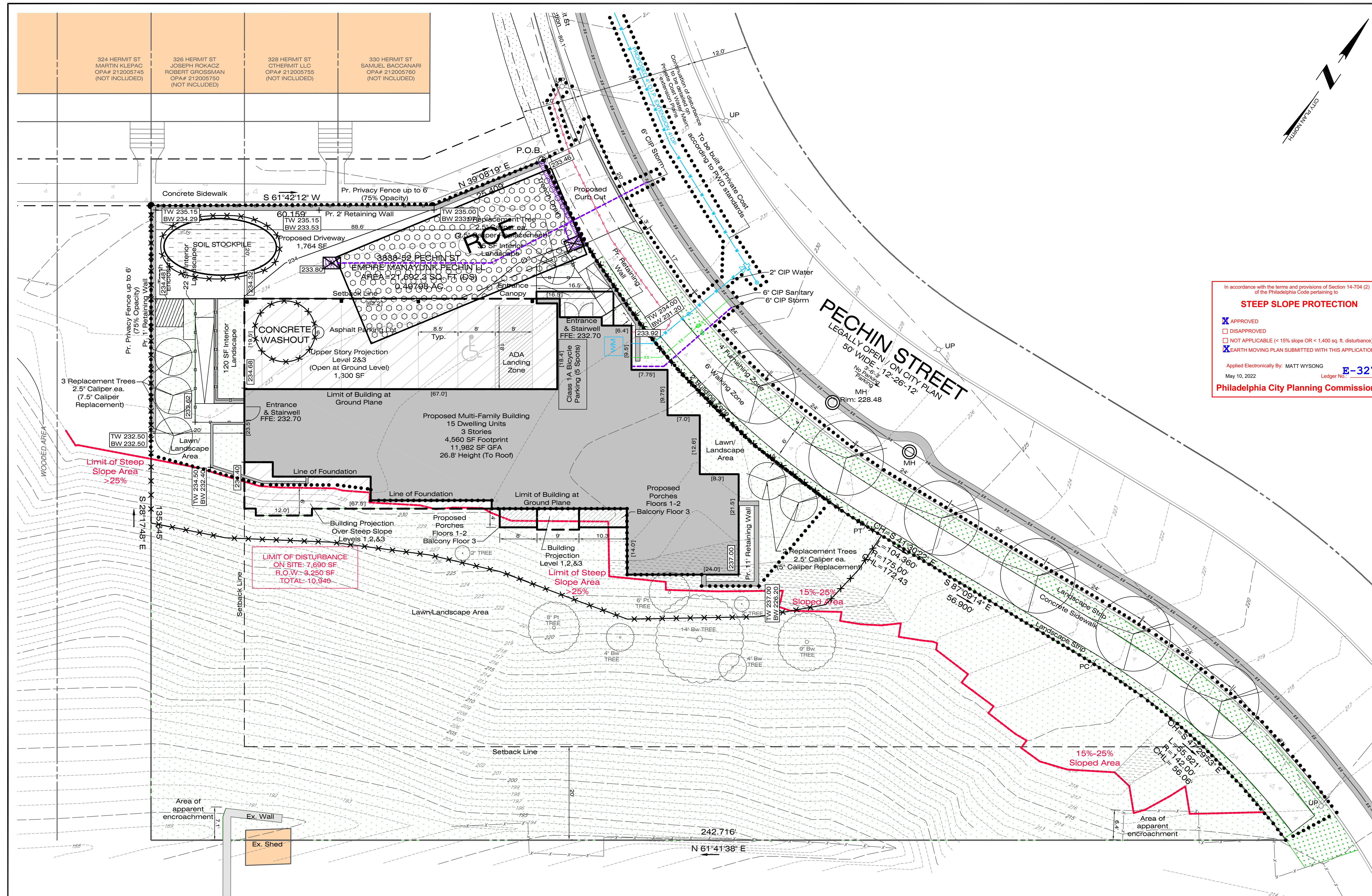
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



LEGEND

EXISTING FEATURES

- TELECOMMUNICATION MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- CITY INLET
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- UTILITY POLE
- SIGN
- LIGHT STANDARD
- COMBINED SEWER
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD AERIAL LINE
- FENCE LINE
- EXISTING BUILDINGS
- ZONING BOUNDARY LINE
- LIMIT OF STEEP SLOPE (>25%)
- EXISTING LANDSCAPE
- SLOPES 15%-25%
- EXISTING TREE

PROPOSED FEATURES

- SPOT - TOP/BOTTOM
- SANITARY SEWER
- SANITARY SEWER LATERAL
- UNDERGROUND WATER LINE
- UNDERGROUND WATER SERVICE LINE
- UNDERGROUND ELECTRIC/COMMUNICATIONS LINE
- CHAIN LINK FENCE
- CURB STOP
- GAS VALVE
- TRAP/FAI
- PROPOSED BUILDING
- PROPOSED BUILDING - OPEN AT GROUND LEVEL
- STORM INLET
- PROPOSED LANDSCAPE IN R.O.W.
- PROPOSED SETBACK LINES
- PROPOSED GREEN/SHRUB R.O.W.
- PROPOSED CONTOUR
- STREET TREE

E & S FEATURES

- TEMP. CONSTRUCTION FENCE / TREE PROT.
- LIMIT OF DISTURBANCE
- SILT FENCE / SILT SOXX
- INLET FILTER
- ROCK CONSTRUCTION ENTRANCE
- TOPSOIL / SPOILS STOCKPILE

RM-2 RESIDENTIAL ZONING CRITERIA

LOT REQUIREMENTS	Required	Proposed
Min. Lot Width	50'	50'
Min. Lot Area	15,000 SF	22,018 SF
Min. % Open Area	N/A	N/A

BUILDING DIMENSIONS

	Required	Proposed
Min. Front Yard Setback	0"	1.5**
Min. Side Yard Setback	20'	20'
Min. Rear Yard Setback	20'	20'
Max. Building Height	N/A	26.8'
Max. Occupied Area	70%	21%

REQUIRED PARKING

Spaces Required: 3 / 10 Units x 13 DU = 4
Spaces Proposed: 6 spaces provided
ADA Spaces Required: 1
ADA Spaces Proposed: 1

Electric Vehicle Parking Spaces Required: 0
Proposed Electric Vehicle Spaces: 0

Bicycle Parking: Class 1A
1 space / 3 DU
13DU / 3 = 5 Bicycle Parking Spots Required
Bicycle parking located inside building.

OWNER OF RECORD

3838-82 PECHIN ST
PECHIN COURT LLC
6060 RIDGE AVE
SUITE 200
PHILADELPHIA, PA 19128

REVISIONS

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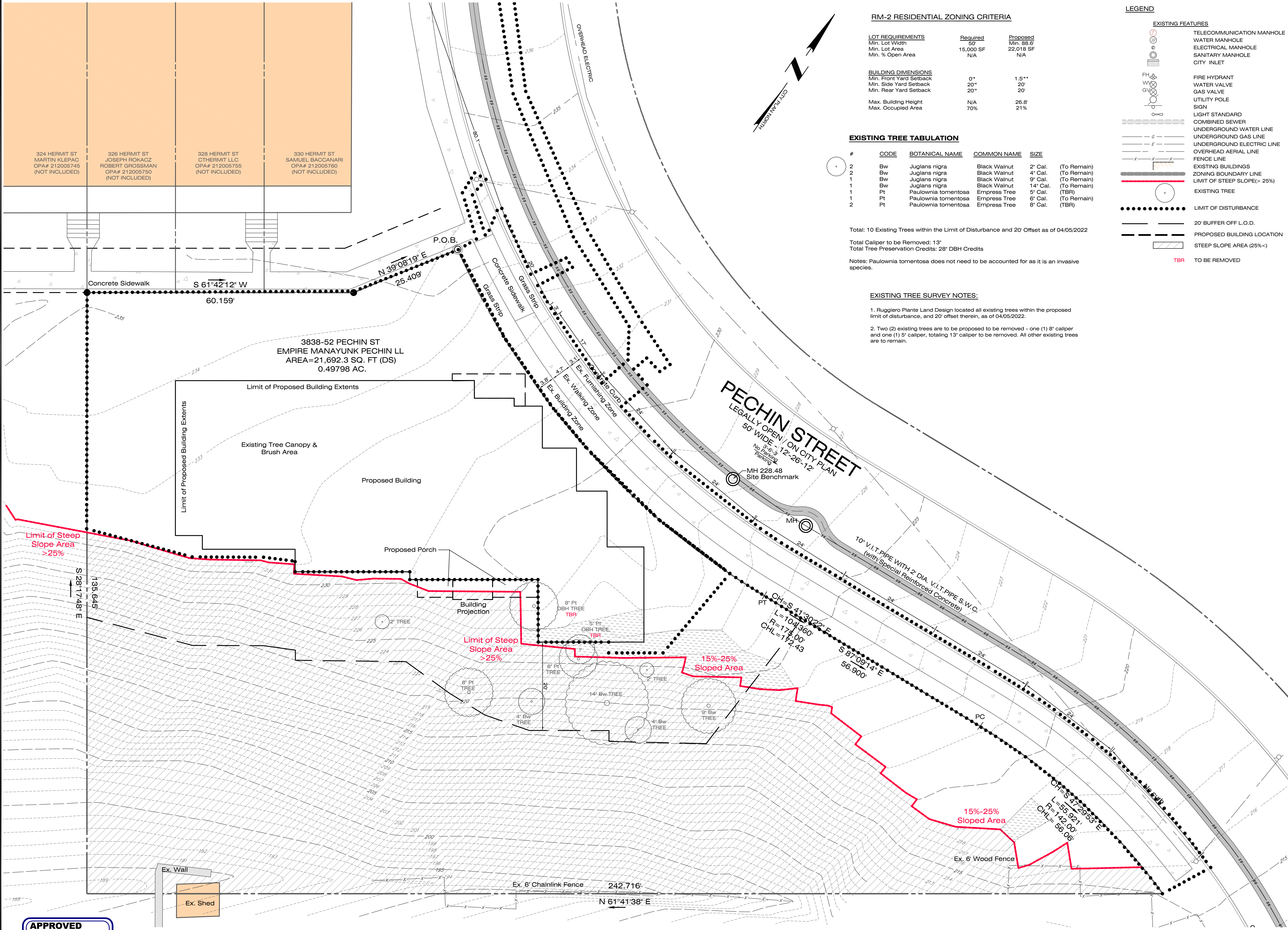
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RM-2 RESIDENTIAL ZONING CRITERIA

LOT REQUIREMENTS	Required	Proposed
Min. Lot Width	50'	Min. 88.6'
Min. Lot Area	15,000 SF	22,018 SF
Min. % Open Area	N/A	N/A
BUILDING DIMENSIONS		
Min. Front Yard Setback	0"	1.5**
Min. Side Yard Setback	20"	20'
Min. Rear Yard Setback	20"	20'
Max. Building Height	N/A	26.8'
Max. Occupied Area	70%	21%

EXISTING TREE TABULATION

#	CODE	BOTANICAL NAME	COMMON NAME	SIZE
2	Bw	Juglans nigra	Black Walnut	2" Cal. (To Remain)
2	Bw	Juglans nigra	Black Walnut	4" Cal. (To Remain)
1	Bw	Juglans nigra	Black Walnut	9" Cal. (To Remain)
1	Bw	Juglans nigra	Black Walnut	14" Cal. (To Remain)
1	Pt	Paulownia tomentosa	Empress Tree	5" Cal. (TBR)
1	Pt	Paulownia tomentosa	Empress Tree	6" Cal. (To Remain)
2	Pt	Paulownia tomentosa	Empress Tree	8" Cal. (TBR)

Total: 10 Existing Trees within the Limit of Disturbance and 20' Offset as of 04/05/2022

Total Caliper to be Removed: 13"
Total Tree Preservation Credits: 28" DBH Credits

Notes: Paulownia tomentosa does not need to be accounted for as it is an invasive species.

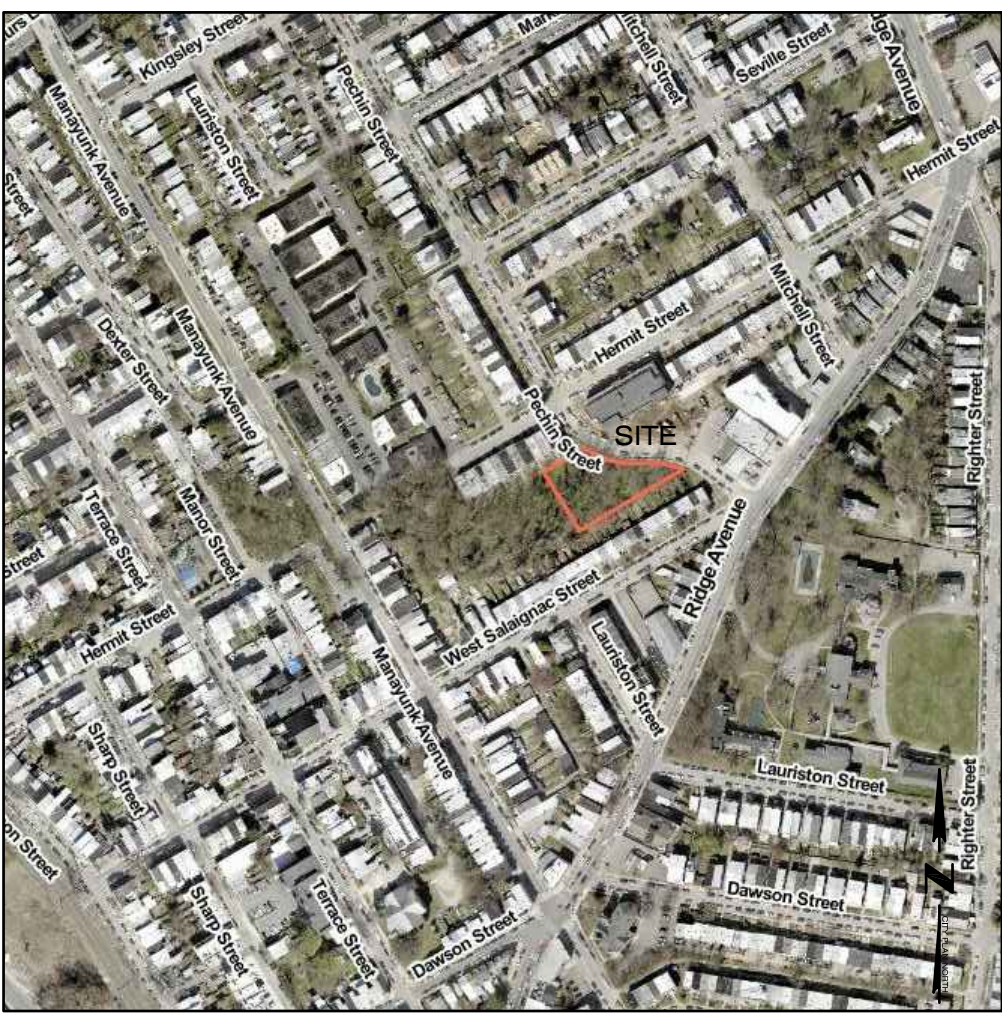
EXISTING TREE SURVEY NOTES:

- Ruggiero Plante Land Design located all existing trees within the proposed limit of disturbance, and 20' offset therein, as of 04/05/2022.
- Two (2) existing trees are to be proposed to be removed - one (1) 8" caliper and one (1) 5" caliper, totaling 13" caliper to be removed. All other existing trees are to remain.

LEGEND

EXISTING FEATURES

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- UNDERGROUND ELECTRIC LINE
- OVERHEAD AERIAL LINE
- FENCE LINE
- EXISTING BUILDINGS
- ZONING BOUNDARY LINE
- LIMIT OF STEEP SLOPE(> 25%)
- EXISTING TREE
- LIMIT OF DISTURBANCE
- 20' BUFFER OFF L.O.D.
- PROPOSED BUILDING LOCATION
- STEEP SLOPE AREA (25%<)
- TBR TO BE REMOVED



LOCATION MAP

THIS SITE IS LOCATED IN THE
WISSAHICKON OVERLAY DISTRICT AND
STEEP SLOPE PROTECTION AREA.

SURVEY NOTES (REFERENCED FROM TOPOGRAPHIC SURVEY & PLAN, DATED 03/26/2020) AS PREPARED BY AMBRIC TECHNOLOGY CORPORATION;

- Boundary/ Right-of-Way dimensions are presented in the City of Philadelphia District Standard of measurement (DS).
- Philadelphia District Standard measurement (DS) is to be used in the City of Philadelphia for Title and Conveyance.
- Refer to Deed of Record dated 09-12-2018 DOC ID #53421258 recorded 09-25-2018 as provided by you and City Plan of Philadelphia.
- A conversion from inches to the equivalent foot-decimal expression is for clarity and greater precision.
- The preparation of this plan by Ambric Technology Corporation does not imply or constitute the approval of city agencies.
- Plan prepared in accordance with the instructions of Michael S Pearlstein.
- A zoning permit is required for any proposed changes to lot lines including consolidation of existing parcels.
- The use of this plan for purposes other than as designated herein, would be at the sole risk of the user.
- Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
- The location of all service connections are unable to be determined. Utility information if shown is a composite of information obtained from the plan of record where readily available and site survey performed by Ambric Technology Corp. Locations are only shown approximate and for general location purposes only and may not be complete and are not guaranteed to be accurate.
- Benchmark elevation presented are in Philadelphia Vertical Datum, San. MH in Pechin Street Rim Elevation 228.48. Benchmark is not set by City Surveyor.

**Survey provided by Ambric Technology Corporation.

OWNER OF RECORD

3838-52 PECHIN ST
PECHIN COURT LLC
6060 RIDGE AVE
SUITE 200
PHILADELPHIA, PA 19128



NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

REVISIONS			
01	2022-05-03	ZONING REVIEW	

3838 PECHIN STREET
Philadelphia, PA 19128
21st Ward - OPA#212154622

prepared for:
Andrew Langsam
6060 Ridge Avenue, Suite 200
Philadelphia, PA 19128
a.langsam@gmail.com
(202)-812-2980

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: April 13, 2022
Scale: 1" = 10'

Sheet Title:
EXISTING LANDSCAPE & TREE PLAN
Sheet 1 of 1

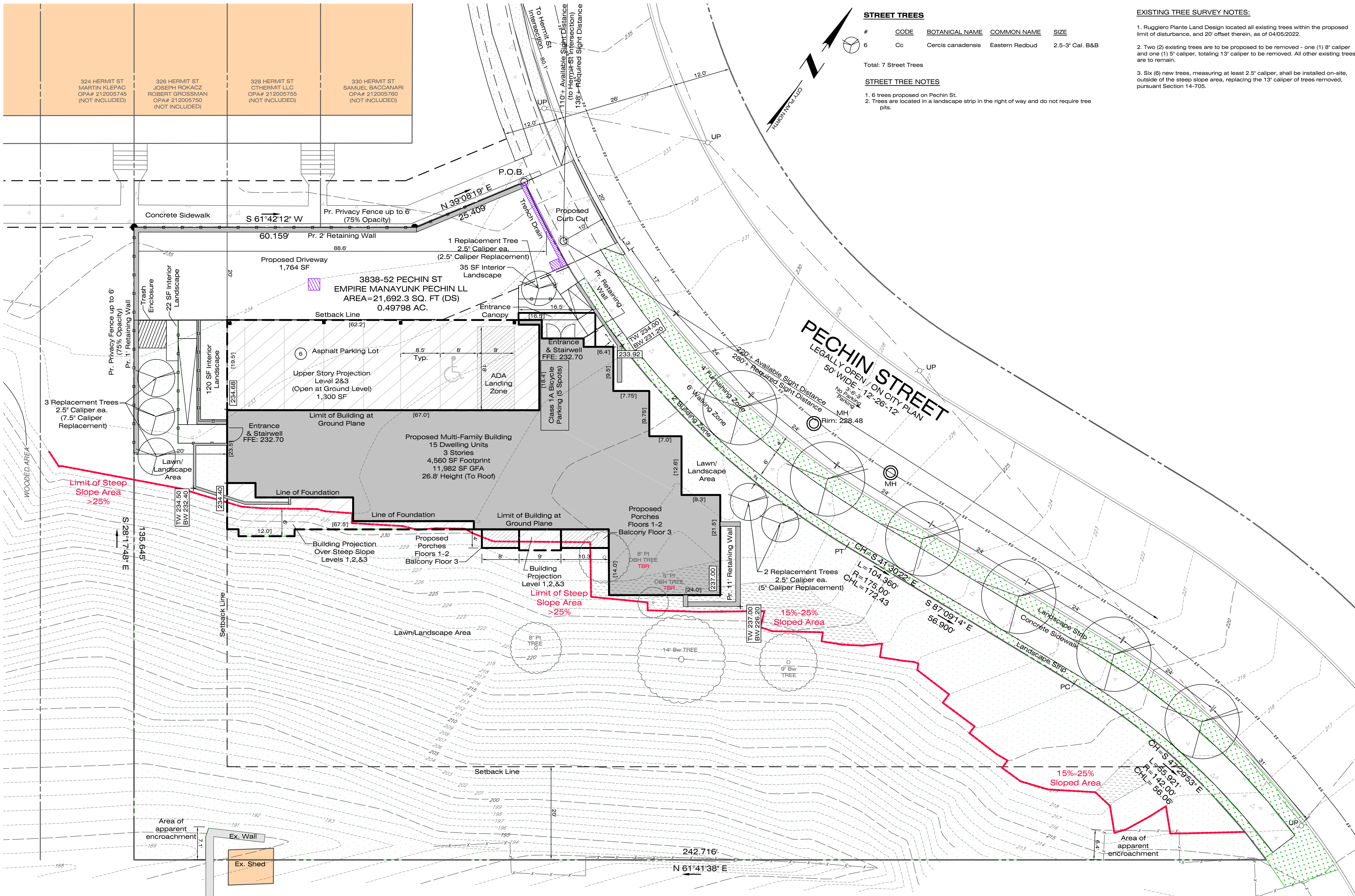
APPROVED
FOR ZONING ONLY
05/10/22

WHEN YOUR PLANS CONTAIN ANY OVERSIGHT,
ERROR OR OMISSION FROM THESE APPROVED
PLANS IT WILL REQUIRE THE APPROVAL OF THE
DEPARTMENT OF LICENSING & INSPECTIONS.

Applied Electronically by L&I User

SR-2022-012298
ZP-2022-002605
FY22-PECH-6895-01

324 HERMIT ST MARTIN KLEMAC OPAF# 212005745 (NOT INCLUDED)	326 HERMIT ST JOSEPH KLEMACZ ROBERT GROSSMAN OPAF# 212005750 (NOT INCLUDED)	328 HERMIT ST OTHERMIT LLC OPAF# 212005755 (NOT INCLUDED)	330 HERMIT ST SAMUEL BACCANARI OPAF# 212005760 (NOT INCLUDED)
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STREET TREES

#	CODE	BOTANICAL NAME	COMMON NAME	SIZE
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6 Cc Cercis canadensis Eastern Redbud 2.5-3" Cal. B&B

Total: 7 Street Trees

STREET TREE NOTES

1. 6 trees proposed on Pechin St.
2. Trees are located in a landscape strip in the right of way and do not require tree pits.

EXISTING TREE SURVEY NOTES:

1. Ruggiero Plante Land Design located all existing trees within the proposed limit of disturbance, and 20' offset thereon, as of 04/05/2022.
2. Two (2) existing trees are to be removed - one (1) 8" caliper and one (1) 5" caliper, totaling 13" caliper of trees removed, pursuant Section 14-705.
3. Six (6) new trees, measuring at least 2.5" caliper, shall be installed on-site, outside of the steep slope area, replacing the 13" caliper of trees removed, pursuant Section 14-705.

LEGEND

EXISTING FEATURES	PROPOSED FEATURES
TELECOMMUNICATION MANHOLE	SPOT ELEVATION
WATER MANHOLE	SPOT - TOP/BOTTOM
ELECTRICAL MANHOLE	SANITARY SEWER
SANITARY MANHOLE	SANITARY SEWER LATERAL
CITY INLET	STORM SEWER
FIRE HYDRANT	UNDERGROUND WATER LINE
WATER VALVE	UNDERGROUND GAS LINE
GAS VALVE	UNDERGROUND ELECTRIC LINE
UTILITY POLE	OVERHEAD AERIAL LINE
SIGN	CHAIN LINK FENCE
LIGHT STANDARD	CURB STOP
COMBINED SEWER	GAS VALVE
UNDERGROUND WATER LINE	TRAP/FAI
UNDERGROUND GAS LINE	PROPOSED BUILDING
UNDERGROUND ELECTRIC LINE	PROPOSED BUILDING - OPEN AT GROUND LEVEL
OVERHEAD AERIAL LINE	STORM INLET
FENCE LINE	PROPOSED LANDSCAPE IN R.O.W.
EXISTING BUILDINGS	PROPOSED SETBACK LINES
ZONING BOUNDARY LINE	PROPOSED STREET TREE
LIMIT OF STEEP SLOPE (>25%)	PROPOSED CONTOUR
EXISTING LANDSCAPE	
SLOPES 15%-25%	

RM-2 RESIDENTIAL ZONING CRITERIA

LOT REQUIREMENTS	Required	Proposed
Min. Lot Width	80'	80'
Min. Lot Area	15,000 SF	22,018 SF
Min. % Open Area	N/A	N/A

BUILDING DIMENSIONS	Required	Proposed
Min. Front Yard Setback	0'	1.6''
Min. Side Yard Setback	20'	20'
Min. Rear Yard Setback	20'	20'
Max. Building Height	N/A	26.8'
Max. Occupied Area	70%	21%

*Philadelphia Zoning Code (14-701)(2)(c)(7)
For lot lines other than street lines, the minimum setback for structures from each lot line shall be equal to 3/4 of the height of the structure. For lot lines that are street lines, the minimum setback for structures, for the purposes of this subsection, shall be measured from the centerline of that street and shall be equal to 3/4 of the height of the structure.
26.8' (Building Height) x 0.75 = 20' Setback
** Front setback measured 20' from roadway centerline and 1.5' from property line.

REQUIRED PARKING

Spaces Required: 3 / 10 units x 15 DU = 5
Spaces Proposed: 6 spaces provided
ADA Spaces Required: 1
ADA Spaces Proposed: 1

Electric Vehicle Parking Spaces Required: 0
Proposed Electric Vehicle Spaces: 0

Bicycle Parking: Class 1A
1 space / 3 DU
15 DU / 3 = 5 Bicycle Parking Spots Required
*Bicycle parking located inside building.

REQUIRED INTERIOR PARKING LANDSCAPE AREA

Parking Lot Area (not covered by roof): 1,764 SF
10% parking lot area: 177 SF
Designated Landscape Area: 177SF

*SF labeled on plan

SURVEY NOTES (REFERENCED FROM TOPOGRAPHIC SURVEY & PLAN, DATED 03/26/2020, AS PREPARED BY AMBRIC TECHNOLOGY CORPORATION):

1. Boundary Right-of-Way dimensions are presented in the City of Philadelphia District Standard of measurement (DS).
2. Philadelphia District Standard measurement (DS) is to be used in the City of Philadelphia for Title and Conveyance.
3. Refer to Deed of Record dated 09-12-2018 DOC ID #53421258 recorded 09-25-2018 as provided by you and City Plan of Philadelphia.
4. A conversion from inches to the equivalent foot-decimal expression is for clarity and greater precision.
5. The preparation of this plan by Ambric Technology Corporation does not imply or constitute the approval of city agencies.
6. Plan prepared in accordance with the instructions of Michael S. Pearstein.
7. A zoning permit is required for any proposed changes to lot lines including consolidation of existing parcels.
8. The use of this plan for purposes other than as designated herein, would be at the sole risk of the user.
9. Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
10. The location of all service connections are unable to be determined. Utility information if shown is a composite of information obtained from the plan of record where readily available and site survey performed by Ambric Technology Corp. Locations are only shown approximate and for general location purposes only and may not be complete and are not guaranteed to be accurate.
11. Benchmark elevation presented are in Philadelphia Vertical Datum, San. MH in Pechin Street Rim Elevation 228.48. Benchmark is not set by City Surveyor.

**Survey provided by Ambric Technology Corporation.

STEEP SLOPE DISTURBANCE NOTES:

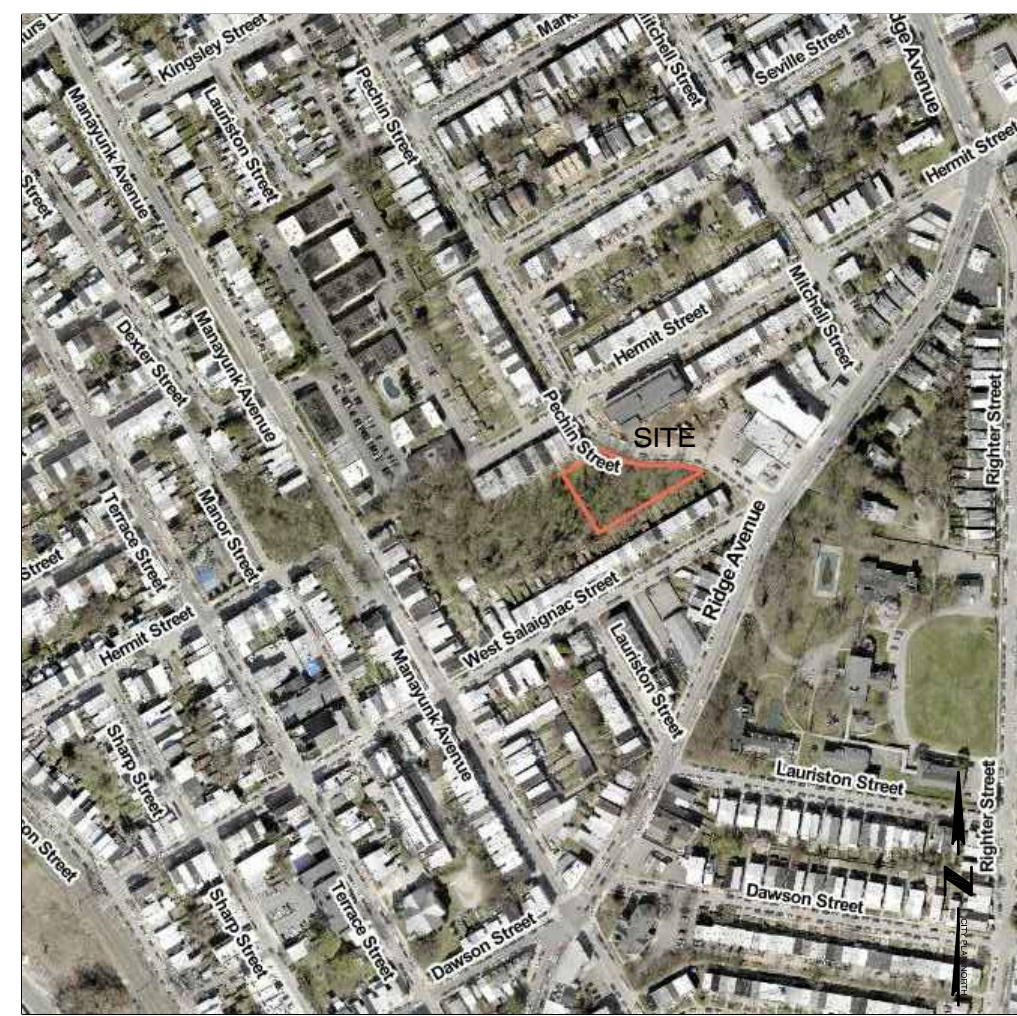
1. This project does not disturb slopes greater than 25%.
2. This site disturbs slopes between 15% and 25%.

ZONING PLAN NOTES:

1. At least (1) one ADA accessible parking space shall be provided.
2. The proposed development will not result in disturbance of slopes greater than 25%.
3. The property lies within the Steep Slope Protection Overlay District and as such is subject to additional consideration by L&I, PWD, and the Philadelphia City Planning Commission.
4. 13" Caliper of trees has been proposed for the 13" of trees to be removed from the site.

AVERAGE GRADE CALCULATION

237.00 + 234.40 + 233.92 + 234.68 = 944
944 / 4 = 236.00
AVERAGE GRADE = 236.00



LOCATION MAP

THIS SITE IS LOCATED IN THE
WISSAHICKON WATERSHED OVERLAY
DISTRICT AND STEEP SLOPE
PROTECTION AREA.

UTILITY OWNERS

DATE CONTACTED: JANUARY 21, 2022

SERIAL NUMBER: 20220211238

COMPANY: COMCAST CABLEVISION

ADDRESS: 4400 WAYNE AVE

PHILADELPHIA, PA 19140

CONTACT: BOB HARVEY

EMAIL: bob.harvey@comcast.com

COMPANY: USIC

ADDRESS: 450 S HENDERSON RD, SUITE B

KING OF PRUSSIA, PA 19406

CONTACT: GAVIN HEWITT

EMAIL: gavinhe Witt@usic.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT

ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ANA TOWER

PHILADELPHIA, PA 19107

CONTACT: ERIC POKERT

EMAIL: eric.pokert@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS

ADDRESS: 1401 JFK BLVD, ROOM 940 MSB

PHILADELPHIA, PA 19102

CONTACT: JOSEPH KISIEL

EMAIL: joseph.kisiel@phila.gov

COMPANY: PHILADELPHIA GAS WORKS

ADDRESS: 800 W MONTGOMERY AVE

PHILADELPHIA, PA 19122

CONTACT: JAMES BOCHANANSKI

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY

ADDRESS: 1234 MARKET ST, 12TH FL

PHILADELPHIA, PA 19107

CONTACT: DAVID MONTYDAS

EMAIL: dmontydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC

ADDRESS: 180 SHEREE BLVD, STE 2100 ROOM N/A

EXTON, PA 19341

CONTACT: KELLY BLOUNT

EMAIL: kelley.b.blount@verizon.com

OWNER OF RECORD

3838-52 PECHIN ST
PECHIN COURT LLC
6060 RIDGE AVE
SUITE 200
PHILADELPHIA, PA 19128



REVISIONS		
01	2022-03-28	Checklist #1 Review
02	2022-04-13	ZONING REVIEW
03	2022-05-03	ZONING REVIEW

3838 PECHIN STREET

Philadelphia, PA 19128

21st Ward - OPA#212154622

prepared for:

Andrew Langsam

6060 Ridge Avenue, Suite 200

Philadelphia, PA 19128

a.langsam@gmail.com

(202)-812-2980

DAVID J. PLANTE, Professional Engineer PA No. PE-043820-E

Ruggiero Plante Land Design

5900 Ridge Avenue Philadelphia, PA 19128

phone 215.508.3800 fax 215.508.3800 www.ruggieroplante.com

Plan Date: Scale: 1" = 10'

March 15, 2022

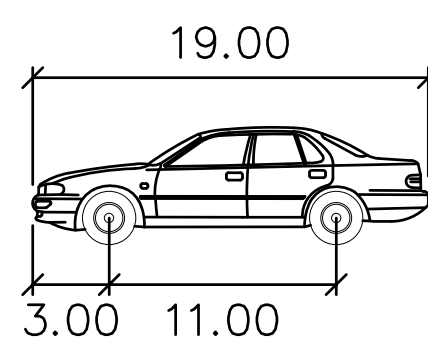
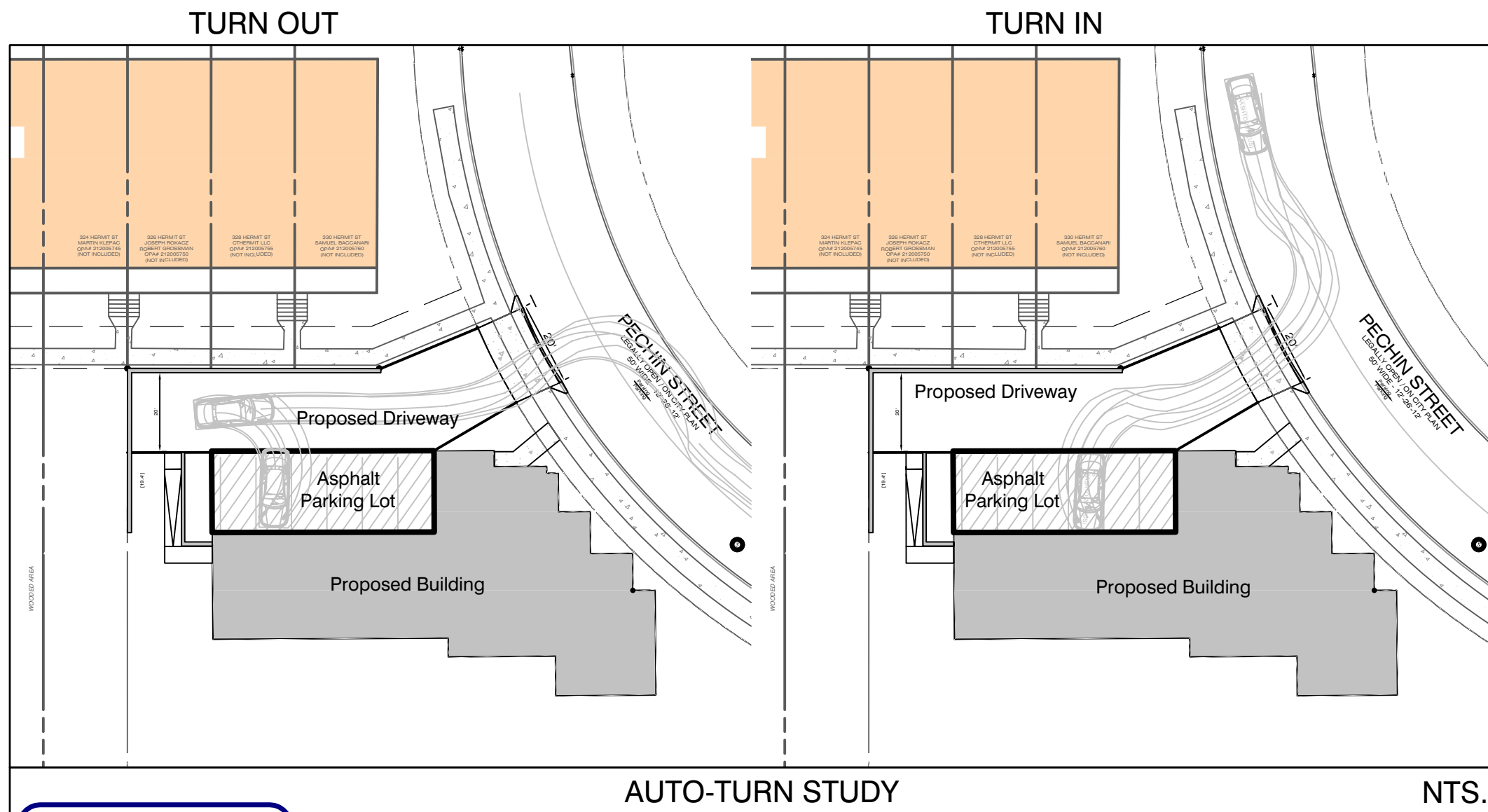
Plan Set:

ZONING

Sheet Title:

ZONING PLAN

Sheet 1 of 1



Width : 7.00
Track : 6.00
Lock to Lock Time : 6.0
Steering Angle : 31.6

APPROVED
FOR ZONING ONLY
05/10/22

Applied Electronically by L&I User:

BUILDING ELEVATIONS - PROVIDED BY 3GHC ARCHITECTS LLC

SCALE: 1"=20'

SR-2022-012298
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