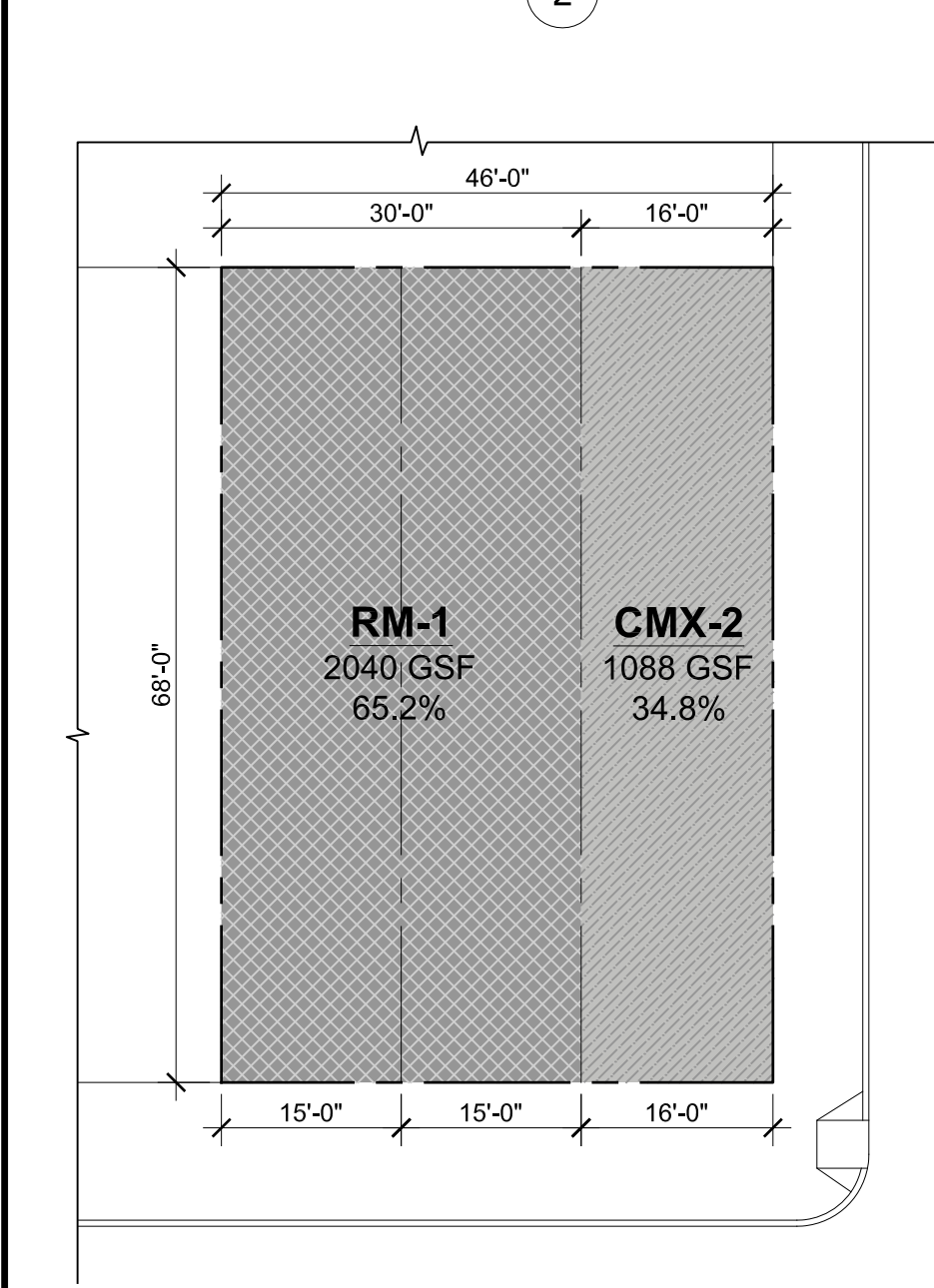
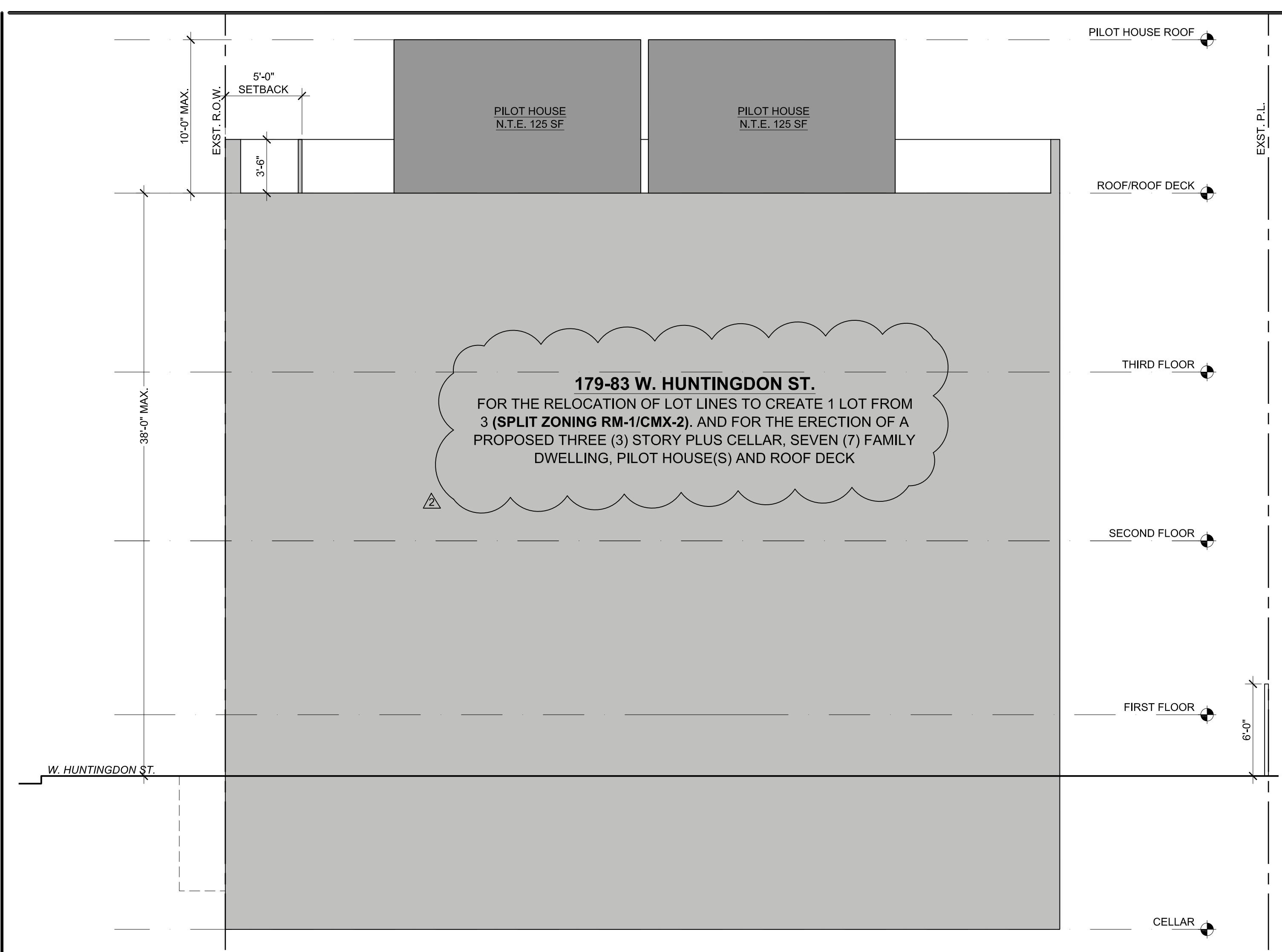
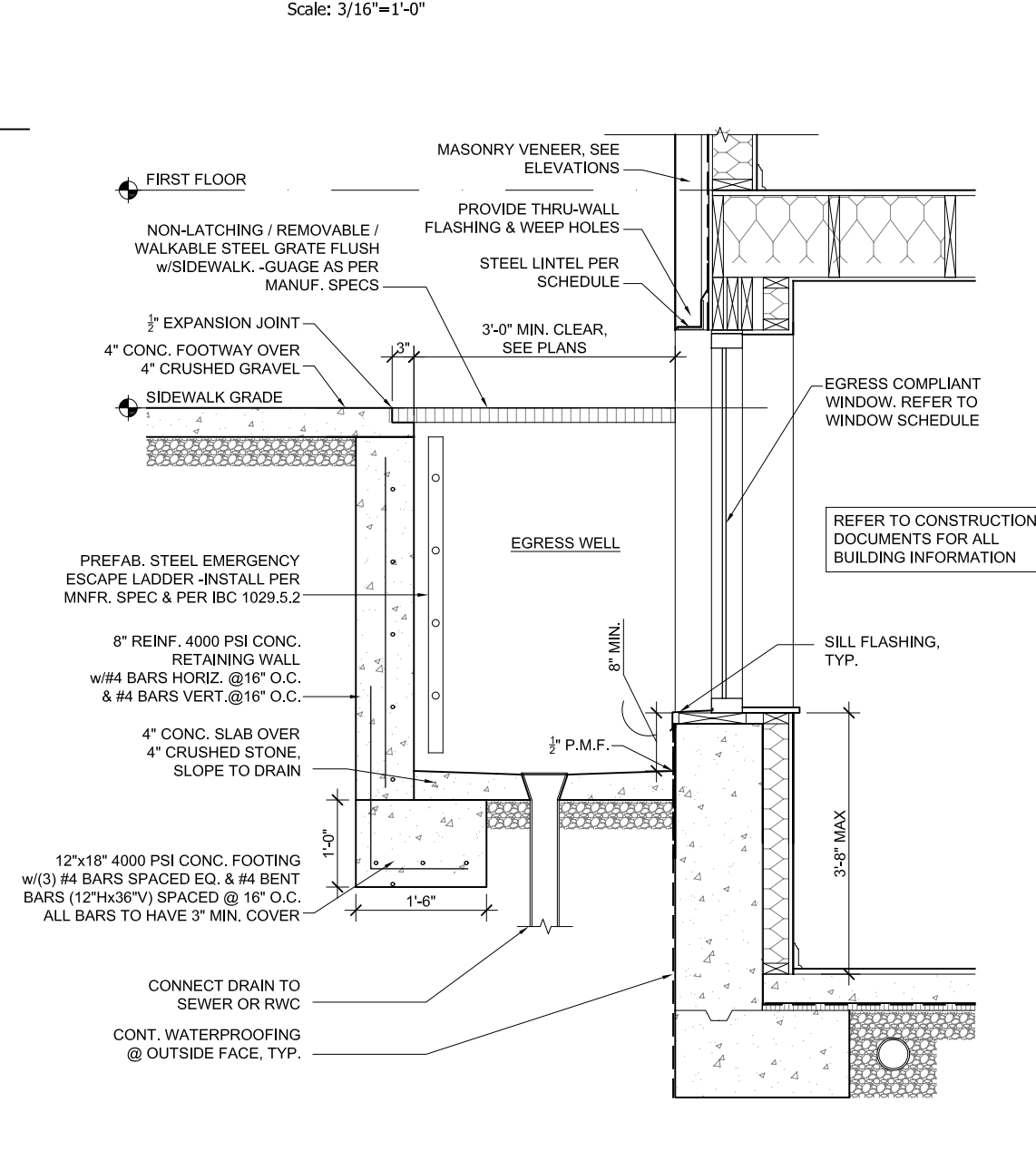
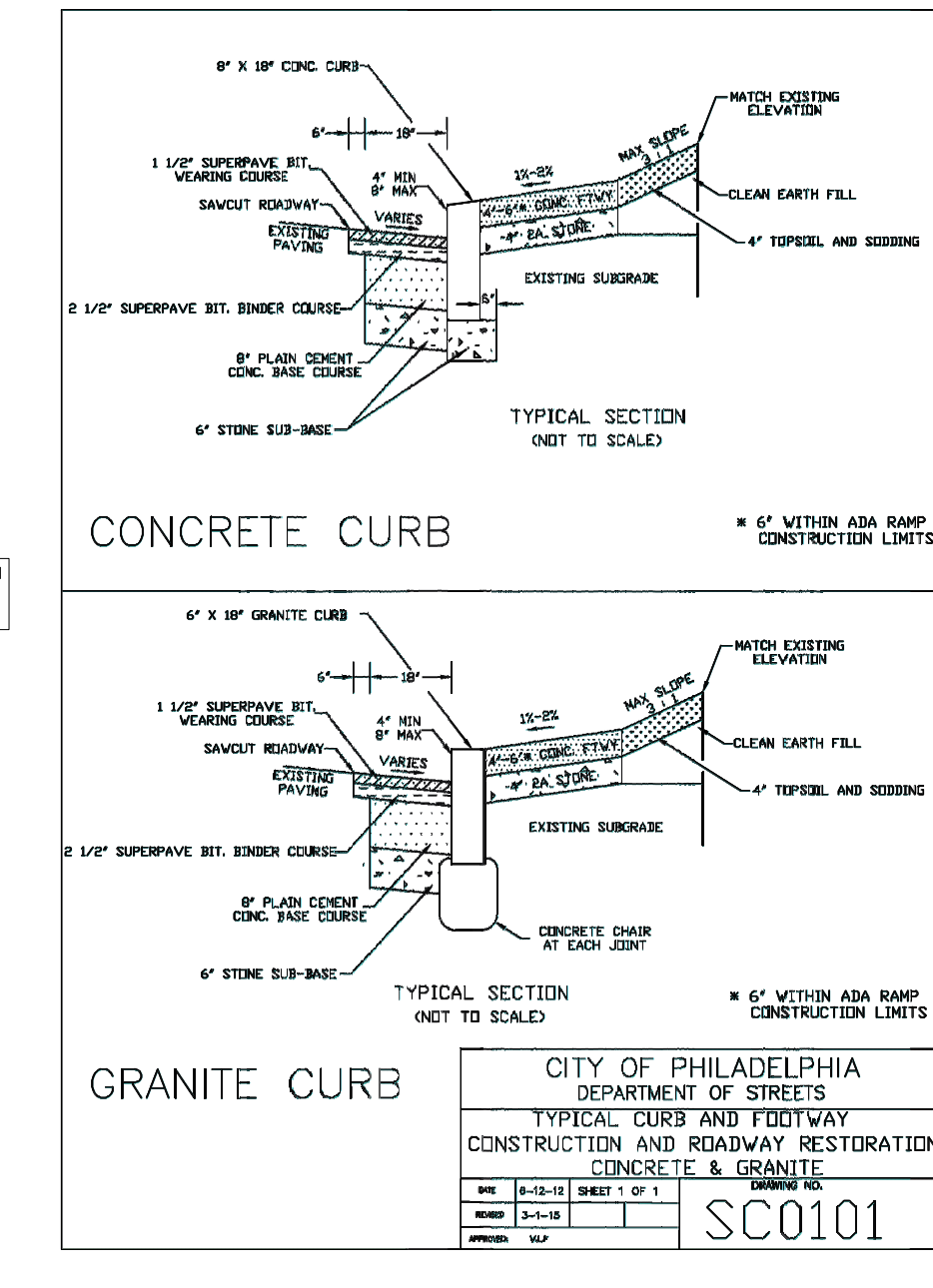




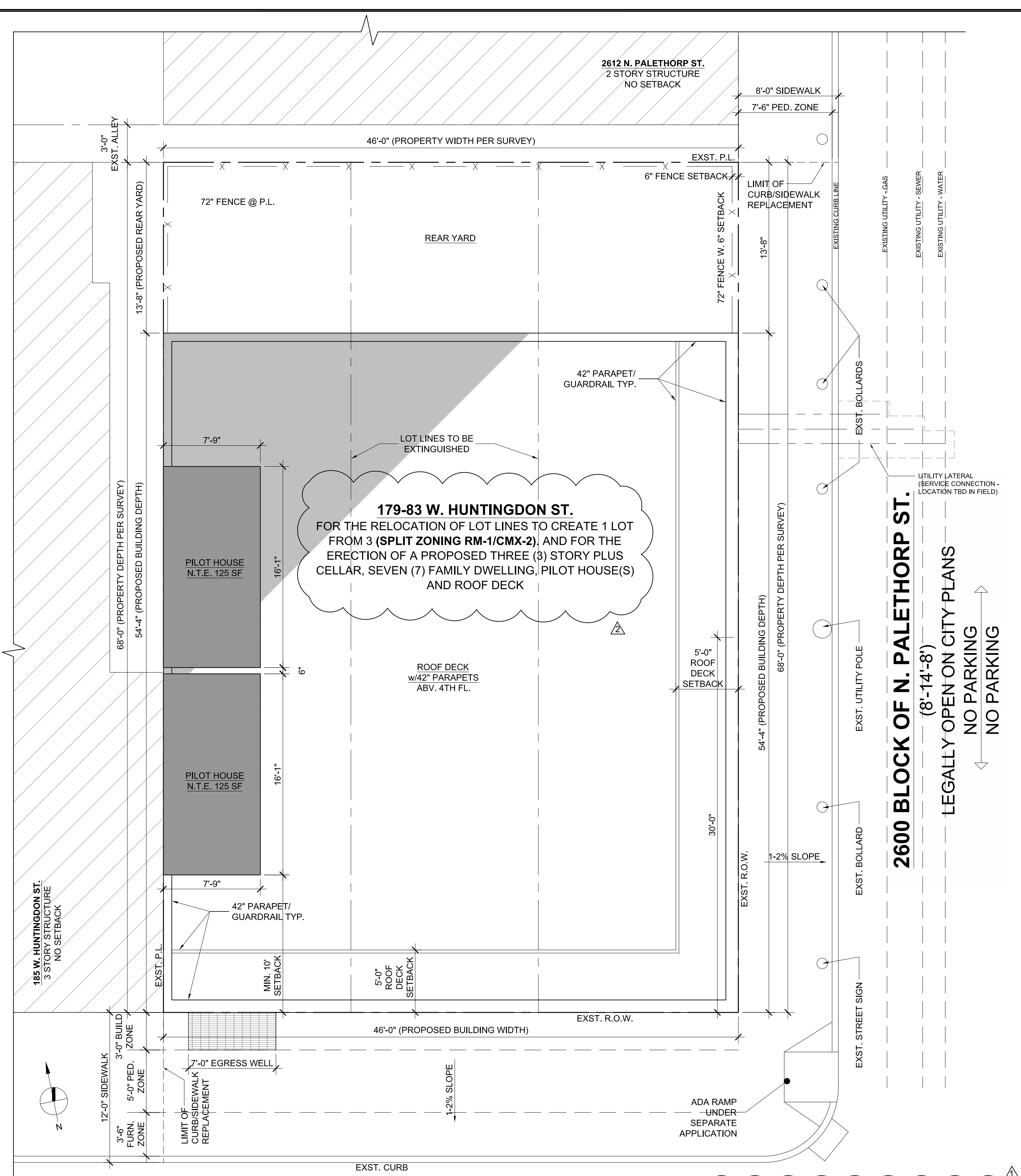
3 SPLIT ZONING DIAG. Scale: 1/16"=1'-0"



4 EGRESS WELL Scale: 1/2"=1'-0"

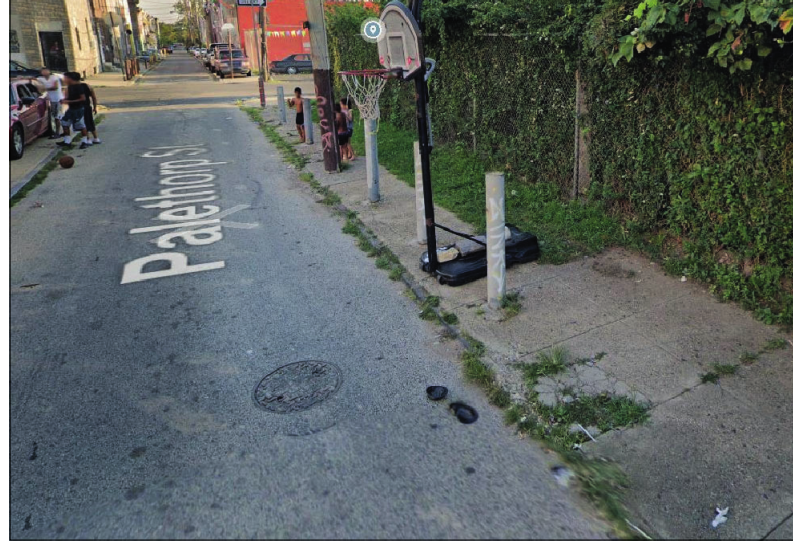
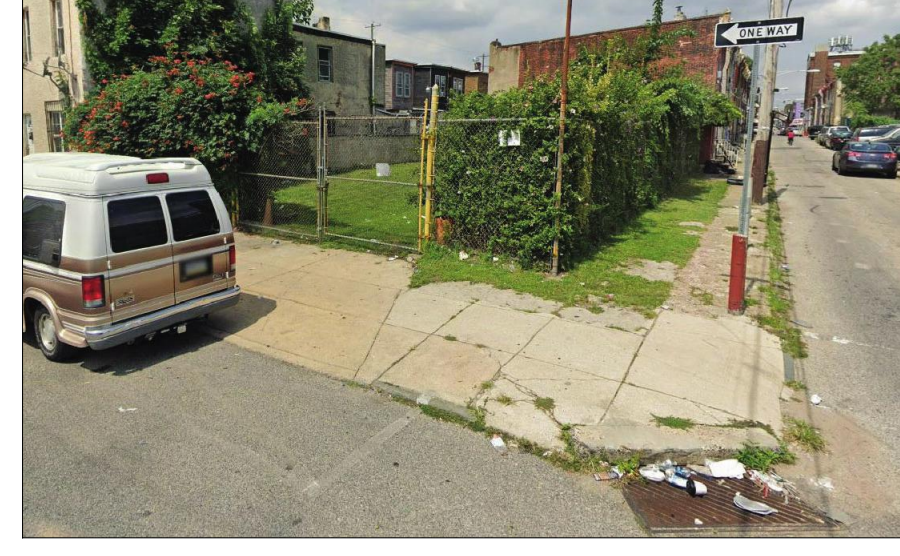


5 STANDARD STREET WORK DTLS Scale: N.T.S.



1 SITE PLAN Scale: 3/16"=1'-0"

APPROVALS STAMPS



EXISTING SITE PHOTOS

Scale: N.T.S.

PLEASE NOTE: EXISTING SITE UTILITY INFORMATION SHOWN PER CITY OF PHILADELPHIA BOARD OF HIGHWAY SUPERVISORS RECORD, V.I.F. CONTRACTOR TO CONTACT 1-800-242-1776 FOR THE PA ONE CALL SYSTEM 3 DAYS NOTIFICATION IN ADVANCE PRIOR TO GROUND EXCAVATION OF THE SITE

Dial 8-1-1 or 1-800-242-1776 not less than 3 business days nor more than 10 business days prior to the start of excavation.

Pennsylvania One Call System Serial Number 20212162216-000

PROJECT ADDRESS: 179-83 W. HUNTINGDON STREET, PHILA, PA

ZONING CLASSIFICATION: RM-1 (RESIDENTIAL DISTRICT) / CMX-2 (COMMERCIAL DISTRICT)

SCOPE OF WORK: FOR THE RELOCATION OF LOT LINES TO CREATE 1 LOT FROM 3 (SPLIT ZONING RM-1/CMX-2), AND FOR THE ERECTION OF A PROPOSED THREE (3) STORY, SEVEN (7) FAMILY DWELLING, PILOT HOUSE(S) AND ROOF DECK AND ONE (1) VACANT COMMERCIAL SPACE.

ZONING DATA			
ZONING	REQUIRED/ ALLOWED	PROPOSED	
LOT AREA	1,440 SF	3128.00 SF	
USE	7 UNITS + COMM.	7 UNITS + COMM.	
COVERAGE	MAX. 80%	2500.00 SF	(79.9%)
OPEN AREA	MIN. 20%	628.00 SF	(20.1%)
FRONT YARD	NOT REQ'D	NONE	
SIDE YARD	NOT REQ'D	NONE	
REAR YARD	9'-0" DEEP MIN.	13'-8"	
HEIGHT	38'-0" A.G. MAX	N.T.E. 38'-0"	
PROPOSED BUILDING INFORMATION			
STREET ENCROACHMENTS		3'-0" EGRESS WELL	



Gnome Architects LLC
1901 S. 9th St. Rm.526
Philadelphia PA 19148

O: 215 279 7531
www.gnomearch.com

CONSULTANTS

PROJECT

ORANGINA

179-83 W. HUNTINGDON ST.,
PHILADELPHIA, PA

OWNER

RIVERA ENRIQUE MARCHAND

REV #	DATE	DESCRIPTION
X	8.4.2021	ZONING SUBMISSION
△	8.13.2021	ZONING REVISION
△	8.25.2021	ZONING REVISION

SEALS



Gnome Architects LLC
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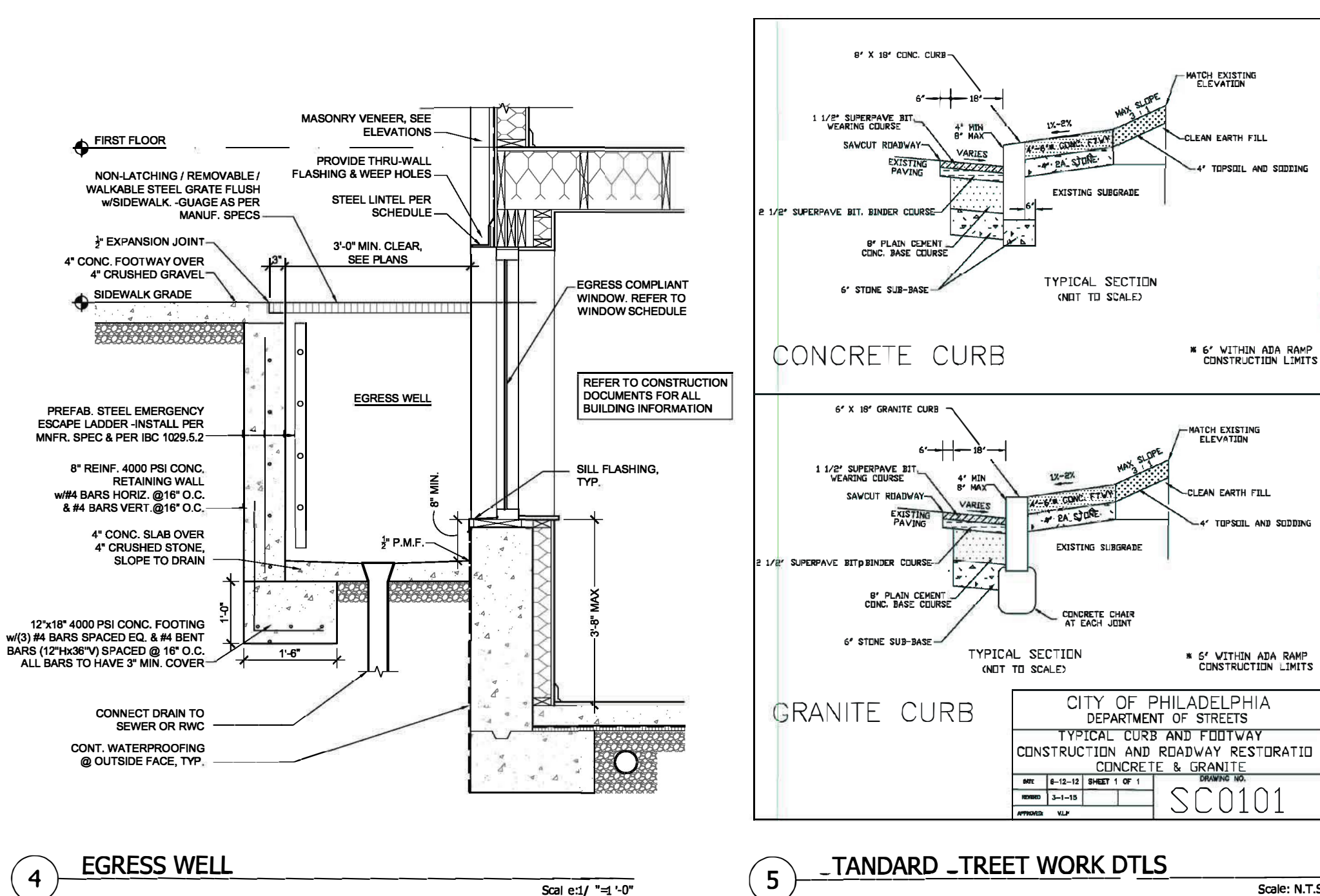
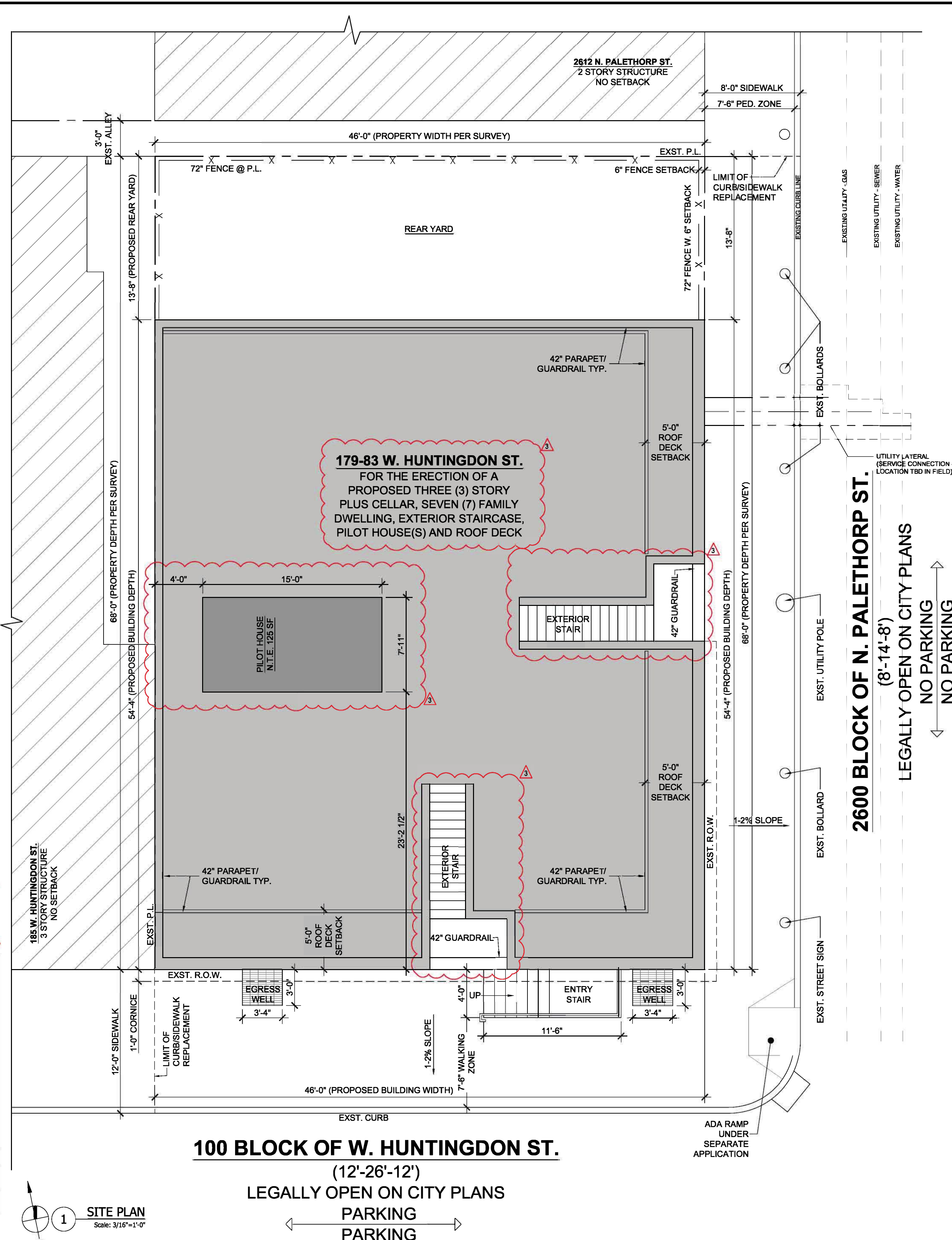
Job No: 0362
Drawn By: DS
Checked By: GJD

DRAWING TITLE:

ZONING PLAN

DRAWING No:

Z.1



PROJECT ADDRESS: 179-93 W. HUNTINGDON STREET, PHILA, PA		
ZONING CLASSIFICATION: RM-1 (RESIDENTIAL DISTRICT) / CMX-2 (COMMERCIAL DISTRICT)		
SCOPE OF WORK: FOR THE AMENDMENT OF PREVIOUSLY APPROVED APPLICATION ZP-2021-013585, FOR THE ERECTION OF A PROPOSED THREE (3) STORY, SEVEN (7) FAMILY DWELLING, PILOT HOUSE(S), EXTERIOR STAIRCASE AND ROOF DECK.		
ZONING DATA		
ZONING	REQUIRED/ ALLOWED	PROPOSED
LOT AREA	1,440 SF	3128.00 SF
USE	7 UNITS	7 UNITS
COVERAGE	MAX. 80%	2500.00 SF (79.9%)
OPEN AREA	MIN. 20%	628.00 SF (20.1%)
FRONT YARD	NOT REQ'D	NONE
SIDE YARD	NOT REQ'D	NONE
REAR YARD	9'-0" DEEP MIN.	13'-8"
HEIGHT	38'-0" A.G. MAX	N.T.E. 38'-0"
PROPOSED BUILDING INFORMATION		
STREET ENCROACHMENTS		1' MAX CORINNE PROJ.
		3'-0" EGRESS WELL
		4'-0" ENTRY STAIR



PLEASE NOTE: EXISTING SITE UTILITY INFORMATION SHOWN PER
CITY OF PHILADELPHIA BOARD OF HIGHWAY SUPERVISORS
RECORD, V.I.F.
CONTRACTOR TO CONTACT 1-800-242-1776 FOR THE PA ONE CALL
SYSTEM 3 DAYS NOTIFICATION IN ADVANCE PRIOR TO GROUND
EXCAVATION OF THE SITE



Dial 8-1-1 or 1-800-242-1776 not less than 3 business days nor more than 10 business days prior to the start of excavation.

Pennsylvania One Call System Serial Number
20212162216-000

REV #	DATE	DESCRIPTION
X	8.4.2021	ZONING SUBMISSION
1	8.13.2021	ZONING REVISION
2	8.25.2021	ZONING REVISION
3	12.2.2021	ZONING AMENDMENT



Zoning Permit

Permit Number ZP-2021-013585

LOCATION OF WORK 179 W HUNTINGDON ST Premises D, Philadelphia, PA 19133-3848 ENTIRE	PERMIT FEE \$872.00	DATE ISSUED 11/23/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2 RM1	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH A ROOF DECK ACCESSED BY TWO (2) INDIVIDUAL ROOF DECK ACCESS STRUCTURES; FOR USE MULTI-FAMILY (SEVEN (7) DWELLING UNITS) HOUSEHOLD LIVING; SIZE AND LOCATION AS SHOWN IN THE APPLICATION/PLAN.

** FOR THE AMENDMENT OF PREVIOUSLY APPROVED ZONING PERMIT, ISSUED ON NOV. 26, 2021, TO MODIFY ROOF DECK

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-013585

ACCESS STRUCTURES COMPLYING WITH SECTION 14-604(5) OF THE PHILADELPHIA ZONING CODE **



APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - **30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - **3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - **60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-013585

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

179 W HUNTINGDON ST Premises D, Philadelphia, PA 19133-3848

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.