

Zoning Permit

Permit Number ZP-2022-001709

LOCATION OF WORK 1130-54 N DELAWARE AVE, Philadelphia, PA 19125-4305	PERMIT FEE \$1,722.00	DATE ISSUED 10/3/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX3	

PERMIT HOLDER SOZ DE AVE APARTMENTS OWN	2301 WASHINGTON AVE STE 1 PHILADELPHIA PA 19146
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OWNER CONTACT 1 Michael Stillwell	1100 N. Delaware Avenue, Rear, Philadelphia, PA 19125
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF THREE(3) DETACHED STRUCTURES ON LOT WITH ROOF DECK ACCESSED BY AN ELEVATOR PENTHOUSE; BALCONIES AND CANOPY WITH THIRTY-FOUR(34) ACCESSORY PARKING SPACES , INCLUDING WITH TWO(2) ACCESSIBLE SPACES INCLUDING WITH ONE(1) VAN ACCESSIBLE SPACE , EIGHT(8) COMPACT SPACES, THREE(3) ELECTRIC VAN SPACES, TWO(2) LOADING SPACES AND SIXTY-ONE(61) BICYCLE SPACES IN AN ACCESSBLE ROUTE AT FIRST FLOOR . SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1130-54 N DELAWARE AVE, Philadelphia, PA 19125-4305

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A MULTI-FAMILY HOUSEHOLD LIVING (182 DWELLING UNITS) , WITH VACANT COMMERCIAL SPACE (AS PER SECTION 14-507(4)(C)(3)(No more than twenty-five percent (25%) of the length of the ground floor of the building frontage may be occupied by uses other than household living) (USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) .

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



ZONING CHART		
CMX-3 COMMUNITY COMMERCIAL MIXED-USE		
DISTRICT AND LOT DIMENSIONS		
	REQUIRED	PROPOSED
MIN. DISTRICT AREA (SQ. FT.)	-	40,119
MIN. STREET FRONTAGE AS TAKEN FROM LOT LINE (FT.)	-	106.3
MIN. LOT WIDTH (FT.)	-	115.5
MIN. LOT AREA (SF)	-	40,119
MAX. OCCUPIED AREA (% OF LOT)	80	(31,815 SF / 40,119 SF) = 79
HEIGHT		
MAX. HEIGHT (FT.)		
TOWNHOMES		55
APARTMENTS		84'-3"
MIN. CORNICE HEIGHT (FT.)		-
YARDS		
MIN. SIDE YARD WIDTH, EACH (FT.)	8 IF USED FOR BUILDINGS CONTAINING DWELLING UNITS	22
FLOOR AREA RATIO		
MAX FLOOR AREA (% OF LOT AREA)	500	423

PARKING REQUIREMENTS		
	REQUIRED	PROPOSED
TOTAL PARKING (8.5 X 20)	(182 DWELLING UNITS / 1017) = 55 SPACES AUTO-SHARE REDUCTION: FOR EVERY AUTO-SHARE PARKING SPACE REDUCE TOTAL PARKING REQUIREMENT BY 4 SPACES (UP TO 40% REDUCTION) 4 AUTO-SHARE SPACES = 4 x 16 SPACE REDUCTION BICYCLE PARKING REDUCTION: FOR EVERY 5 CLASS 1 BICYCLE PARKING SPACES REDUCE TOTAL VEHICLE PARKING REQUIRED BY 1 SPACE (UP TO 10% REDUCTION OF TOTAL PARKING) 61 BICYCLE SPACES PROPOSED: 11,722 = 122 (ABOVE MAX REDUCTION) 10% REDUCTION OF TOTAL PARKING REQUIRED 61/10 = 6.1 SPACE REDUCTION TOTAL PARKING REQUIRED = 55-6.1 = 34 PARKING SPACES	34
ADA PARKING	26 TO 50 PARKING SPACES PROVIDED = 2	2
COMPACT CAR PARKING (8 X 16)	LIMITED TO 20% OF ALL PARKING SPACES IN LOTS WITH MORE THAN 25 SPACES (44 TOTAL SPACES / 25) = 11	8
ELECTRIC VEHICLE	(40-49 PARKING SPACES PROVIDED) = 3	3
BIKE PARKING	(182 DWELLING UNITS / 3) = 61	61
LOADING	(150,001-400,000 SF) = 2	2

GENERAL NOTES

- THIS DRAWING REFERENCES:
A SURVEY BY:
CONTROL POINT ASSOCIATES, INC.
1800 MARJOR DRIVE, SUITE 310
CHALFONT, PA 18914
ENTITLED: BOUNDARY & TOPOGRAPHIC SURVEY
FILE NO. 12-02-011
DATED: 12-20-2018
AN ARCHITECT PLAN BY:
VARENHORST
280 N 21ST STREET
PHILADELPHIA, PA 19103
ENTITLED: 1130 N. DELAWARE AVENUE
FILE NO. N/A
DATED: 10-29-2021
- EQUITABLE OWNER:
SOZ DE AVE APARTMENTS OWNER
201 WASHINGTON AVE, SUITE 111
PHILADELPHIA, PA 19125
APPLICANT:
US CAPITAL INVESTMENTS 20, LLC
201 WASHINGTON AVE, SUITE 111
PHILADELPHIA, PA 19146
- ZONING DATA: CMX-3 COMMERCIAL MIXED-USE
EXISTING USE: 1 STORY FURNITURE BUILDING WITH PARKING LOT
PROPOSED USE: RESIDENTIAL, USE AND VACANT COMMERCIAL SPACE
BOHLER ENGINEERING BUSINESS PRIVILEGE NUMBER IS 650135
- ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA AND DERIVED FROM THE SURVEY DISTRICT NUMBER #5.
- TEMPORARY BENCH MARKS SET:
TBM-A, MAG NAIL SET IN CONCRETE SIDEWALK
ELEV = 12.8
TBM-B, MAG NAIL SET IN CONCRETE SIDEWALK
ELEV = 12.21
- STORMWATER SHALL CONNECT TO THE EXISTING CITY DRAINAGE SYSTEM.
- ALL PLANTINGS SHALL BE IN ACCORDANCE WITH P.C.P.C. GUIDELINES.
- ALL CURB RADI SHALL BE 5.0 FEET UNLESS OTHERWISE NOTED.
- DEVELOPMENT TO BE SERVICED BY PUBLIC WATER AND SEWER IN ACCORDANCE WITH CITY OF PHILADELPHIA REQUIREMENTS.
- WATERSHED DISTRICT: DELAWARE DIRECT WATERSHED; MANAGEMENT ZONE A (SOUTH), COMBINED SEWER.
- BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- PLAN PREPARED AS PER INSTRUCTIONS OF OWNER.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PHILADELPHIA WATER AND SEWER DEPARTMENT, AND ZONING REQUIREMENTS IN THE PHILADELPHIA CODE.
- SITE DATA =
AREA (P.D.S.) = 40,119 S.F. OR 0.921 AC.
ALL CURB RADI SHALL BE 5.0 FEET UNLESS OTHERWISE NOTED.
- NORTH DELAWARE AVE IS CLASSIFIED AS URBAN ARTERIAL AUTO ORIENTED COMMERCIAL INDUSTRIAL.
WALKING ZONE WIDTH: 35'
FURNISHING ZONE WIDTH: 34'
MARLBOROUGH STREET IS CLASSIFIED AS CITY NEIGHBORHOOD.
WALKING ZONE WIDTH: 35'
FURNISHING ZONE WIDTH: 34'
ALLEN STREET IS CLASSIFIED AS LOCAL STREET.
WALKING ZONE WIDTH: 35'
FURNISHING ZONE WIDTH: 33.5'

OWNER:
SOZ DE AVE APARTMENTS OWNER
CONTACT: ROB BLUMENTHAL
EMAIL:
ROB.BLUMENTHAL@STREAMLINEPHILLY.COM
PHONE: (610) 888-4220
ADDRESS:
1100 N. DELAWARE AVE
PHILADELPHIA, PA 19125

PWD TRACKING # FY22-NDEL-6762-01

PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES WITHIN THE LIMIT OF DISTURBANCE INCLUDING SANITARY SEWER, GAS LINE, ELECTRIC LINE, ETC. LOCATION, DEPTH, AND SIZE AS NOTED ON THE PLANS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LATERALS SERVING ADJACENT BUILDINGS TO REMAIN. ALL UTILITY SERVICES SHALL BE RELOCATED DURING OFF-HOURS TO NOT INTERFERE WITH EXISTING OPERATIONS.

ALL EXISTING FEATURES WITHIN THE LIMIT OF DISTURBANCE ARE TO BE REMOVED UNLESS OTHERWISE NOTED. ALL EXISTING FEATURES OUTSIDE THE LIMIT OF DISTURBANCE ARE TO REMAIN.

LEGEND

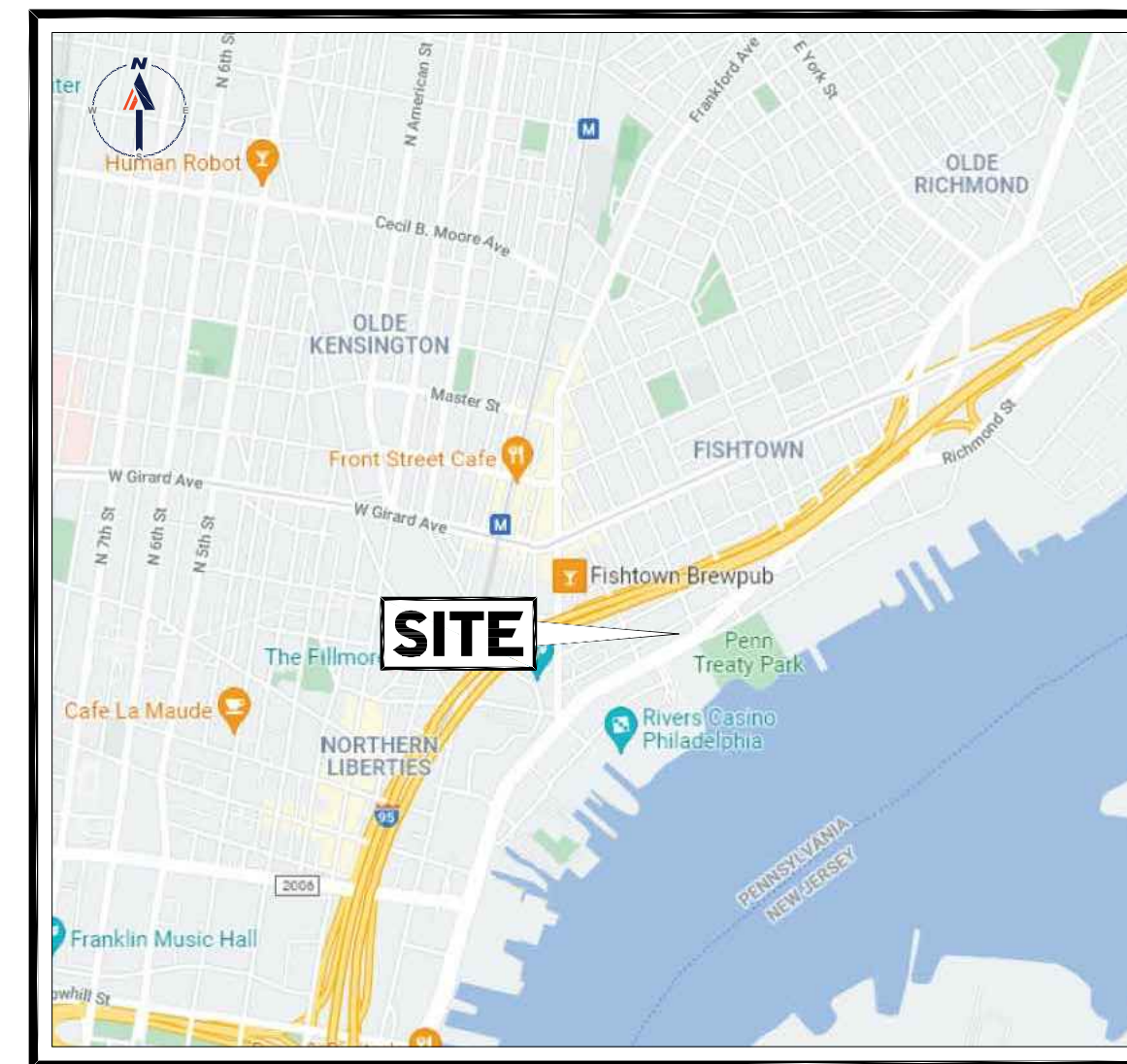
PROPOSED

BUILDING	[Symbol]
BUILDING ABOVE	[Symbol]
CONCRETE SIDEWALK	[Symbol]
ASPHALT AREA	[Symbol]
LANDSCAPE AREA	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
PARKING COUNT	[Symbol]
COMPACT CAR PARKING	[Symbol]
ELECTRIC CAR PARKING	[Symbol]
AUTO-SHARE CAR PARKING	[Symbol]
TRAFFIC ARROWS	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
RAMP	[Symbol]
SIGN	[Symbol]
YARD DRAIN	[Symbol]
DRAINAGE INLET	[Symbol]
MANHOLE	[Symbol]
CLEANOUT	[Symbol]
FRESH AIR INLET	[Symbol]
TREES & SHRUBS	[Symbol]

LEGEND

EXISTING

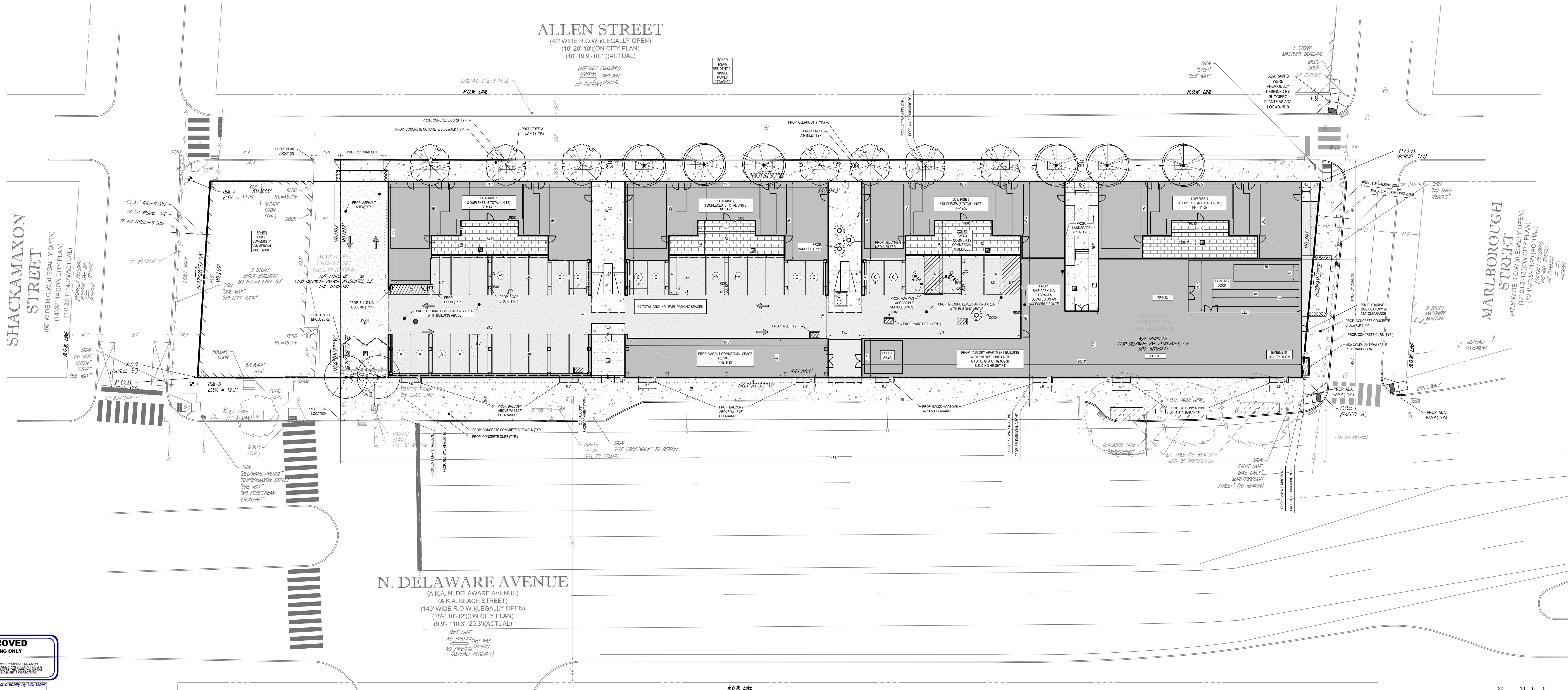
PROPERTY LINE	[Symbol]
R.O.W. LINE	[Symbol]
ADJACENT PROPERTY LINE	[Symbol]
BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
SIGN	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
ELECTRIC CABLE MANHOLE	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]



LOCATION MAP
SCALE: 1" = 1000'

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1778) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20181321189	
UTILITY COMPANY	PHONE NUMBER
COMCAST CABLEVISION	215-961-3800
LEVEL 3	704-860-0165
NEON TRANSOM	202-842-4880
PHILADELPHIA CITY WATER DEPT	610-845-5522
PHILADELPHIA DEPT OF STREETS	215-685-6300
PHILADELPHIA GAS WORKS	215-686-5503
VEOLIA ENERGY PHILADELPHIA, INC	215-878-3000
VERIZON	215-875-6900



APPROVED
FOR ZONING ONLY
9/28/22

Applied Electronically by L&J User



REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	01.20.2022	PER STREETS COMMENTS	BMV
2	02.09.2022	PER STREETS COMMENTS	KRT
3	03.01.2022	PER STREETS COMMENTS	BMV
4	08.23.2022	PER STREETS COMMENTS	KRT
5	09.23.2022	PER ZONING COMMENTS	CSM



YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-242-1778 # 20181321189

PWD TRACKING # FY22-NDEL-6762-01
#CLIPSE # SR-2021-09857

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: PP213258
DRAWN BY: BMV
CHECKED BY: SHP
DATE: 02/03/22
CAD I.D.: PP213258-ZONE-4A

PROJECT:

ZONING PLANS

FOR

PROPOSED RESIDENTIAL DEVELOPMENT

1130 N. DELAWARE AVENUE
CITY & COUNTY OF PHILADELPHIA, PENNSYLVANIA



1515 MARKET STREET, SUITE 920
PHILADELPHIA, PA 19102
Phone: (267) 402-3400
Fax: (267) 402-3401
www.BohlerEngineering.com



SHEET TITLE:

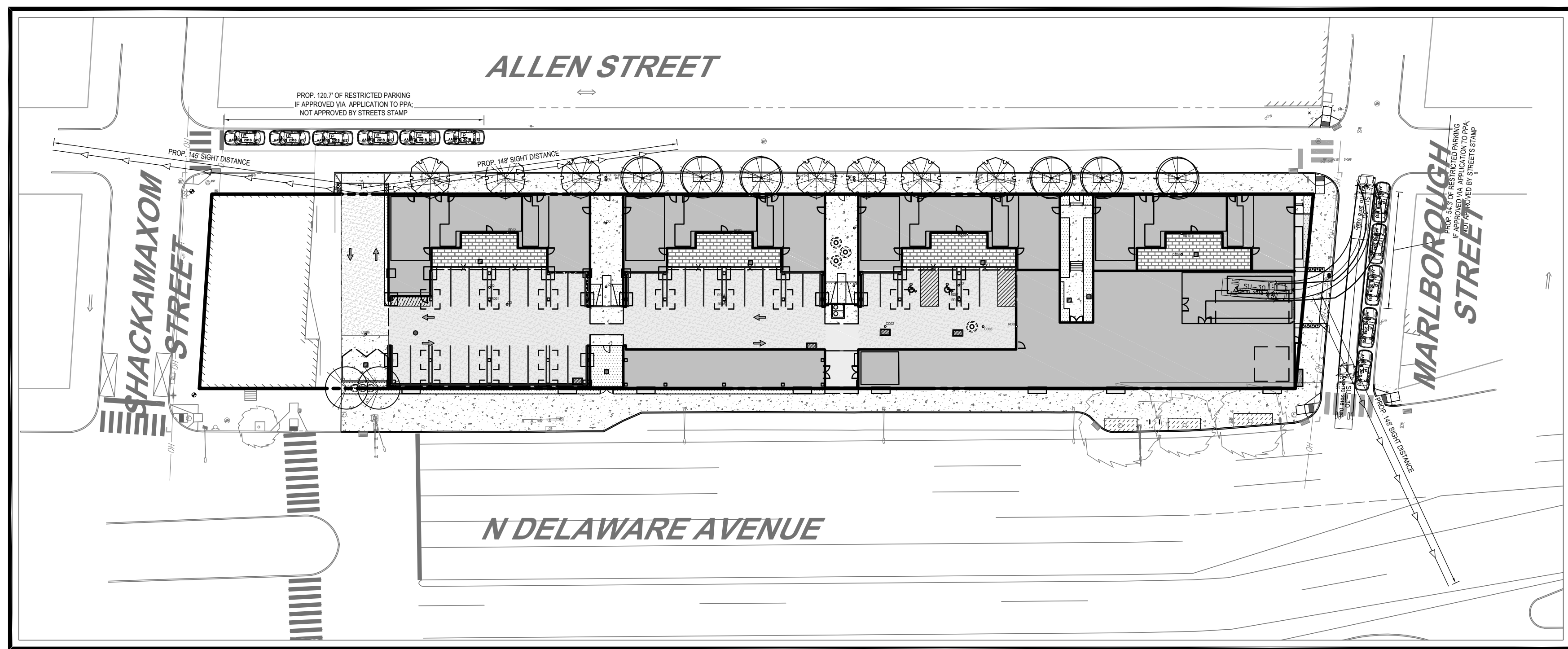
SITE PLAN

SHEET NUMBER:

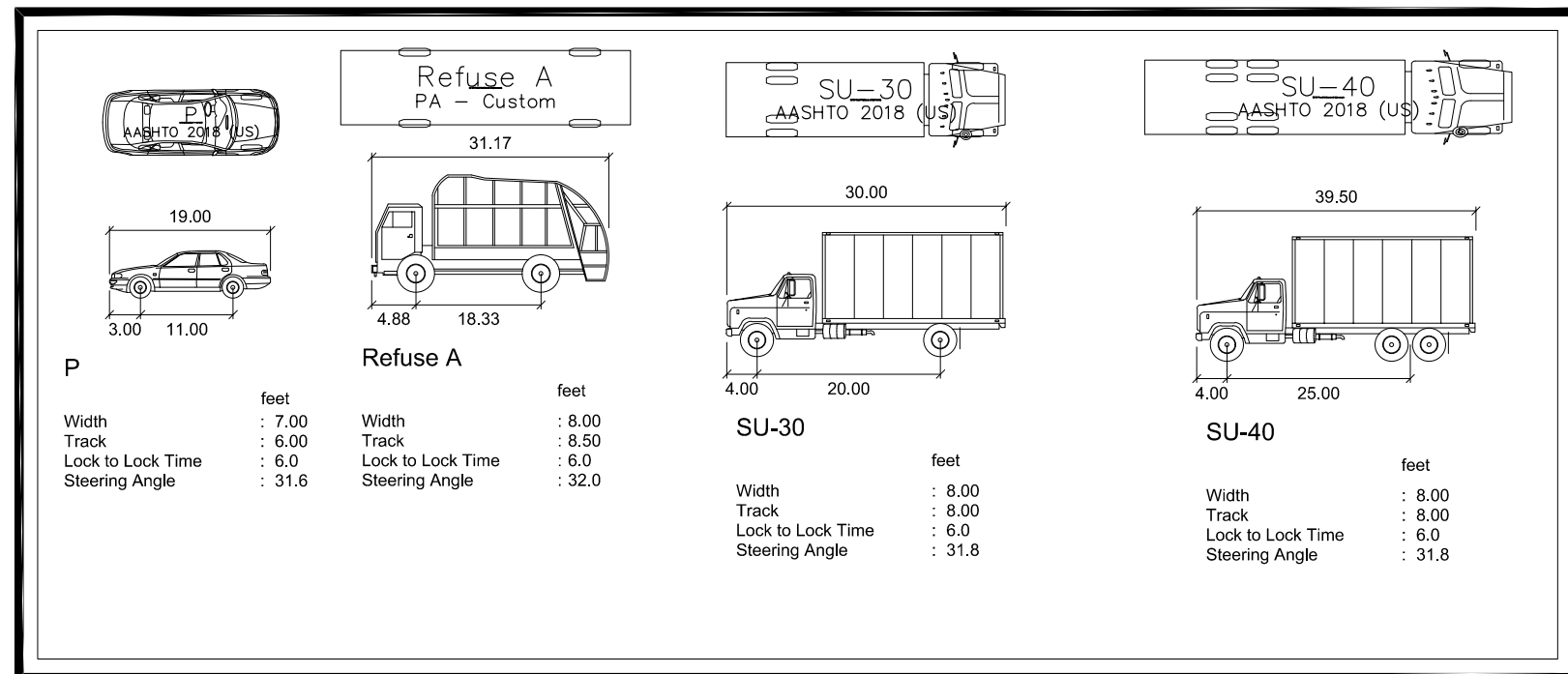
Z-101

REVISION 5 - 09.23.22



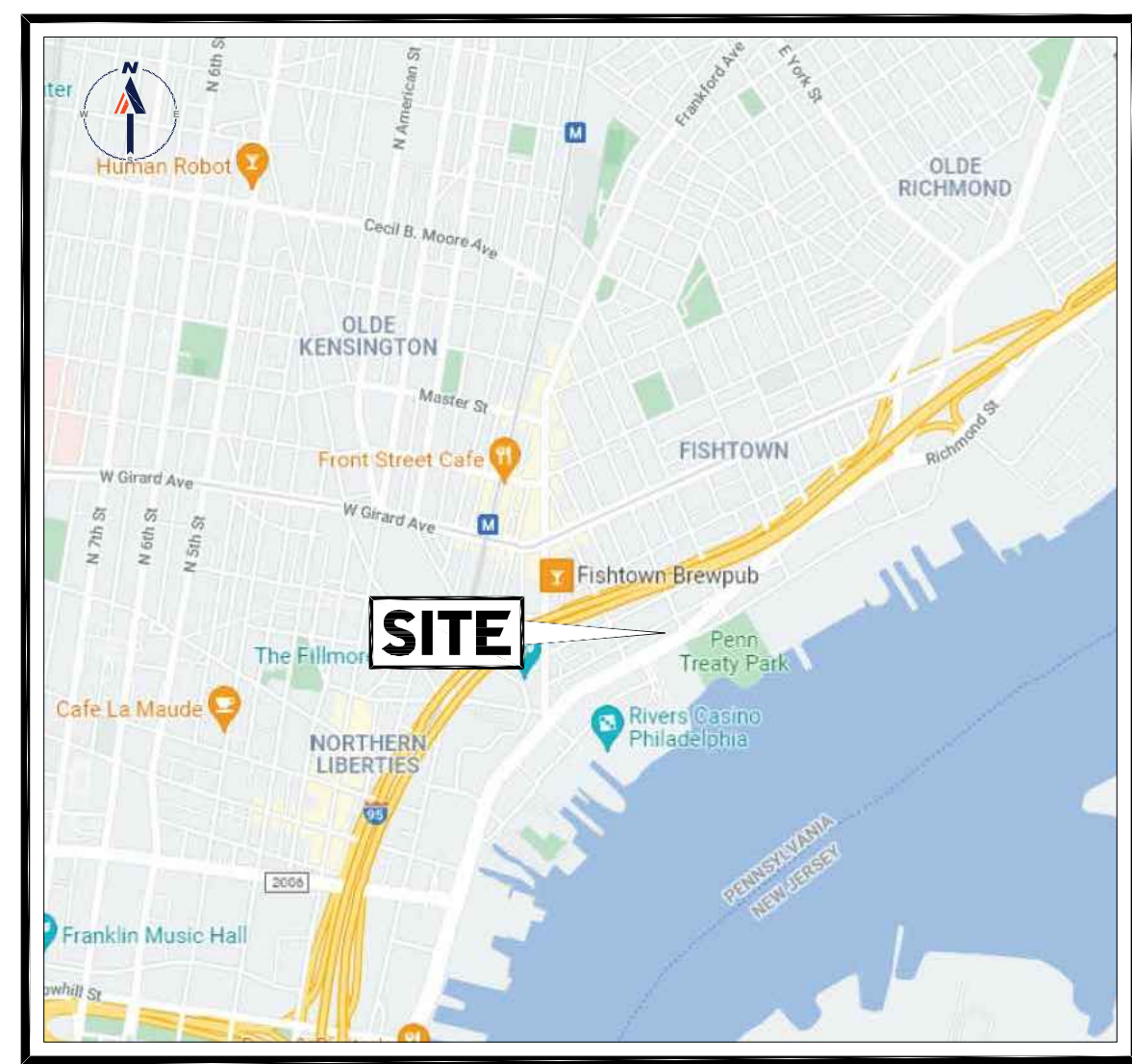


OVERALL SITE
1" = 40'



LEGEND EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
BUILDING	---
CONCRETE CURB	---
FLUSH CURB	---

LEGEND PROPOSED	
SIGHT DISTANCE	---
BUILDING	---
BUILDING ABOVE	---
CONCRETE SIDEWALK	---
ASPHALT AREA	---
LANDSCAPE AREA	---
CONCRETE CURB	---
FLUSH CURB	---

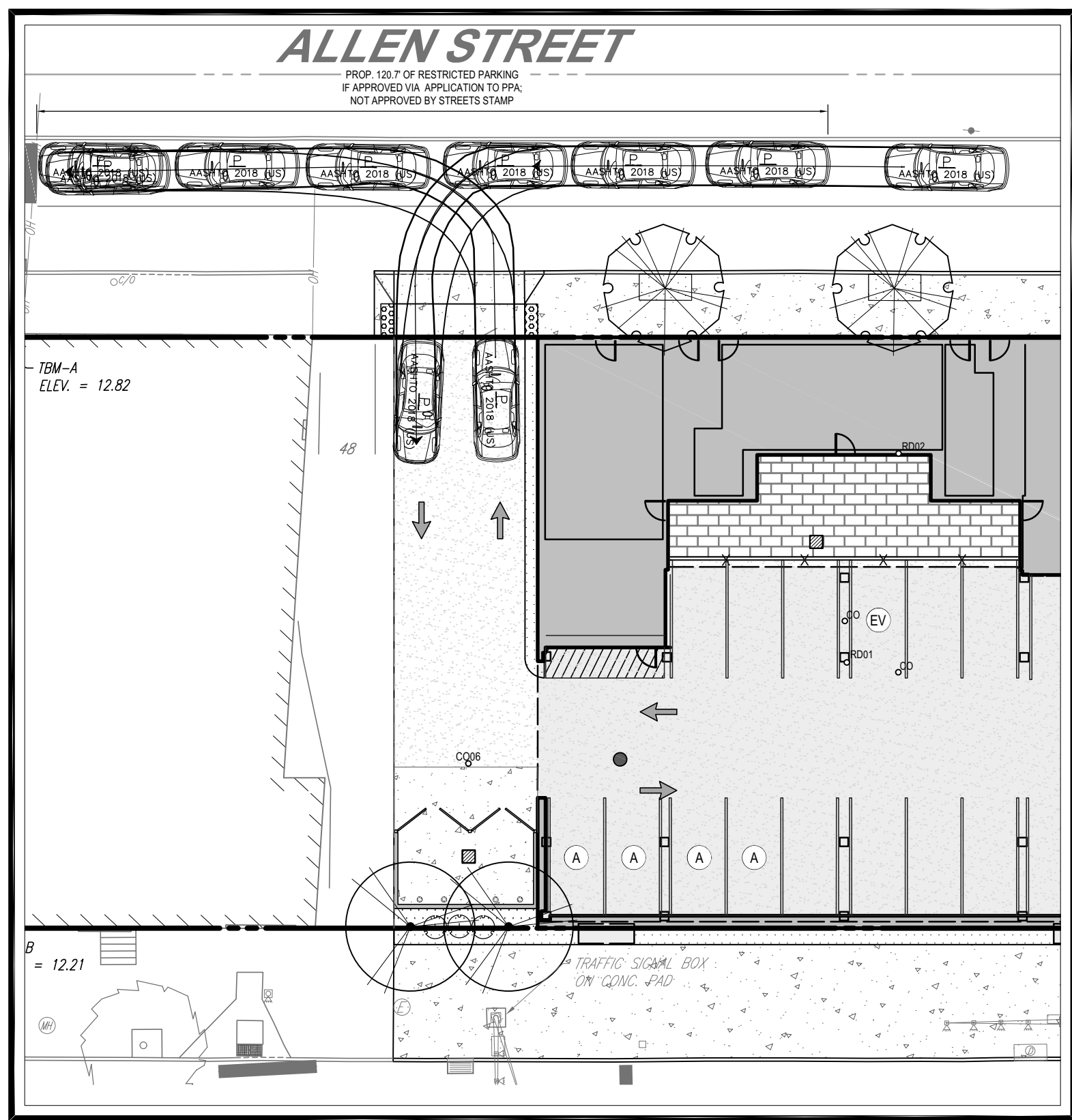


LOCATION MAP
SCALE: 1" = 1000'

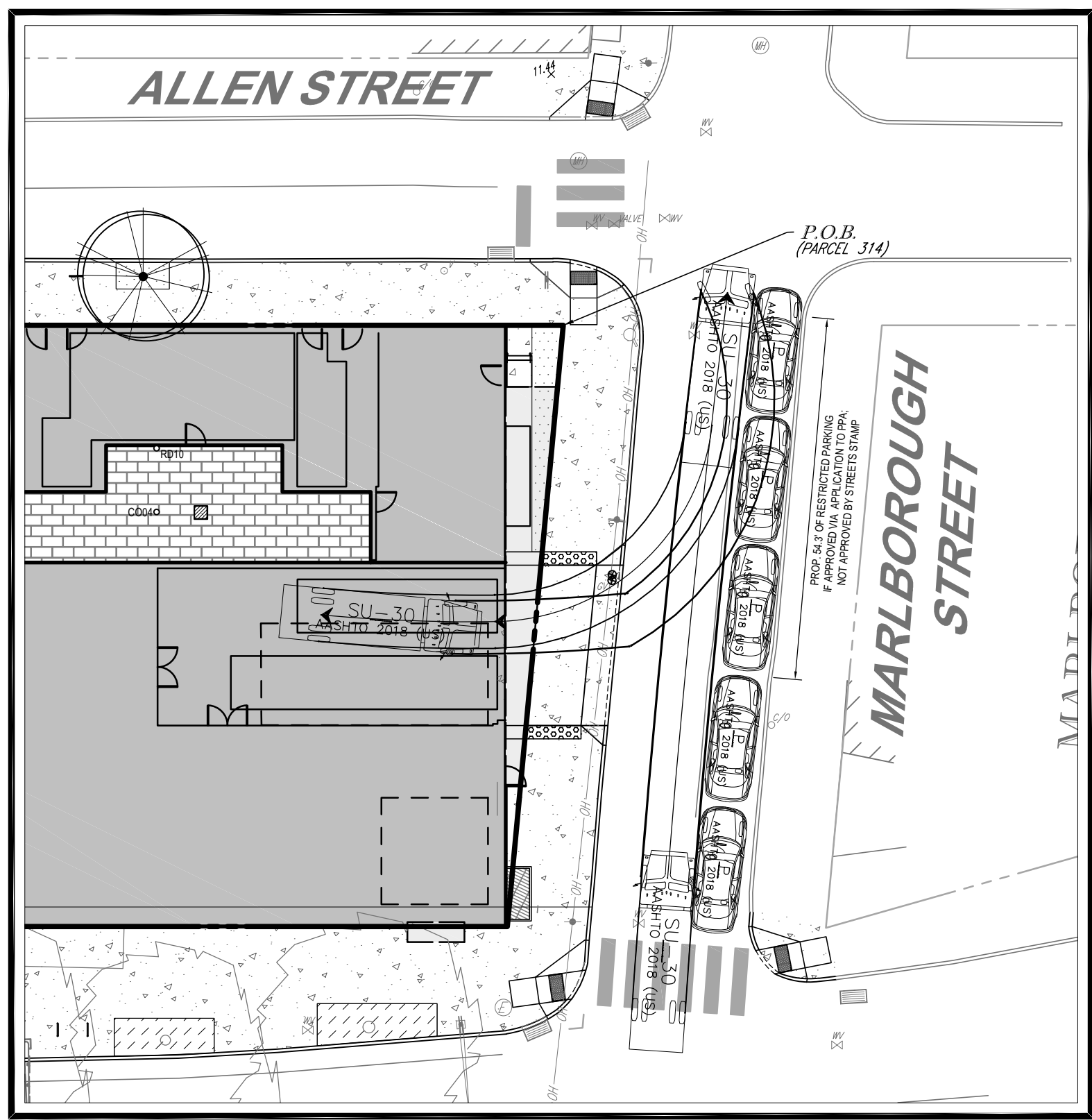
BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
LAND SURVEYING
PERMITTING SERVICES

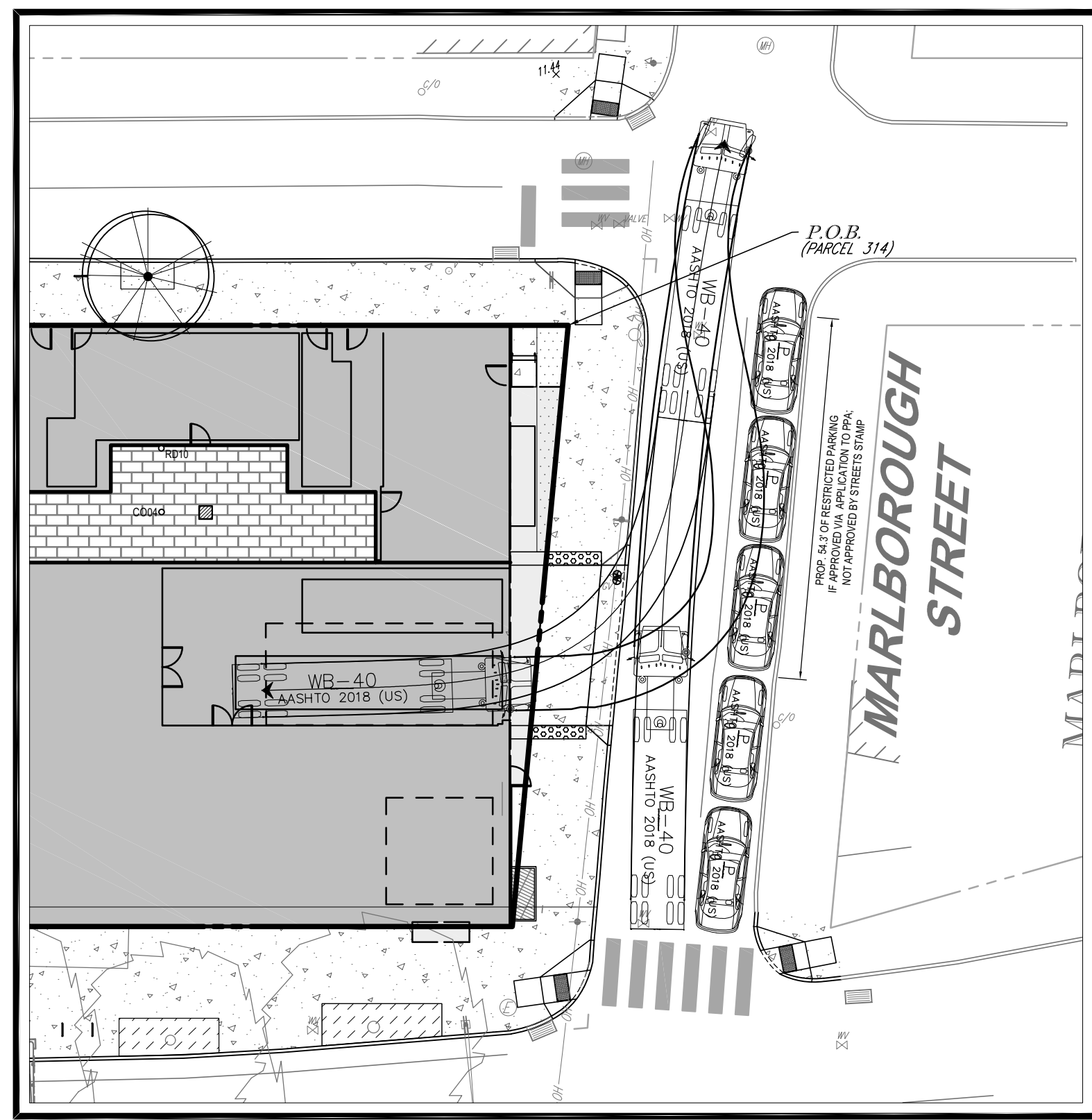
REVISIONS	
REV	DATE
1	01.20.2022
2	02.09.2022
3	03.01.2022
4	08.23.2022
5	09.23.2022



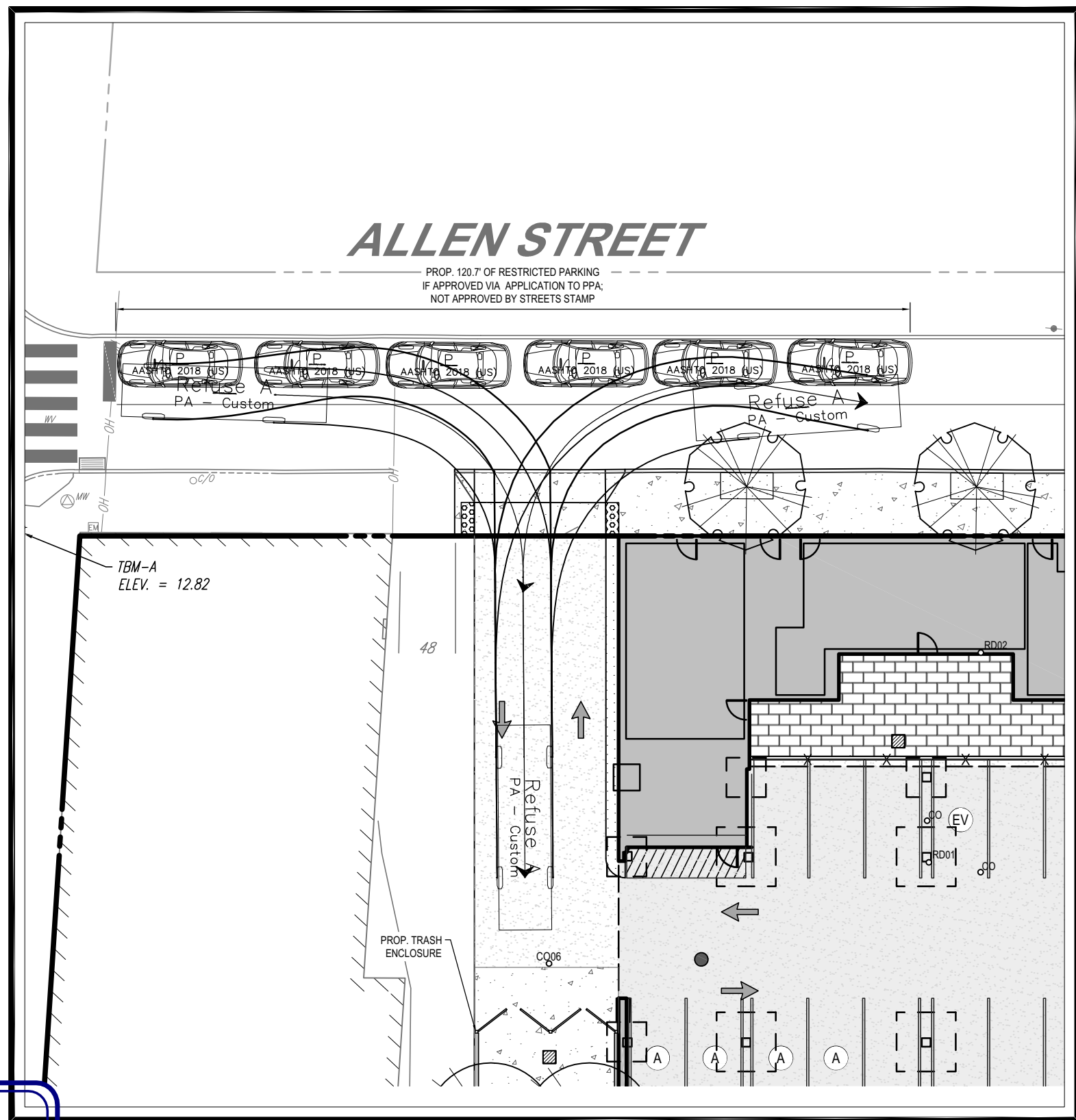
PASSENGER CAR CIRCULATION
ON ALLEN STREET
1" = 20'



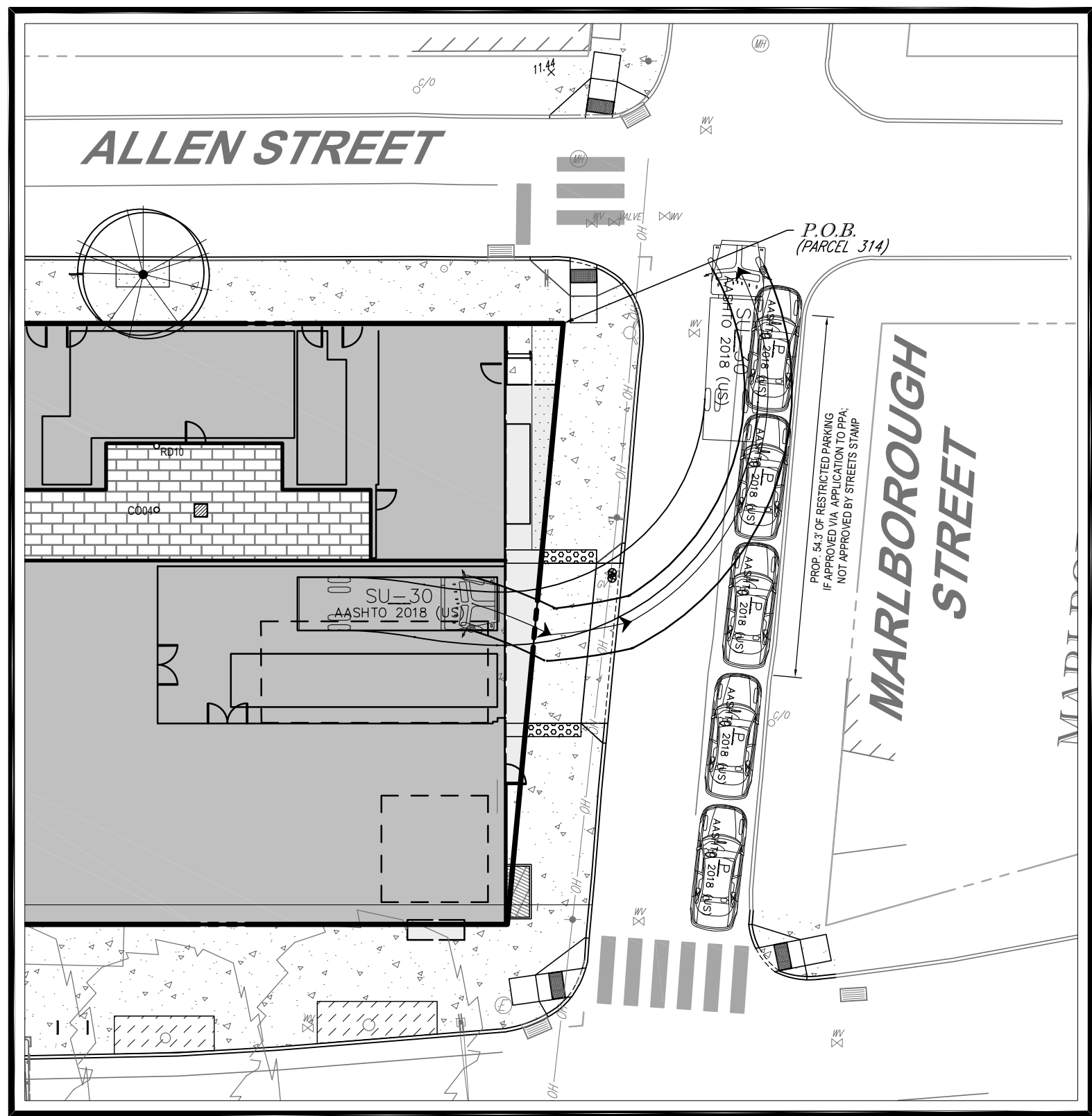
SU-30 TRUCK CIRCULATION INTO LOADING
SPACES ON MARLBOROUGH STREET
1" = 20'



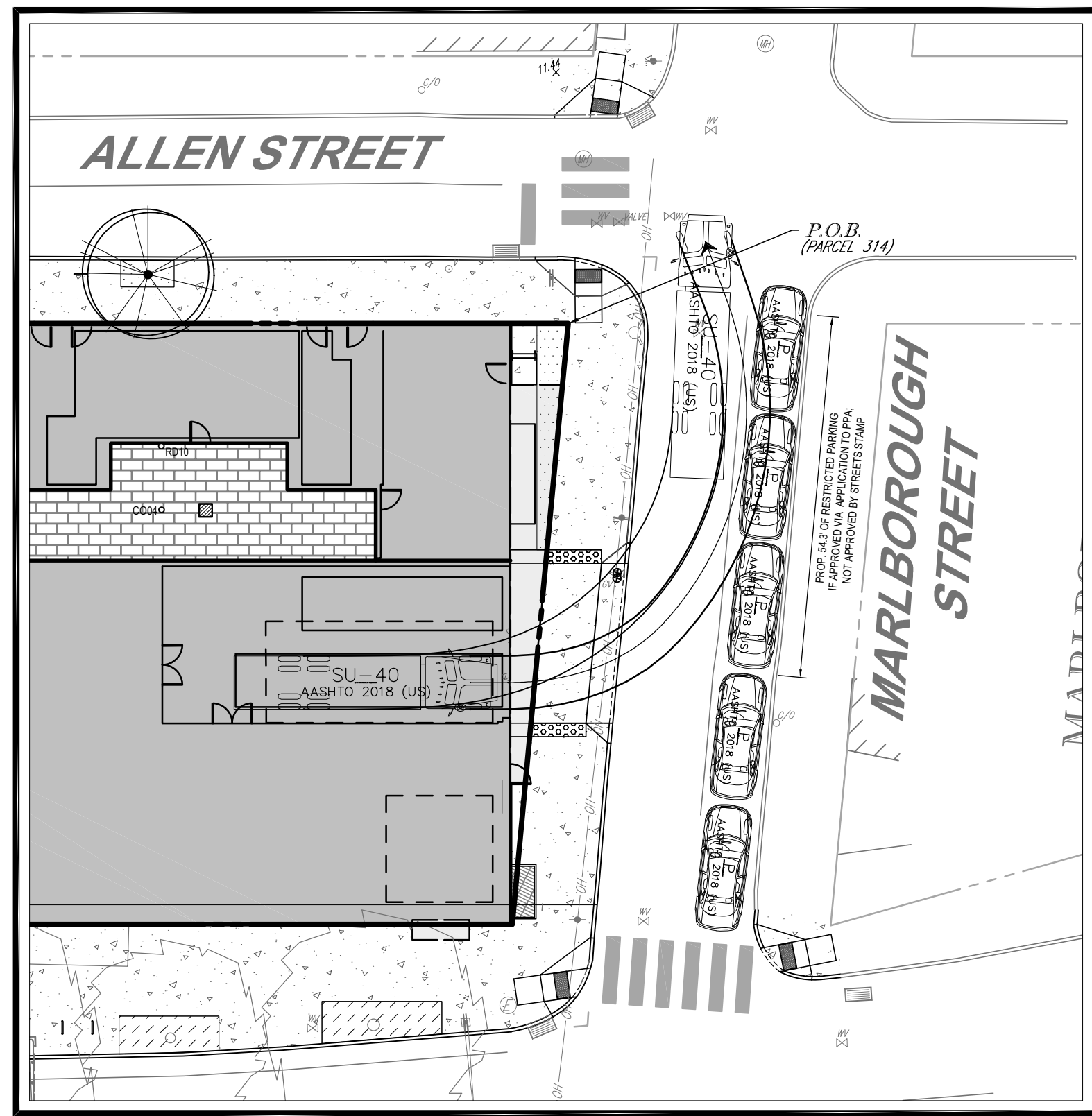
SU-40 TRUCK CIRCULATION INTO LOADING
SPACES ON MARLBOROUGH STREET
1" = 20'



GARBAGE CIRCULATION
ON ALLEN STREET
1" = 20'



SU-30 TRUCK CIRCULATION OUT OF
LOADING SPACES ON MARLBOROUGH
STREET
1" = 20'



SU-40 TRUCK CIRCULATION OUT OF
LOADING SPACES ON MARLBOROUGH
STREET
1" = 20'

REVISIONS	
REV	DATE
1	01.20.2022
2	02.09.2022
3	03.01.2022
4	08.23.2022
5	09.23.2022

811

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PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
800-482-8779
www.811.pa.gov
#20183132158

PWD TRACKING # FY22-NDL-6782-61
eCLIPSE # SR-2021-03857

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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PP213258
DRAWN BY: BMW
CHECKED BY: SHP
DATE: 02/03/22
CAD I.D.: PP213258-ZONE-4A

PROJECT:

ZONING PLANS
FOR

PROPOSED RESIDENTIAL
DEVELOPMENT
1130 N. DELAWARE AVENUE
CITY & COUNTY OF
PHILADELPHIA, PENNSYLVANIA

BOHLER

1515 MARKET STREET, SUITE 920
PHILADELPHIA, PA 19102
Phone: (267) 402-3400
Fax: (267) 402-3401
www.BohlerEngineering.com

K.R. TAYLOR

Professional Engineer
PENNSYLVANIA LICENSE NO. 16099002

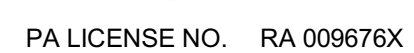
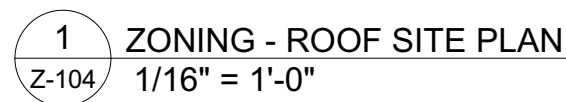
SHEET TITLE:

VEHICLE
CIRCULATION

SHEET NUMBER:

Z-103

REVISION 5 - 09.23.22



CONSULTANTS

STRUCTURAL ENGINEER:

THE HARMAN GROUP
structural engineering
parking planning and design

900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406-4525
610.327.3360

WWW.HARMANGROUP.COM

MEPFP ENGINEER:

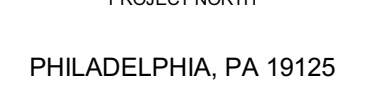
 **HUTEC**
ENGINEERING

CIVIL ENGINEER:
BOHLER //

OWNER: SOZ DE AVE
APARTMENT OWNERS, LLC

PROJECT NUMBER: 101321

1130 N DELAWARE
AVENUE

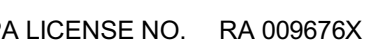


09/27/22

ROOF SITE PLAN

SCALE: 1/16" = 1'-0"



[illegible]

STRUCTURAL ENGINEER:

THE HARMAN GROUP
structural engineering
parking planning and design

900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406-4525
610.327.3360
WWW.HARMANGROUP.COM

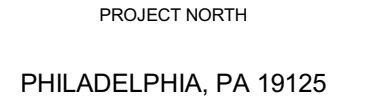
MEPFP ENGINEER:

 **HUTEC**
ENGINEERING

CIVIL ENGINEER:
BOHLER //

OWNER: SOZ DE AVE
APARTMENT OWNERS, LLC
PROJECT NUMBER: 101321

1130 N DELAWARE
AVENUE



09/27/22

BUILDING ELEVATIONS

Z-200

SCALE: 1/16" = 1'-0"

APPROVED
FOR ZONING ONLY
09/28/22

WHEN YOUR PLAN CONTAINS ANY OMISSION, ERROR OR DEVIATION FROM THESE APPROVED PLANS IT WILL REQUIRE THE APPROVAL OF THE DEPARTMENT OF LICENSING & INSPECTIONS.

Applied Electronically by L&I Users: