

Zoning Permit

Permit Number ZP-2020-007222C

LOCATION OF WORK 1223-45 WASHINGTON AVE, Philadelphia, PA 19147-3623	PERMIT FEE \$1,412.00	DATE ISSUED 11/2/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX5	

PERMIT HOLDER BROAD AND WASHINGTON LP	817 NORTH 03RD ST PHILADELPHIA PA 19123
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APPLICANT Ronald Patterson DBA: KLEHR HARRISON HARVEY BRANZBU	1835 Market Street14th FloorPhiladelphia, PA 19103USA
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TYPE OF WORK Conditional Zoning Approval

APPROVED DEVELOPMENT CONDITIONAL APPROVAL FOR THE ERECTION OF ONE(1) DETACHED STRUCTURE , FOR A RETAIL SALE OF CONSUMER GOODS, OFFICE AT FIRST FLOOR WITH MULTIFAMILY(375 DWELLING UNITS) FROM SECOND FLOOR ABOVE WITH RESIDENTIAL AMENITIES WITH 78 ACCESSORY UNDER GROUND PARKING SPACES INCLUDING WITH 8 SHARE SPACES, 11 SPACES REDUCTION WITH BICYCLE SPACES; 4 ELECTRIC PARKING SPACES, 3 ACCESSIBLE SPACES AND 1 ACCESSIBLE VAN PARKING SPACES AT PARKING LEVEL P1 AND P2, 184 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE AND (TWO(2) LOADING SPACES .SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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 CONDITIONS AND LIMITATIONS: - Permits, including Zoning Permits not involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, six (6) months from the date of issuance with the following exceptions: 30-days or 10-days for Permits related to Unsafe or Imminently Dangerous properties respectively. 3-years from issuance or date of decision by ZBA for Zoning Permits involving development. 60-days for Plumbing, Electrical or Fire Suppression Rough-In Approvals. - Any Permit issued for construction or demolition is valid for no more than five (5) years. - All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code
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 Post a copy of this permit in a conspicuous location along each frontage. Permit must be posted within 5 days of issuance.
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Zoning Permit

Permit Number ZP-2020-007222C

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1223-45 WASHINGTON AVE, Philadelphia, PA 19147-3623

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

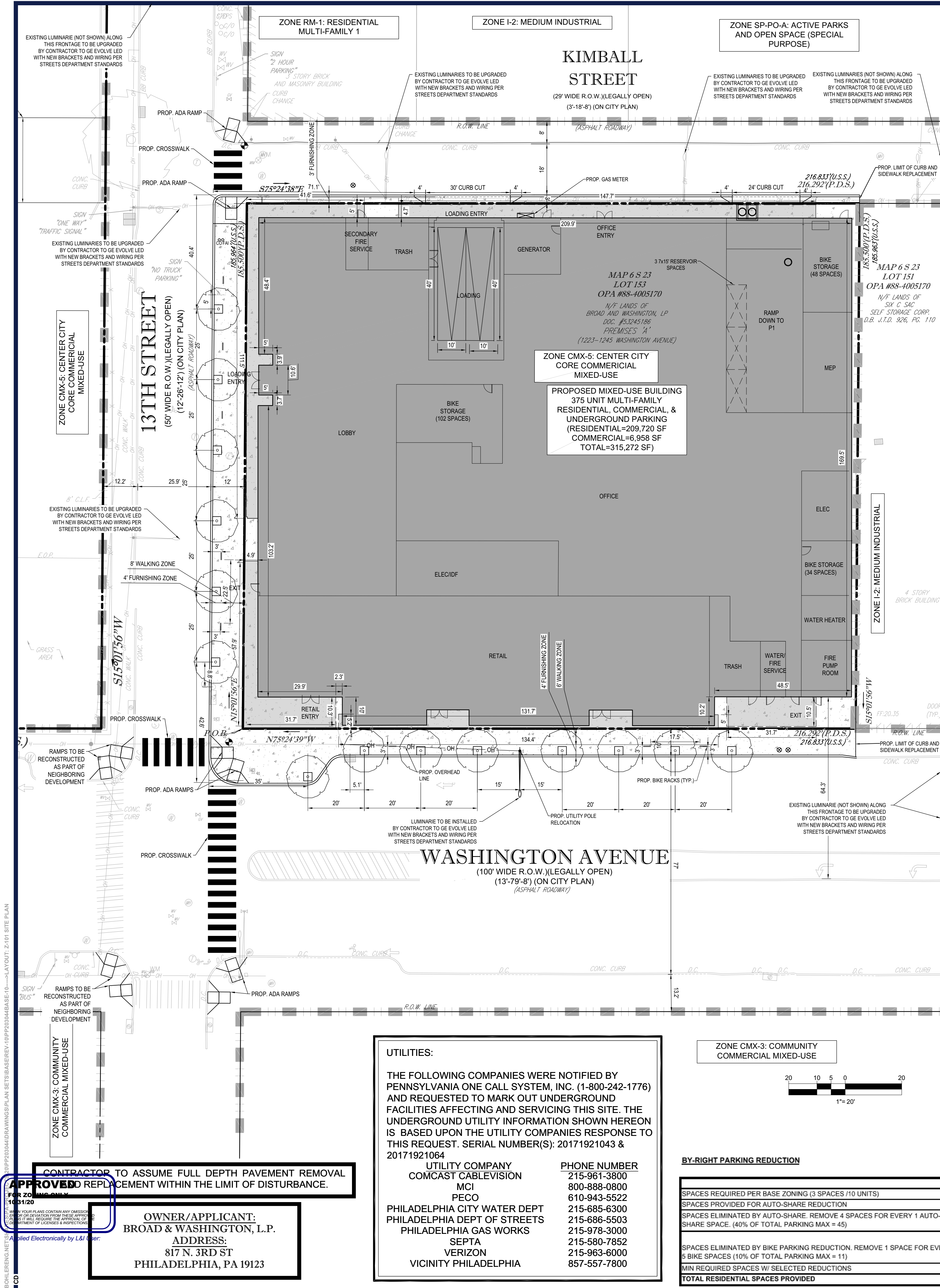
CONDITIONAL APPROVAL FOR THE ERECTION OF ONE(1) DETACHED STRUCTURE , FOR A RETAIL SALE OF CONSUMER GOODS, OFFICE AT FIRST FLOOR WITH MULTIFAMILY(375 DWELLING UNITS) FROM SECOND FLOOR ABOVE WITH RESIDENTIAL AMENITIES WITH 78 ACCESSORY UNDER GROUND PARKING SPACES INCLUDING WITH 8 SHARE SPACES, 11 SPACES REDUCTION WITH BICYCLE SPACES; 4 ELECTRIC PARKING SPACES, 3 ACCESSIBLE SPACES AND 1 ACCESSIBLE VAN PARKING SPACES AT PARKING LEVEL P1 AND P2, 184 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE AND (TWO(2) LOADING SPACES .SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

This permit is subject to the following specific conditions.

CONDITIONS



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.



ZONING SUMMARY			
SUMMARY: BASE DISTRICT CMX-5: CENTER CITY CORE COMMERCIAL MIXED USE OVERLAY DISTRICTS: RESIDENTIAL PARKING CONTROL AREA CENTER CITY RESIDENTIAL DISTRICT SITE INFORMATION: ADDRESS: 1223-1245 WASHINGTON AVE. PHILADELPHIA, PA. USE/INTENDED DEVELOPMENT, INCLUDING RETAIL, OFFICE AND BELOW GRADE ACCESSORY PARKING GARAGE			
LOT AREA: 40,121 SQ. FT.			
ITEM	ZONING SECTION	ZONING REGULATION REQUIREMENT	PROPOSED
USE REGULATIONS	14-802.2	ONLY USES PERMITTED ON SECTION 14-802.2	1. RESIDENTIAL MULTI-FAMILY (175 DWELLING UNITS) 2. RETAIL, SALE OF CONSUMER GOODS 3. OFFICE
HEIGHT REGULATIONS	14-701.3	N/A	153'-10"
GROSS FLOOR AREA (GFA)		N/A	315,125
MAX. FLOOR AREA (% OF LOT AREA)	14-701.3	CMX-5: 1.200 COMPLY WITH CMX-5 BULK AND MASSING CONTROLS 14-701(5)	785
MAX. OCCUPIED AREA (% OF LOT)	14-701.3	BUILDINGS 5 STORIES WITH 1 OR MORE DWELLING UNITS: 90; OTHERS: 100	96
YARDS / SETBACKS (FT)	14-701.3	MIN. FRONT YARD: N/A; MIN. REAR YARD: N/A; MIN. SIDE YARD WIDTH-EACH IF USED: BUILDINGS 4 STORIES WITH THREE OR FEWER DWELLING UNITS = 5; OTHERS = 8	0
MIN. STREET FRONTAGE AS TAKEN FROM THE LOT LINE (FT)	14-701.3	N/A	0
BULK AND MASSING (% OF LOT)	14-701(5) OPTION B	THE MAX. LOT COVERAGE OF BUILDINGS FOR THE FIRST 65 FT OF BUILDING HEIGHT SHALL BE 100%. THE MAXIMUM LOT COVERAGE FOR PORTIONS OF BUILDINGS ABOVE 65 FT AND UP TO 300 FT IN HEIGHT SHALL BE 75% OF THE LOT	BUILDING FOR THE FIRST 65 FT OF HEIGHT = 92% ABOVE 65 FT AND UP TO 300 FT OF HEIGHT = 65%
BICYCLE PARKING REGULATIONS	14-804.1	MULTIFAMILY BUILDINGS: 12 OR MORE DWELLING UNITS 1 PER 3 DWELLING UNITS OR FRACTION RETAIL: 1 PER EVERY 10,000 SF OR FRACTION OFFICE: OVER 20,000 SF, 1 PER EVERY 10,000 SF OR FRACTION THEREOF	BICYCLE PARKING REQ: 125 PER BASE ZONING, 115+105 REQUIRED PER AUTO-SHARE REDUCTION, BICYCLE PARKING PROVIDED: 185
RESERVOR SPACES	14-802(6)	NUMBER OF PARKING PROVIDED BELOW 10', 3 SPACES REQUIRED	SPACES PROVIDED: 3
VEHICLE PARKING REGULATIONS	14-802	MULTIFAMILY USE: 370 UNITS RETAIL USE: 0; OFFICE USE: 0	SEE PARKING REDUCTION CALCULATION
ACCESSIBLE PARKING SPACES	14-803.4	FROM 76 TO 100 TOTAL PARKING SPACES: 4; 1/8 SHOULD BE VAN ACCESSIBLE	ADA PARKING REQ: 4 SPACES PROVIDED: 4 ADA VAN REQ: PROVIDED: (1) (1)
ELECTRIC PARKING SPACES	14-803.3	FOR 50+95 PARKING SPACES PROVIDED: 4	SPACES REQUIRED: 4 SPACES PROVIDED: 4
OFF STREET LOADING REGULATIONS	14-805.2	RESIDENTIAL USE BETWEEN 200,001-500,000 FT. 2 OFFICE AND VENDOR ACCOMMODATION LESS THAN 100,000 SF = 0 ALL OTHER PERMITTED USE, LESS THAN 40,000 SF = 0	RESIDENTIAL: 2, TOTAL PROVIDED: 2
LOADING SIZES	14-805.3	11 FEET WIDE, 40 FEET LONG, 14 FEET HIGH ALONG TO REDUCE TO 10 FEET WIDE, 40 FEET LONG, 14 FEET HIGH WHEN STREET IS NARROWER THAN 35'-0"	10 FEET WIDE, 40 FEET LONG, 14 FEET HIGH

GENERAL NOTES (ZONING-RESIDENTIAL)

- THIS DRAWING REFERENCES:
A. PLAN BY:
CONTROL POINT ASSOCIATES, INC.
1600 MANOR DRIVE, SUITE 120
CHALFONT, PA 18814
ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY"
FILE NO.: 02-140374-04
DATED: 04/07/2020
LAST REVISED: 05/05/2020
- ARCHITECTURAL PLANS BY:
BKV GROUP
ENTITLED: BROAD AND WASHINGTON U-HAUL
- OWNER/APPLICANT:
BROAD & WASHINGTON, L.P.
817 N. 3RD ST
PHILADELPHIA, PA 19123

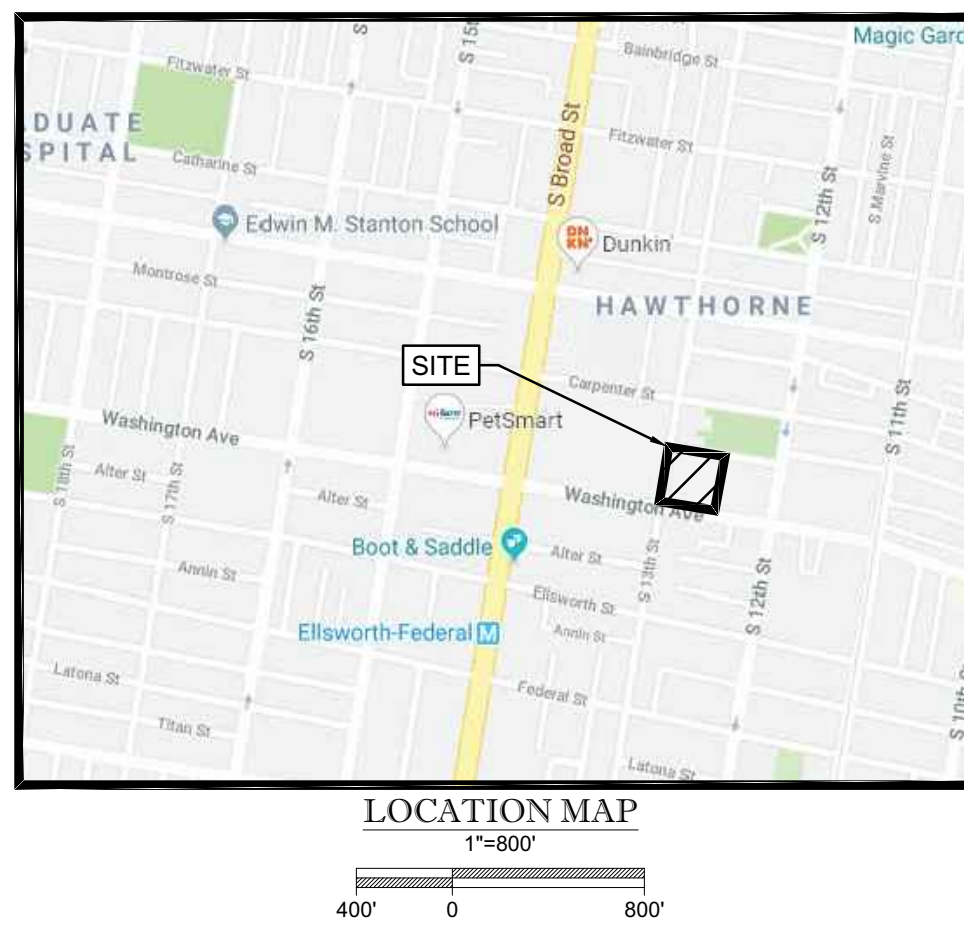
SITE DATA: 1223-45 WASHINGTON AVENUE
CITY OF PHILADELPHIA
PHILADELPHIA COUNTY, PENNSYLVANIA 19147

SITE AREA = 40,121 S.F. OR 0.92104 AC. (P.D.S.); 40,322 S.F. OR 0.92566 AC. (U.S.S.)

- ZONING DATA:
ZONED: CMX-5 CENTER CITY CORE COMMERCIAL MIXED-USE
EXISTING USE: PARKING LOT
PROPOSED USE: MIXED-USE BUILDING WITH COMMERCIAL SPACE ON FIRST FLOOR AND RESIDENTIAL UNITS ABOVE
OPAF# 88-5647940
- BOHLER ENGINEERING BUSINESS PRIVILEGE NUMBER IS 650139.
- ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA DISTRICT STANDARDS UNLESS OTHERWISE NOTED.
- TRASH PICK-UP WILL BE VIA PRIVATE HAULER.
- STORMWATER SHALL CONNECT TO THE EXISTING CITY DRAINAGE SYSTEM.
- ALL PLANTINGS SHALL BE IN ACCORDANCE WITH P.C.P.C. GUIDELINES.
- ALL CURB RADII SHALL BE 5.0 FEET UNLESS OTHERWISE NOTED.
- DEVELOPMENT TO BE SERVICED BY PUBLIC WATER AND SEWER IN ACCORDANCE WITH CITY OF PHILADELPHIA REQUIREMENTS.
- WATERSHED DISTRICT: DELAWARE DIRECT WATERSHED A
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
- PLAN PREPARED AS PER INSTRUCTIONS OF OWNER.
- PWD PROJECT ERS# F: FY21-UHAU-6085-01

BY-RIGHT PARKING REDUCTION

SPACES REQUIRED PER BASE ZONING (3 SPACES / 10 UNITS)	ZONING SECTION	PARKING COUNT
113 REQUIRED	14-802	113 REQUIRED
8 SPACES PROVIDED		8 SPACES PROVIDED
SPACES ELIMINATED BY AUTO-SHARE: REMOVE 4 SPACES FOR EVERY 1 AUTO-SHARE SPACE. (40% OF TOTAL PARKING MAX = 45)	14-802 (8)(b)	8 x 4 = 32 SPACES REDUCED
SPACES ELIMINATED BY BIKE PARKING REDUCTION: REMOVE 1 SPACE FOR EVERY 5 BIKE SPACES (10% OF TOTAL PARKING MAX = 11)	14-802(8)(e)	113 x 10% = 11 SPACES REDUCED
MIN REQUIRED SPACES W/ SELECTED REDUCTIONS		113-32-11+8 = 78 REQUIRED
TOTAL RESIDENTIAL SPACES PROVIDED		78 PROVIDED



LEGEND	
EXISTING	
BUILDING	
PROPERTY LINE	
ADJACENT PROPERTY LINE	
ZONING BOUNDARY	
CONCRETE CURB	
DEPRESSED CURB	
FENCE	
SIGN	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
ROOF DRAIN/CLEANOUT	
FIRE HYDRANT	
AREA LIGHT	
UTILITY POLE W/ LIGHT	
UTILITY POLE	
PROPOSED	
BUILDING	
BUILDING ABOVE	
CONCRETE CURB	
DEPRESSED CURB	
FENCE	
CONCRETE SIDEWALK	
INLET	
OUTLET STRUCTURE	
MEDIA FILTER	
YARD DRAIN	

GROSS BUILDING AREA BY TYPE	
AREA NAME	AREA
AMENITY	9980 SF
BUILDING SERVICE	52180 SF
OFFICE	32711 SF
PARKING	3767 SF
RESIDENTIAL	209720 SF
RETAIL	6766 SF
TOTAL GSF	315125 SF

GROSS BUILDING AREA BY LEVEL	
LEVEL	AREA
LEVEL 1	36959 SF
LEVEL 1.5	22810 SF
LEVEL 2	27844 SF
LEVEL 3	23740 SF
LEVEL 4	25627 SF
LEVEL 5	26241 SF
LEVEL 6	26241 SF
LEVEL 7	26241 SF
LEVEL 8	26241 SF
LEVEL 9	26241 SF
LEVEL 10	24953 SF
LEVEL 11	21987 SF
TOTAL GSF	315125 SF

VEHICLE PARKING SCHEDULE BY LEVEL	
TYPE	COUNT
LEVEL P2	
COMPACT - 8' x 16'	14
PARALLEL - 9' x 22'	1
STANDARD - 8.5' x 18'	25
STANDARD - ADA	3
43	
LEVEL P1	
ADA VAN - 11' x 18'	1
AUTO SHARE - 8.5' x 18'	8
COMPACT - 8' x 16'	4
ELECTRIC - 8.5' x 18'	4
PARALLEL - 9' x 22'	1
STANDARD - 8.5' x 18'	17
35	
TOTAL 78	

VEHICLE PARKING SCHEDULE BY TYPE	
TYPE	COUNT
ADA VAN - 11' x 18'	1
AUTO SHARE - 8.5' x 18'	8
COMPACT - 8' x 16'	18
ELECTRIC - 8.5' x 18'	4
PARALLEL - 9' x 22'	2
STANDARD - 8.5' x 18'	42
STANDARD - ADA	3
TOTAL 78	

BIKE PARKING COUNT	
LEVEL	BIKE
LEVEL 1	184
	184

REVISIONS

REV	DATE	COMMENT	CD
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PROJECT No.: PP203044
DRAWN BY: CD
CHECKED BY: SU
DATE: 9/14/2020
CAD ID: PP203044BASE-10

PROJECT:

ZONING PLANS

FOR
BROAD & WASHINGTON, L.P.

PROPOSED MIXED-USE
DEVELOPMENT

1223-45 WASHINGTON AVENUE
CITY AND COUNTY OF
PHILADELPHIA, PA 19147

BOHLER

1515 MARKET STREET, SUITE 920
PHILADELPHIA, PA 19102
Phone: (267) 402-3400
Fax: (267) 402-3401
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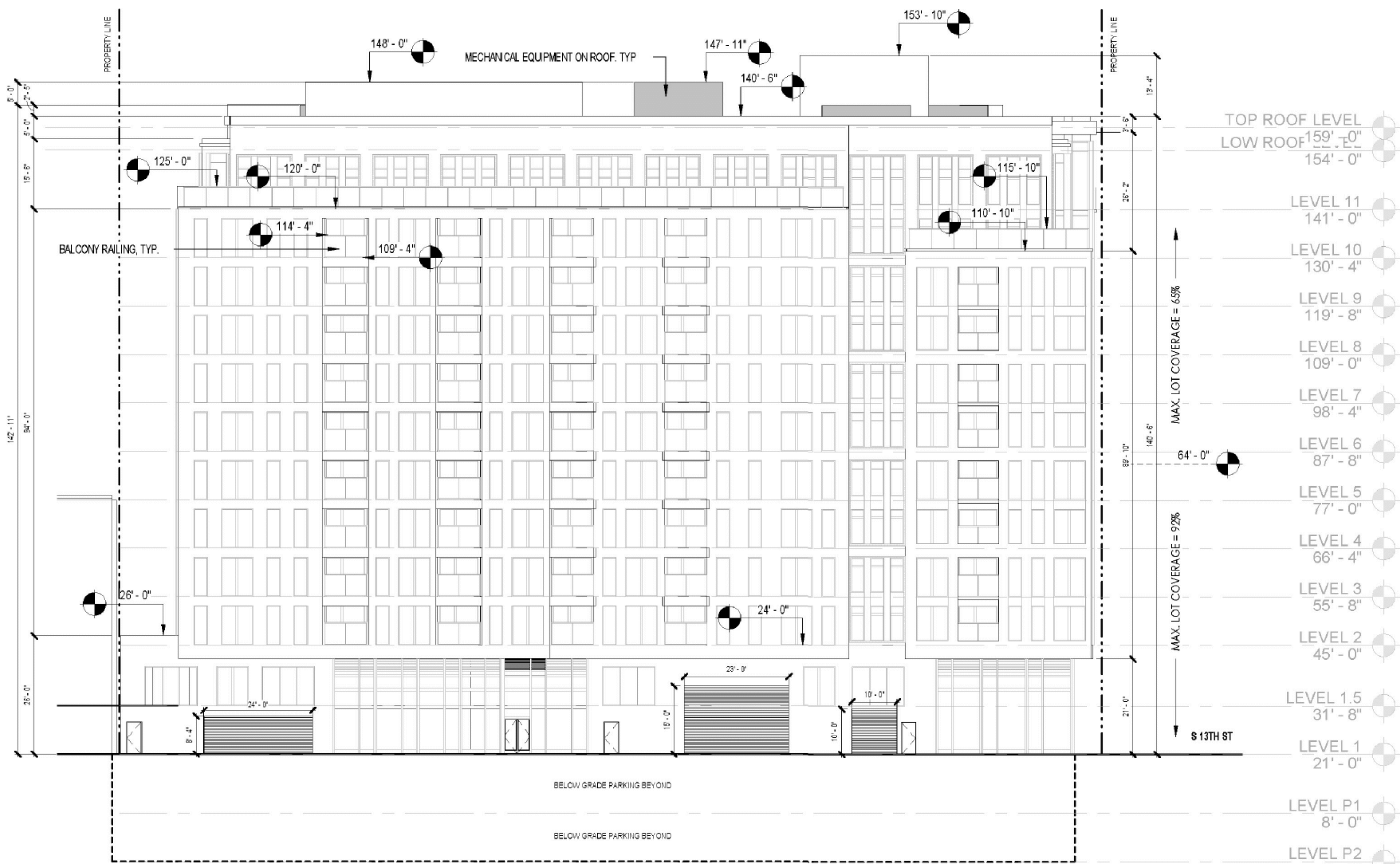
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SITE PLAN

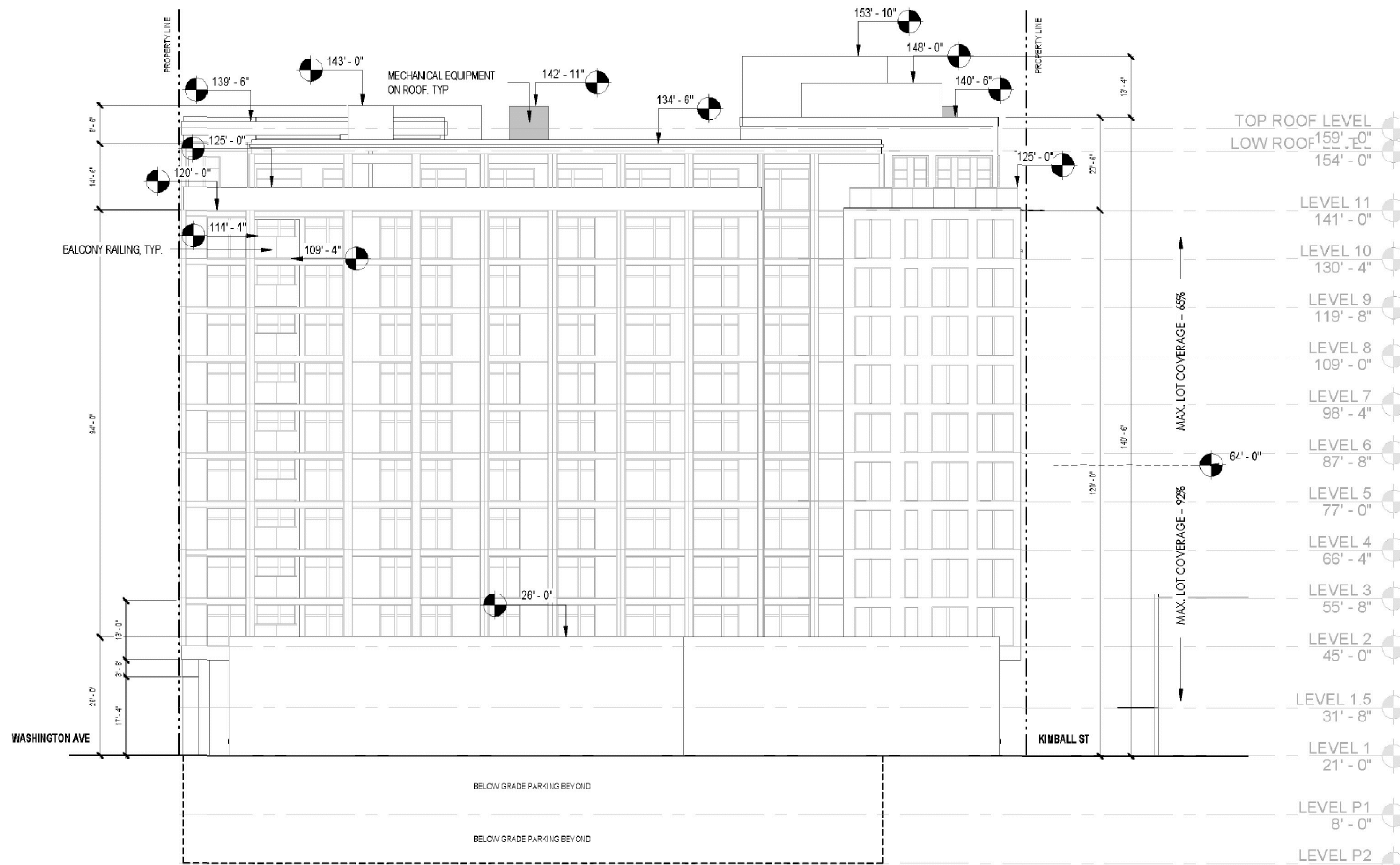
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Z-101

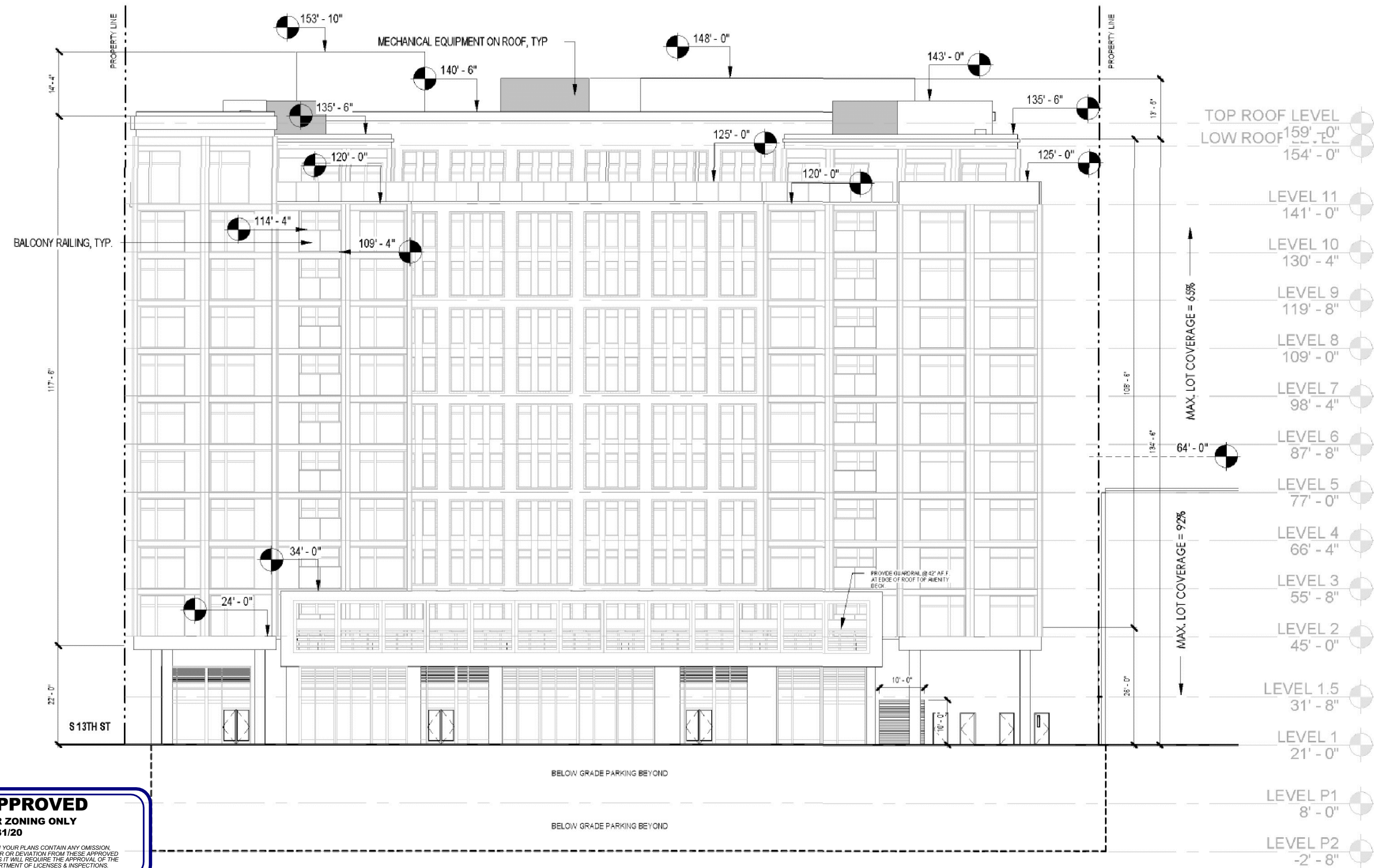
REVISION 1 - 10/23/2020



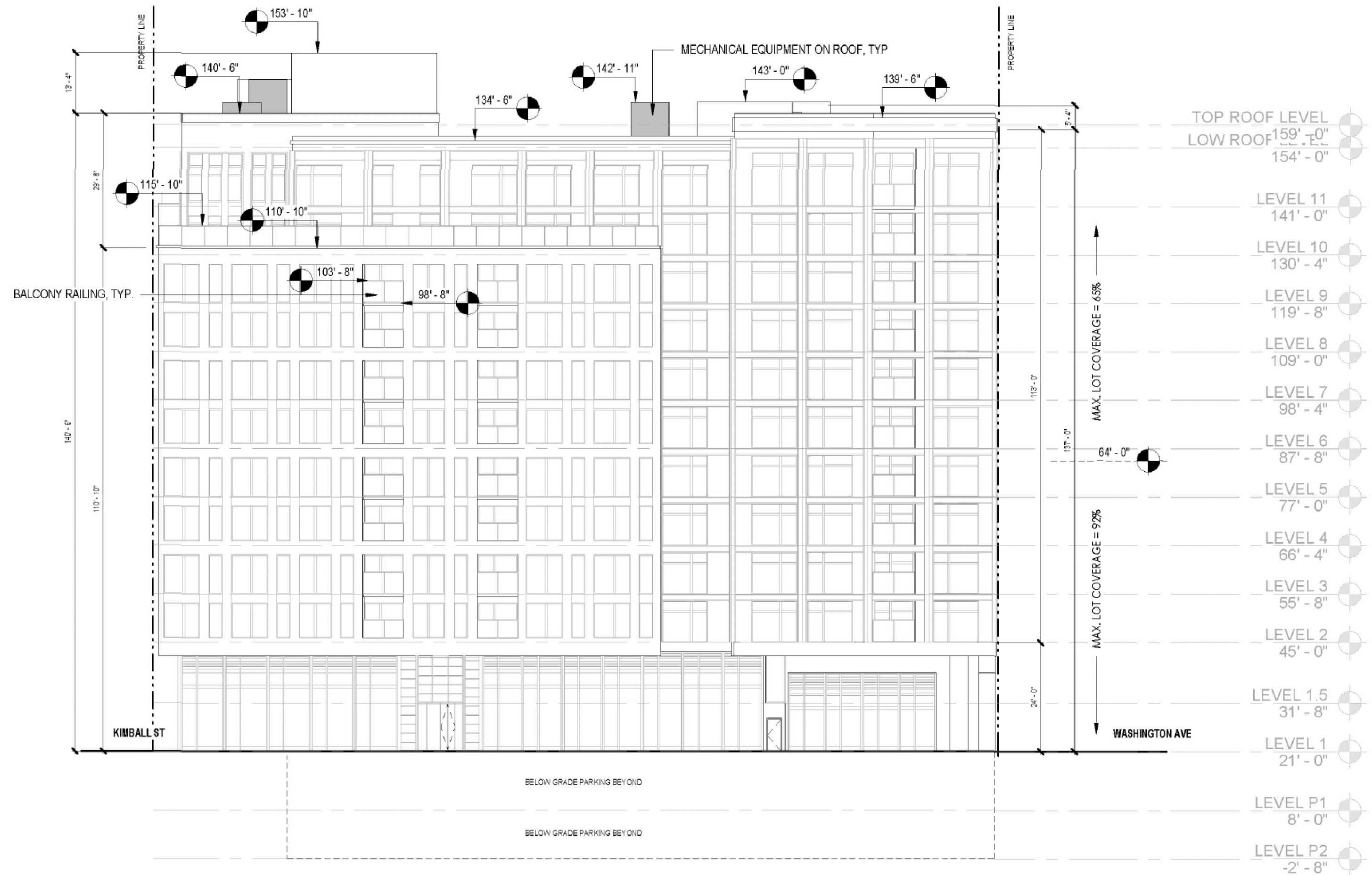
1 ZONING_NORTH ELEVATION
1" = 20'-0"



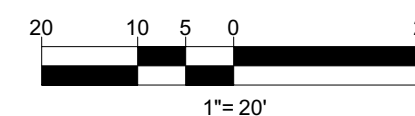
2 ZONING_EAST ELEVATION
1" = 20'-0"



3 ZONING_SOUTH ELEVATION
1" = 20'-0"



4 ZONING_WEST ELEVATION
1" = 20'-0"



\\BOHLER\NET\DRAWINGS\PLAN SETS\BASE REV\10\PP203044BASE-10.dwg - LAYOUT: Z-103 ELEVATIONS

APPROVED
FOR ZONING ONLY
10/31/20

Approved Electronically by L&J User:

3 ZONING_SOUTH ELEVATION
1" = 20'-0"

REVISIONS				
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1	10/23/2020	REV. PER STREETS COMMENTS	CD	SU

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PROPOSED MIXED-USE DEVELOPMENT
1223-45 WASHINGTON AVENUE
CITY AND COUNTY OF PHILADELPHIA, PA 19147

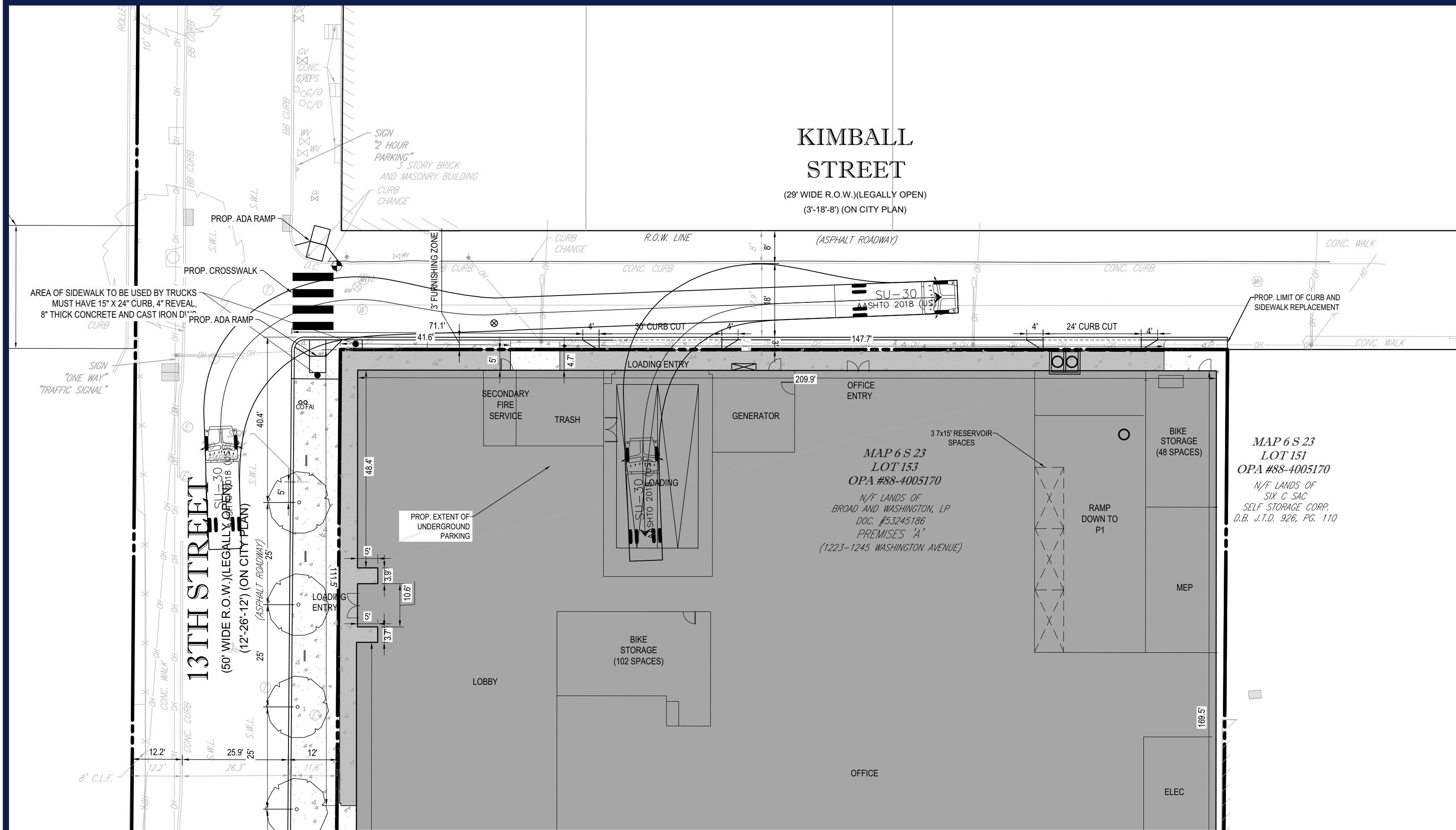
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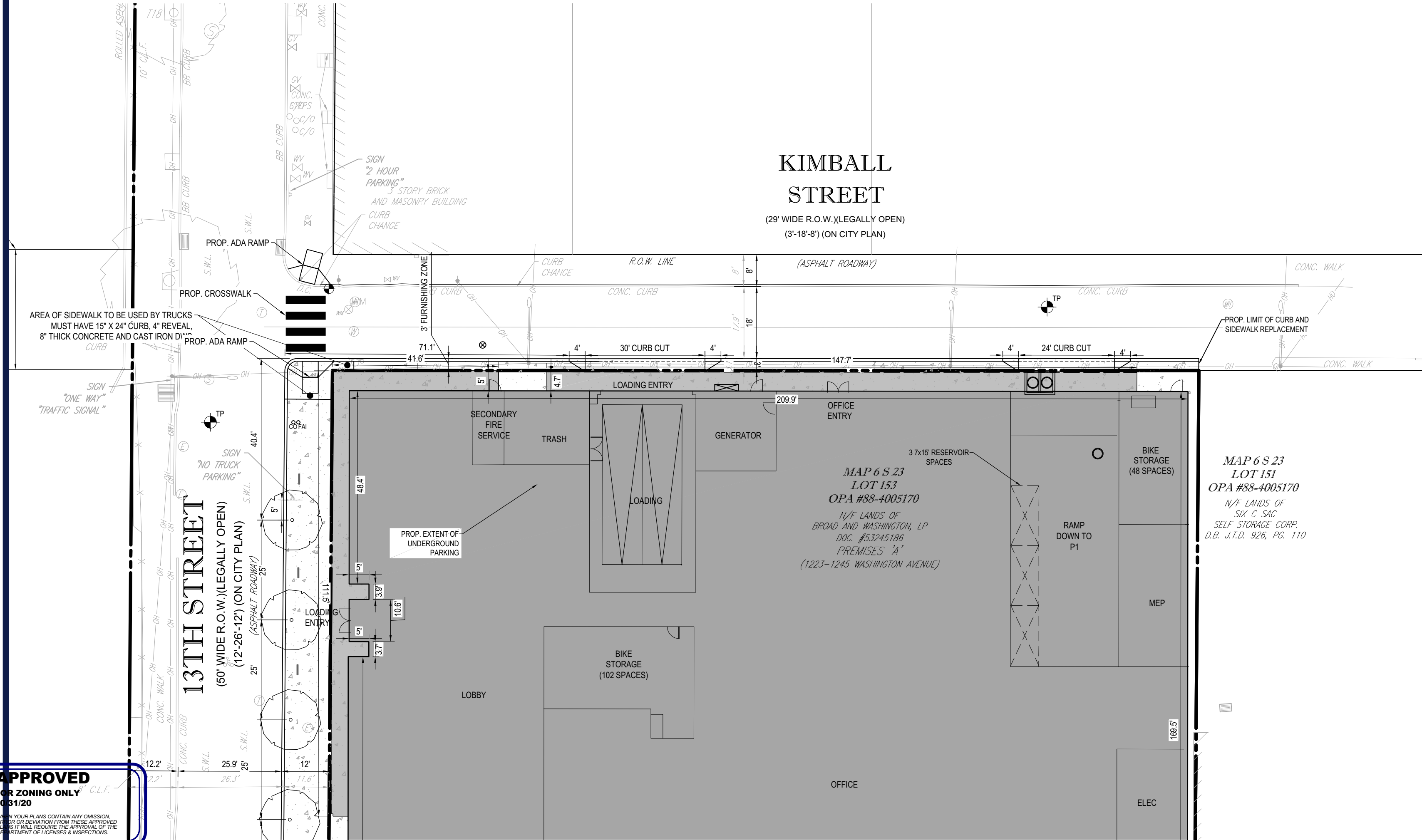
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BUILDING ELEVATIONS

SHEET NUMBER:
Z-103

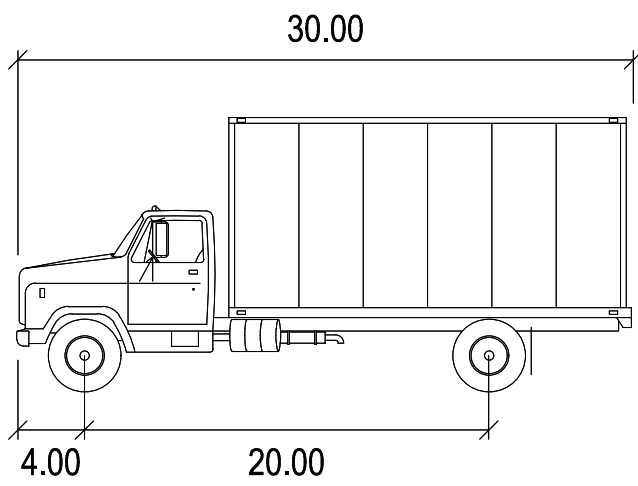
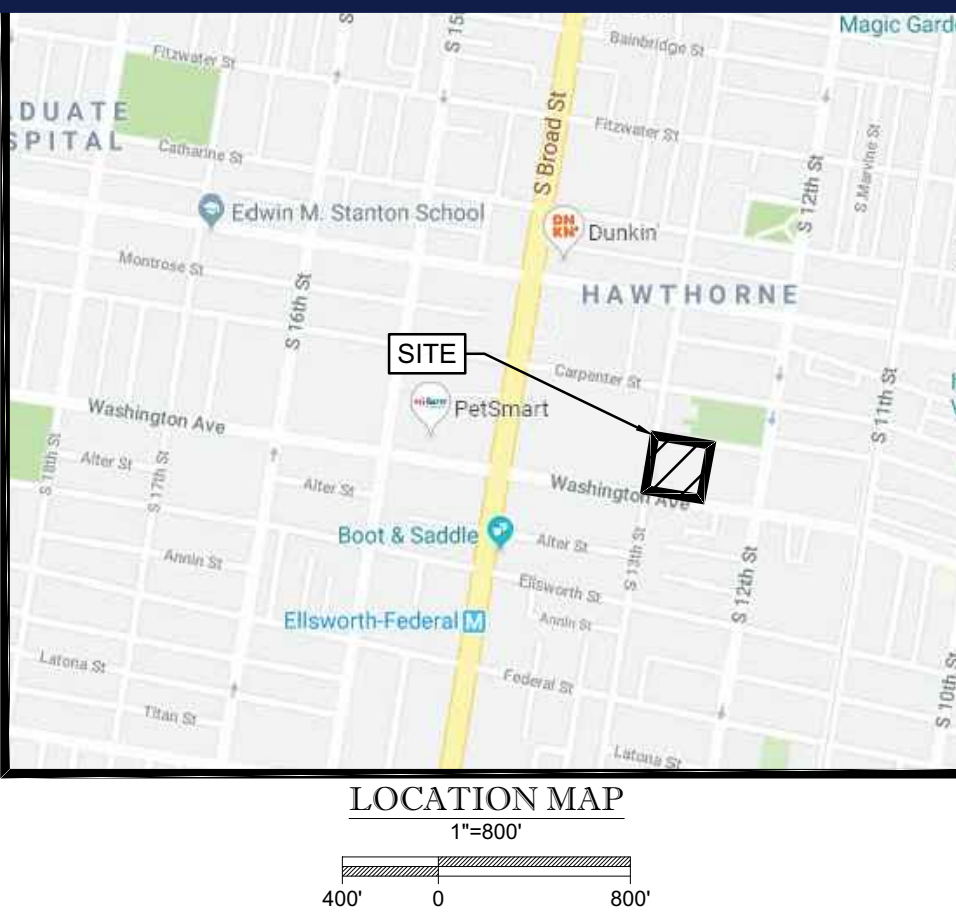
REVISION 1 - 10/23/2020



TRUCK ENTRANCE CIRCULATION



TRUCK EXIT CIRCULATION



SU-30	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

LEGEND	
EXISTING	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	
PROPERTY LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
LEASE LINE	
OVERHEAD UTILITY WIRES	
SIGN	
AREA LIGHT	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
ROOF DRAIN/CLEANOUT	
FIRE HYDRANT	
UTILITY POLE W/ LIGHT	
UTILITY POLE	
PROPOSED	
BUILDING	
BUILDING OVERHANG	
LANDSCAPE AREA	
SIDEWALK	
CONCRETE CURB	
FLUSH CURB	

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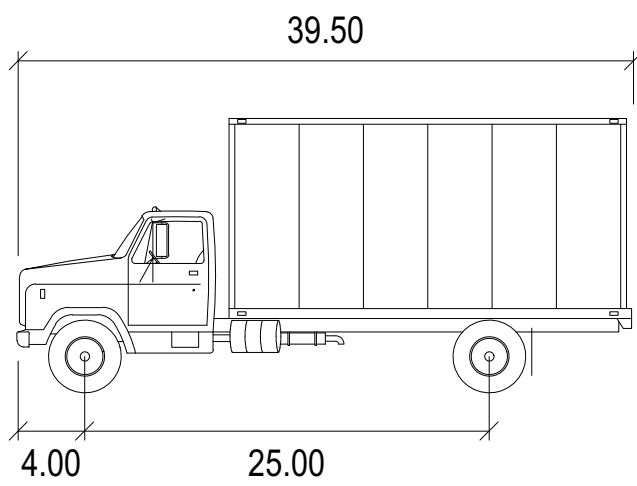
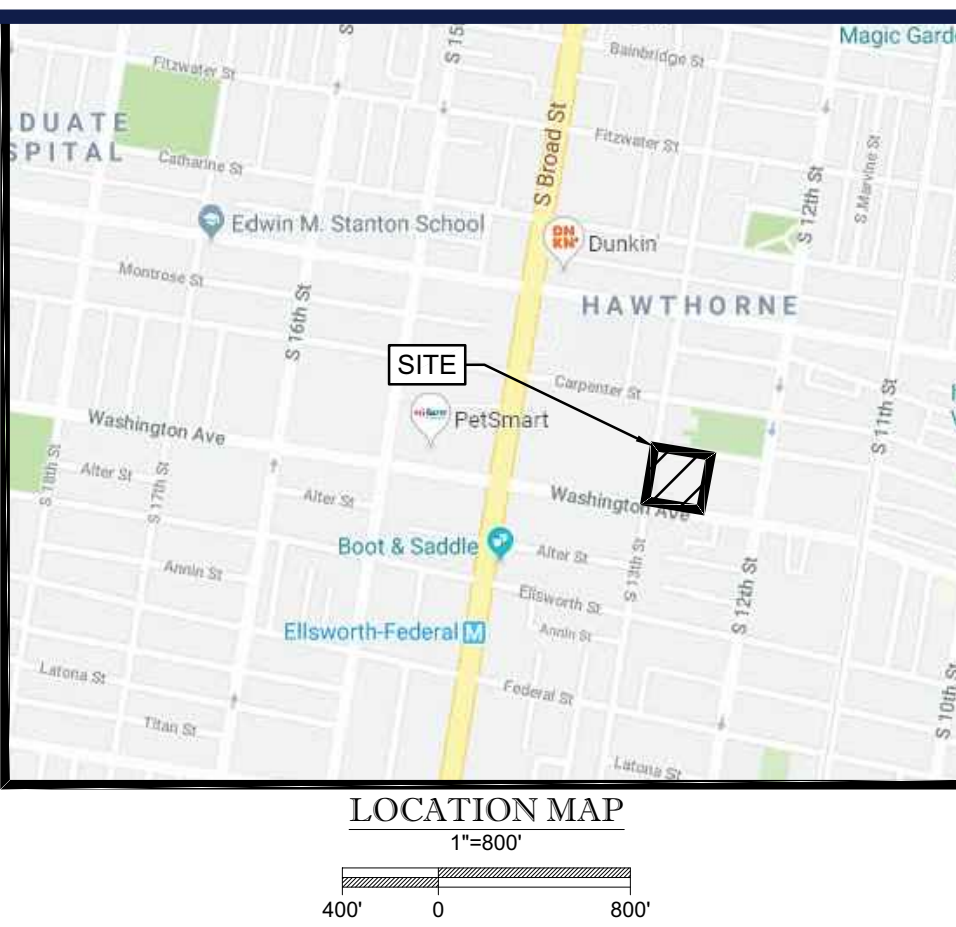
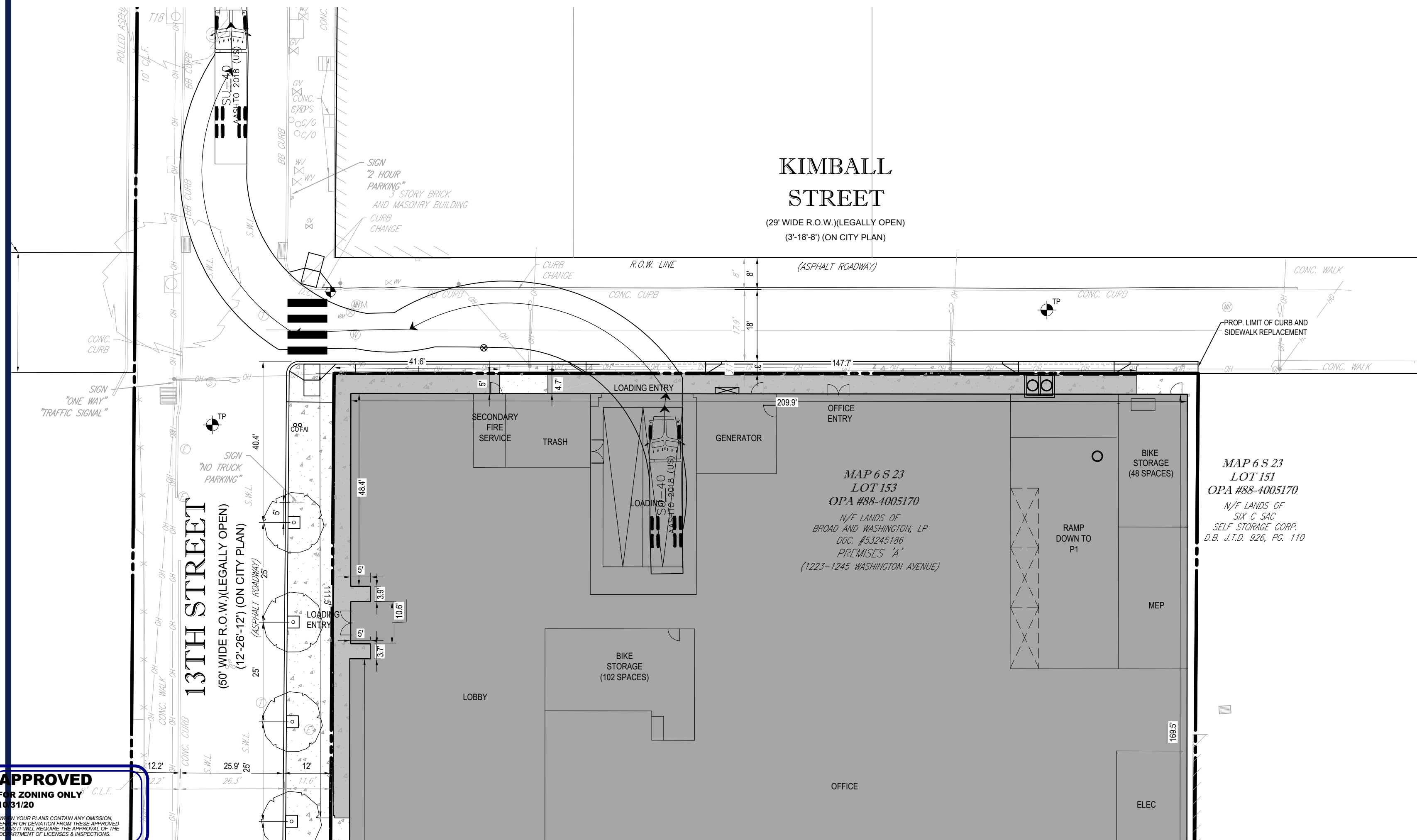
SHEET TITLE:

TRUCK TURNING PLAN (SU-30)

SHEET NUMBER:

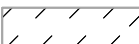
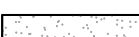
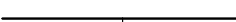
Z-104

REVISION 1 - 10/23/2020



SU-40

Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

LEGEND EXISTING	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	
PROPERTY LINE	
ADJACENT PROPERTY LINE	
EASEMENT LINE	
LEASE LINE	
OVERHEAD UTILITY WIRES	
SIGN	
AREA LIGHT	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
ROOF DRAIN/CLEANOUT	
FIRE HYDRANT	
UTILITY POLE W/ LIGHT	
UTILITY POLE	
PROPOSED	
BUILDING	
BUILDING OVERHANG	
LANDSCAPE AREA	
SIDEWALK	
CONCRETE CURB	
FLUSH CURB	

REVISIONS

[illegible]

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PROJECT No.: PP20304
DRAWN BY: C
CHECKED BY: S
DATE: 9/14/202
CAD I.D.: PP203044BASE-1

PROJECT:

ZONING PLANS

FOR

**BROAD &
WASHINGTON, L.P.**

PROPOSED MIXED-USE DEVELOPMENT

1223-45 WASHINGTON AVENUE
CITY AND COUNTY OF
PHILADELPHIA, PA 19147

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SHEET TITLE:

TRUCK TURNING PLAN (SU-40)

SHEET NUMBER:

Z-105

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