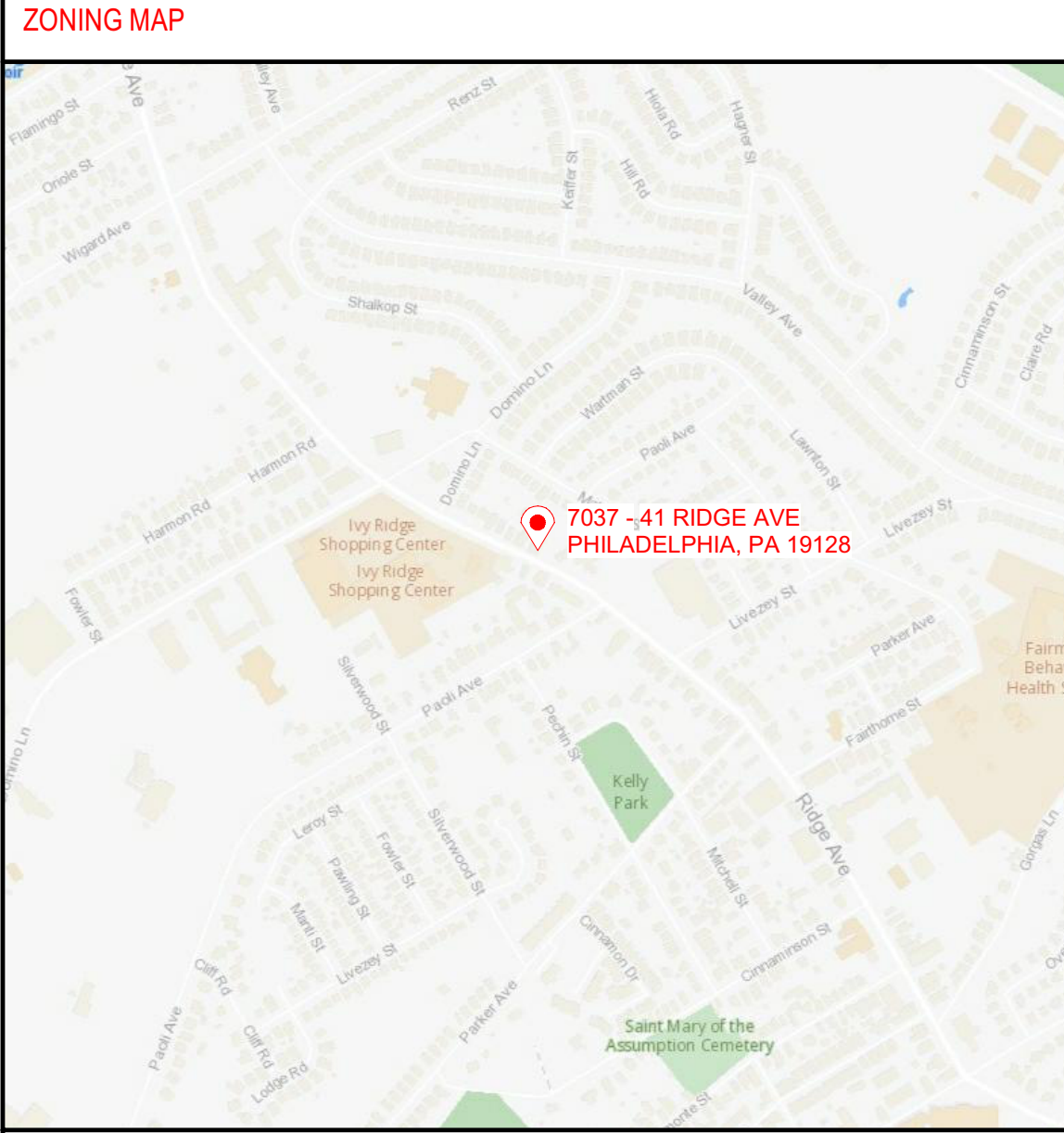
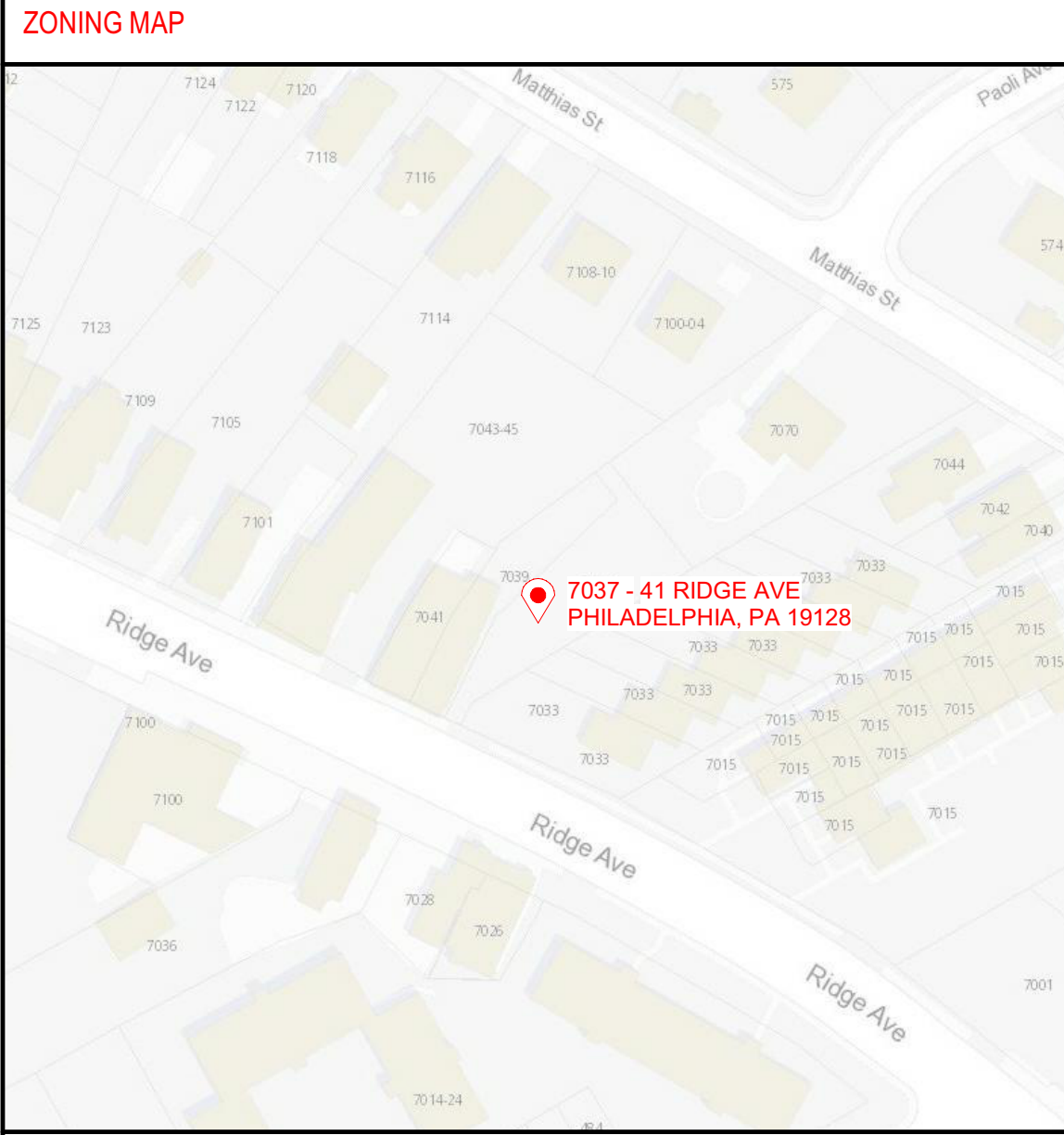
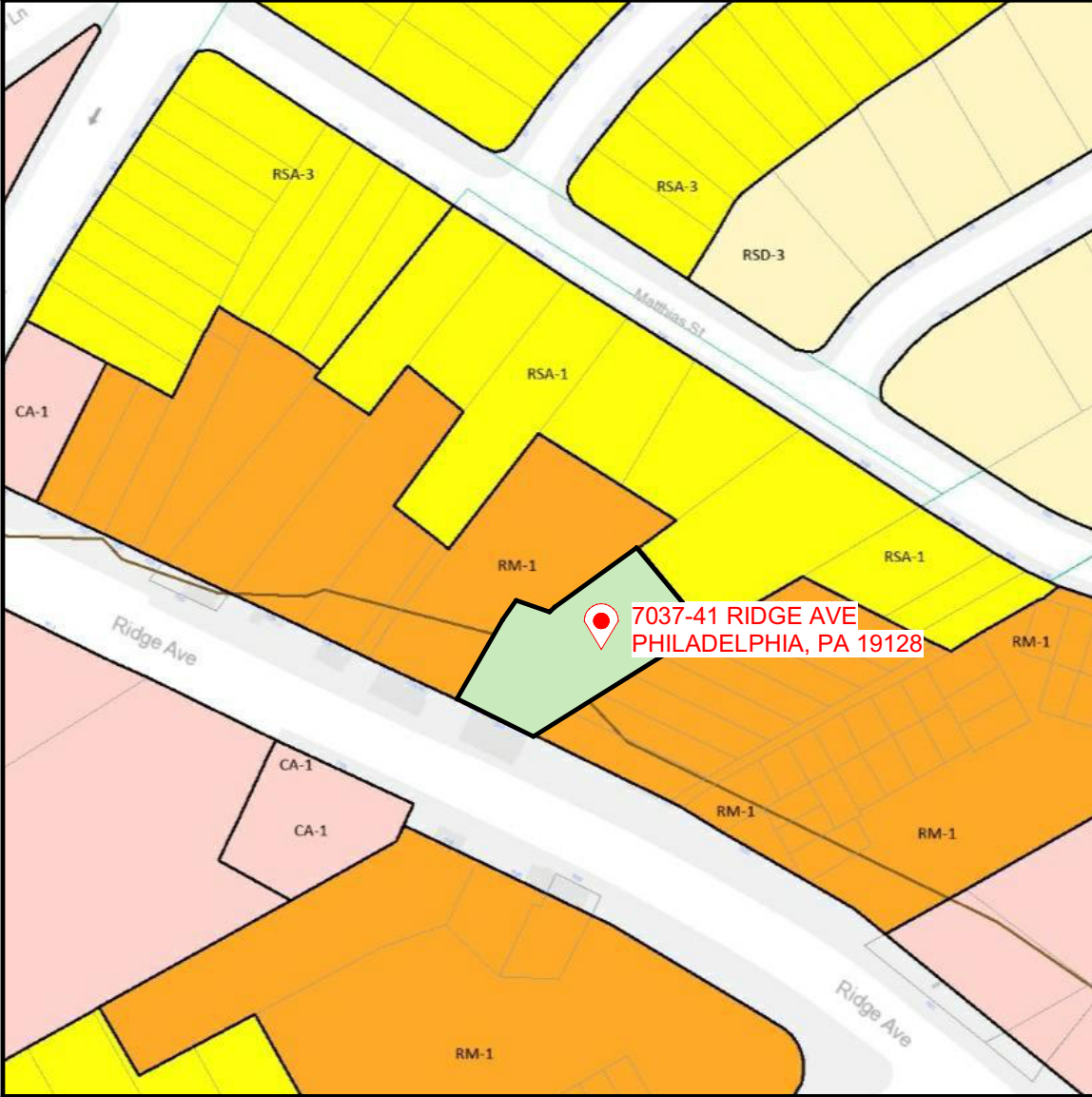


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025-7037-41 Ridge Ave., 2023.rvt

8/19/2022 13:43:53 AM

7037-41 RIDGE AVE MULTI-FAMILY BUILDING



LOCATION MAP

	REQUIRED / ALLOWED	PROPOSED
USE	RM-1	MULTI-FAMILY
MIN. LOT WIDTH	16'-0"	58'-0"
MIN. LOT AREA	1,440 SF	12,156 SF
MIN. OPEN AREA	INTERMEDIATE LOT 25% 25% OF 12,156 SF = 3,039 SF	9,283 SF OF BUILDING 5,873 SF OF OPEN AREA
FRONT YARD SETBACK	BASED ON ADJACENT	EXISTING BUILDING TO REMAIN
SIDE YARD WIDTH	MULTI-FAMILY DETACHED 5'-0"	5'-0" AT PROPOSED CONSTRUCTION
REAR YARD DEPTH	9'-0"	9'-7" AT PROPOSED CONSTRUCTION
MAXIMUM HEIGHT	35'-0"	32'-6"
BICYCLE PARKING REQUIRED	1 PER 3 UNITS 19 UNITS / 3 = 7 BIKES	7 BIKE PARKING SPOTS REQUIRED

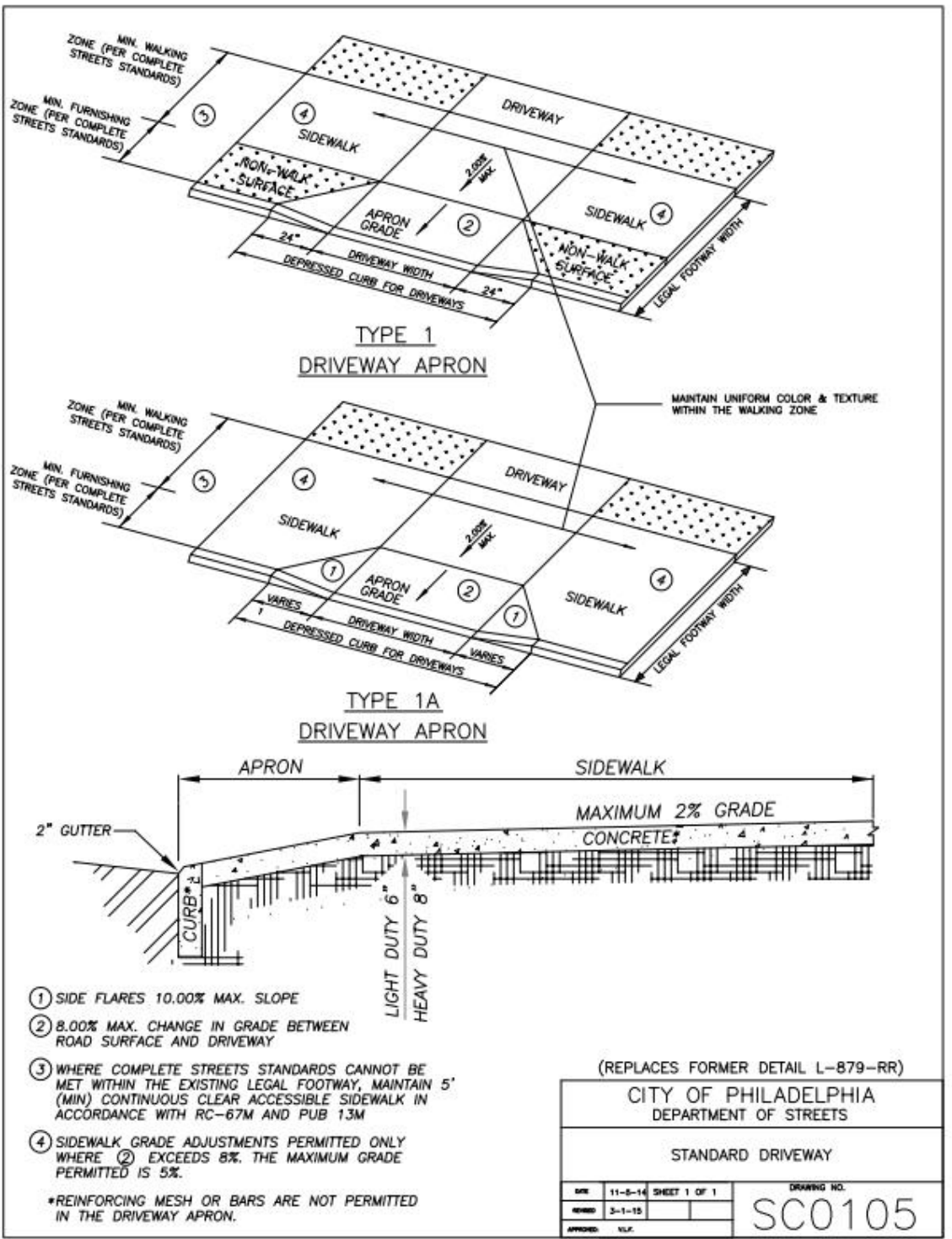
UNIT COUNT	
LOT AREA = 12,156 SF	
363 SF LOT AREA PER UNIT FOR FIRST 1,440 SF	1,440 SF / 363 SF PER UNIT = 4 UNITS
483 SF LOT AREA PER UNIT BEYOND 1,440 SF	12,156 SF - 1,440 SF = 10,716 SF 10,716 SF / 483 SF PER UNIT = 22 UNITS

TOTAL UNITS
22 UNITS ALLOWED 4 UNITS IN EXISTING + 15 UNITS IN PROPOSED = 19 UNITS PROPOSED

PARKING		
REQUIRED NOT REQUIRED	PARKING PROVIDED (4) COMPACT PARKING SPOTS (1) ADA VAN PARKING SPACE	
PARKING LANDSCAPING	REQUIRED	PROPOSED
PARKING AREA	N/A	3,983 SF
INTERIOR LANDSCAPING	10% OF PARKING SURFACE OR 398 SF REQUIRED	841 SF
TREES	(1) PER 300 SF OR (2) TREES, 30% REQUIRED DECIDUOUS SHADE TREES FROM OPUS RECOMMENDED TREE LIST	(2) TREE DECIDUOUS SHADE TREES PROVIDED AT PARKING AREA SERVICEBERRY, AMELANCHIER X GRANDIFLORA
WISSAHICKON WATERSHED OVERLAY		
CATEGORY 4	45% LIMIT OF IMPERVIOUS GROUND COVERAGE	44% IMPERVIOUS GROUND COVERAGE
CATEGORY 5	NO LIMIT	NOT APPLICABLE

STEEP SLOPE Overlay
NOT APPLICABLE

CODE REVIEW



STANDARD DRIVEWAY DETAIL

In accordance with the terms and provisions of Section 14-704 (2) of the Philadelphia Code pertaining to

STEEP SLOPE PROTECTION

- ☐ APPROVED
- ☐ DISAPPROVED
- ☒ NOT APPLICABLE (< 15% slope OR < 1,400 sq. ft. disturbance)
- ☐ EARTH MOVING PLAN SUBMITTED WITH THIS APPLICATION

Applied Electronically By: AARON HOLLY
August 19, 2022
Lidger No: **E-3696**

APPROVED Philadelphia City Planning Commission
09/02/22

In accordance with the terms and provisions of Section 14-510 of the Philadelphia Code pertaining to the

WISSAHICKON WATERSHED Overlay DISTRICT

IMPERVIOUS COVERAGE CATEGORY: **4 and 5**

- ☒ APPROVED
- ☐ DISAPPROVED
- ☐ EARTH MOVING PLAN SUBMITTED WITH THIS APPLICATION

Applied Electronically By: AARON HOLLY
August 19, 2022
Lidger No: **E-3696**

APPROVED Philadelphia City Planning Commission

In accordance with the terms and provisions of Sections 14-603 (16) (d), 14-603 (5), and 14-705 (1) (b) of the Philadelphia Code pertaining to

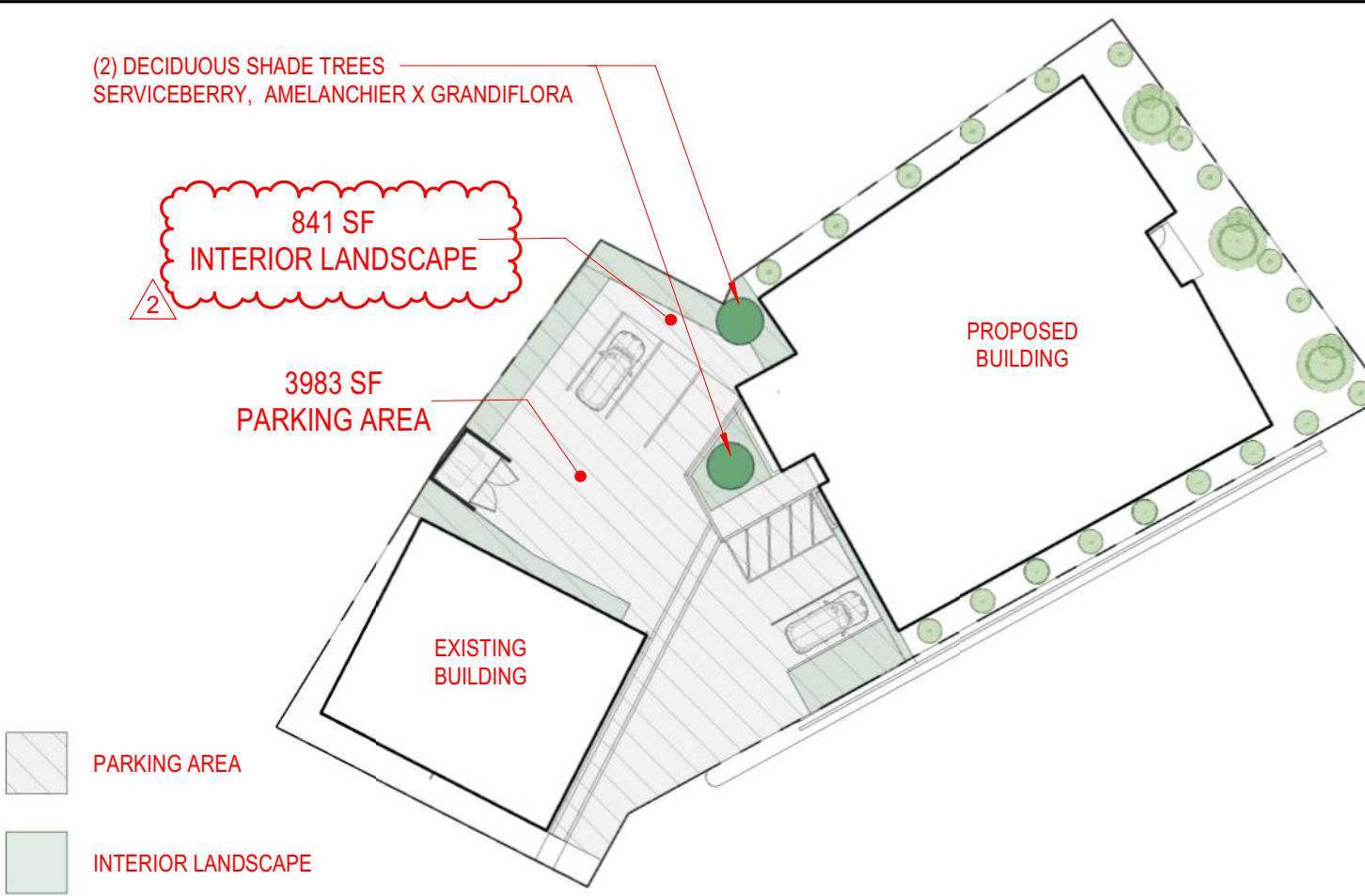
LANDSCAPING, SCREENING, AND BUFFERING

PARKING LOTS & WIRELESS TOWERS

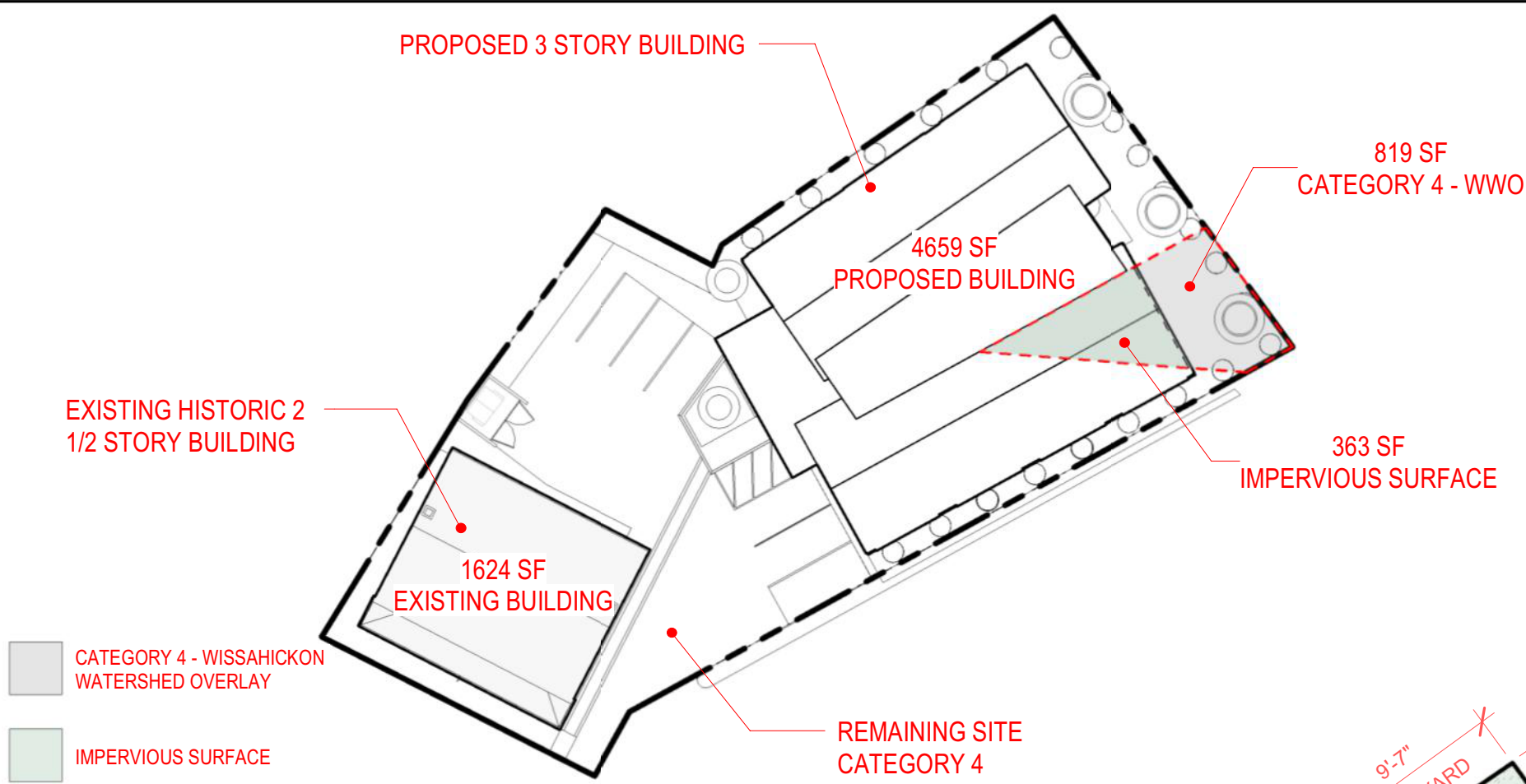
- ☒ APPROVED
- ☐ DISAPPROVED
- ☐ WAIVED

Applied Electronically By: AARON HOLLY
August 19, 2022
Lidger No: **E-3696**

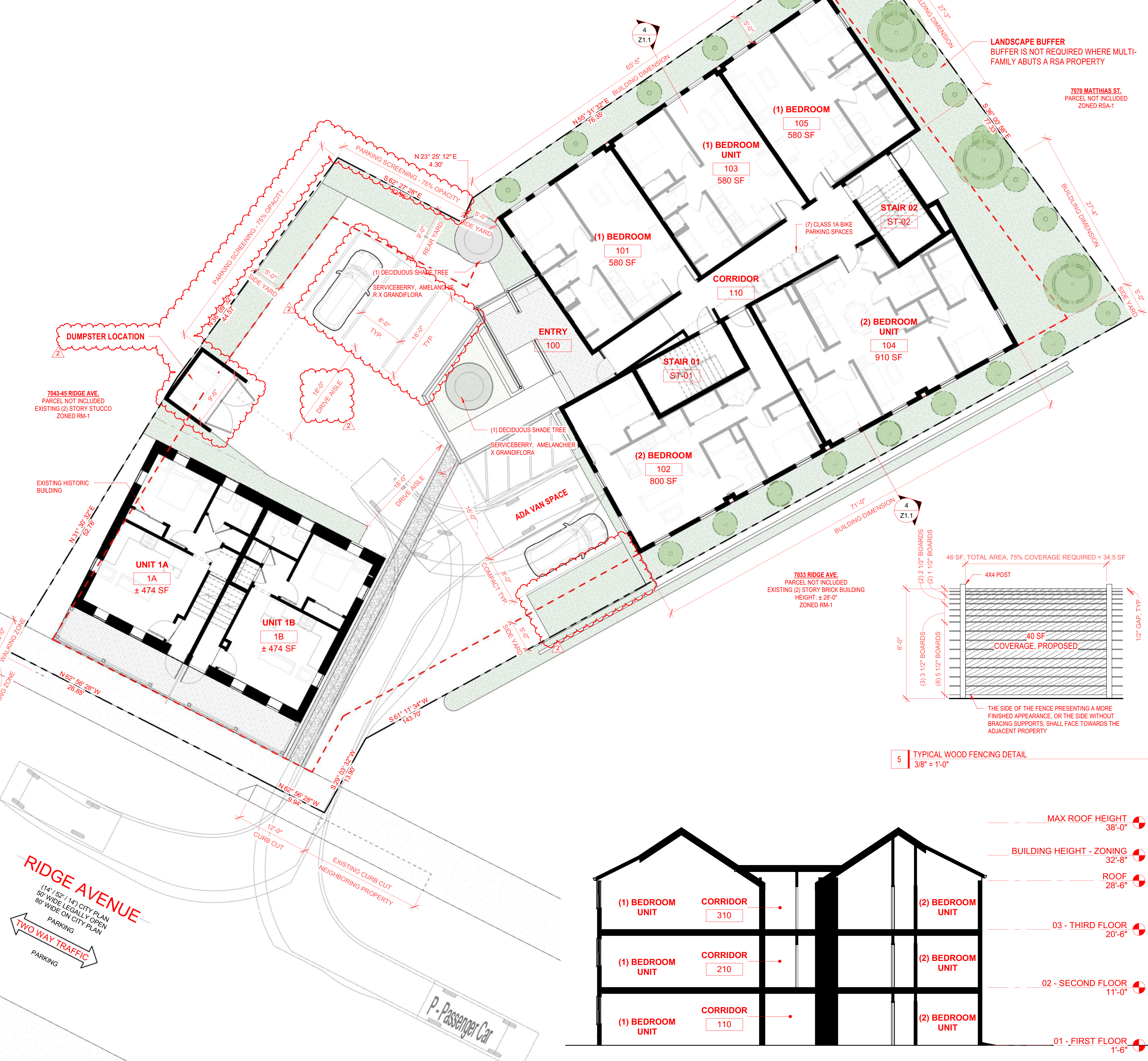
APPROVED Philadelphia City Planning Commission



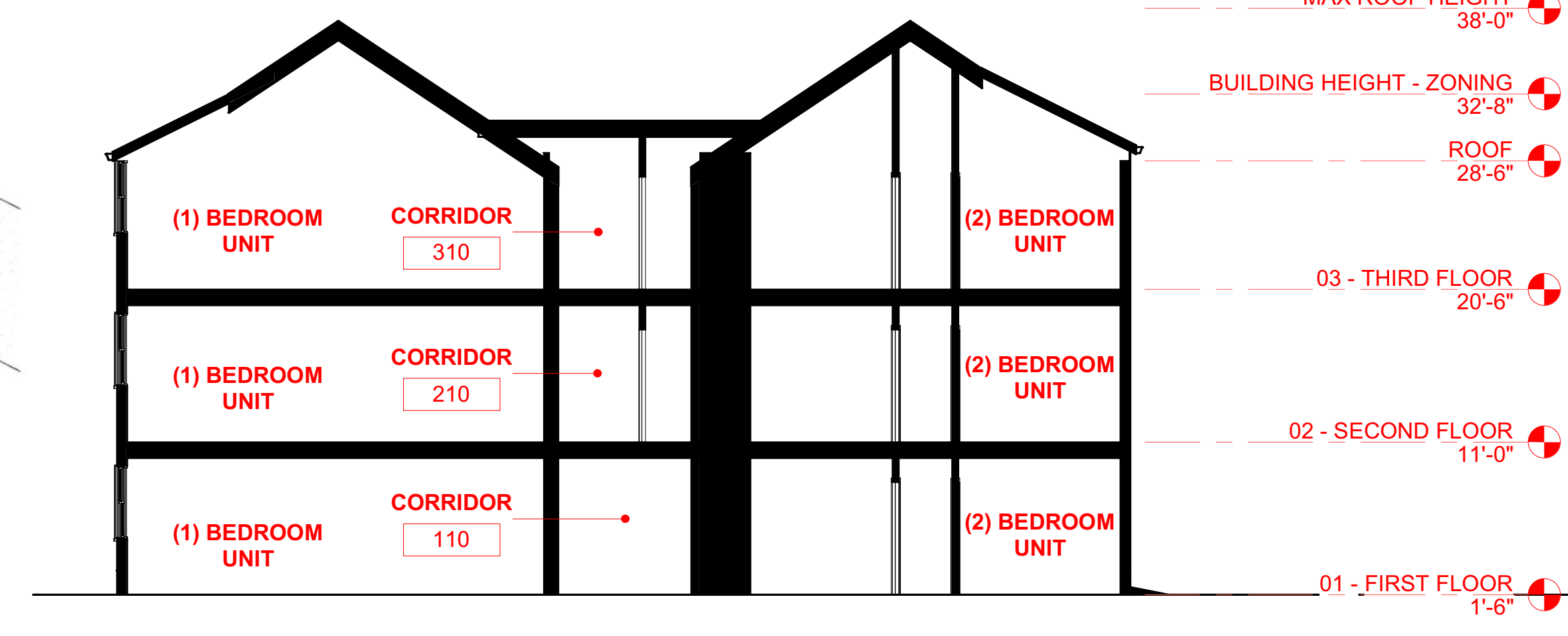
1 PARKING AND LANDSCAPE PLAN
1" = 30'-0"



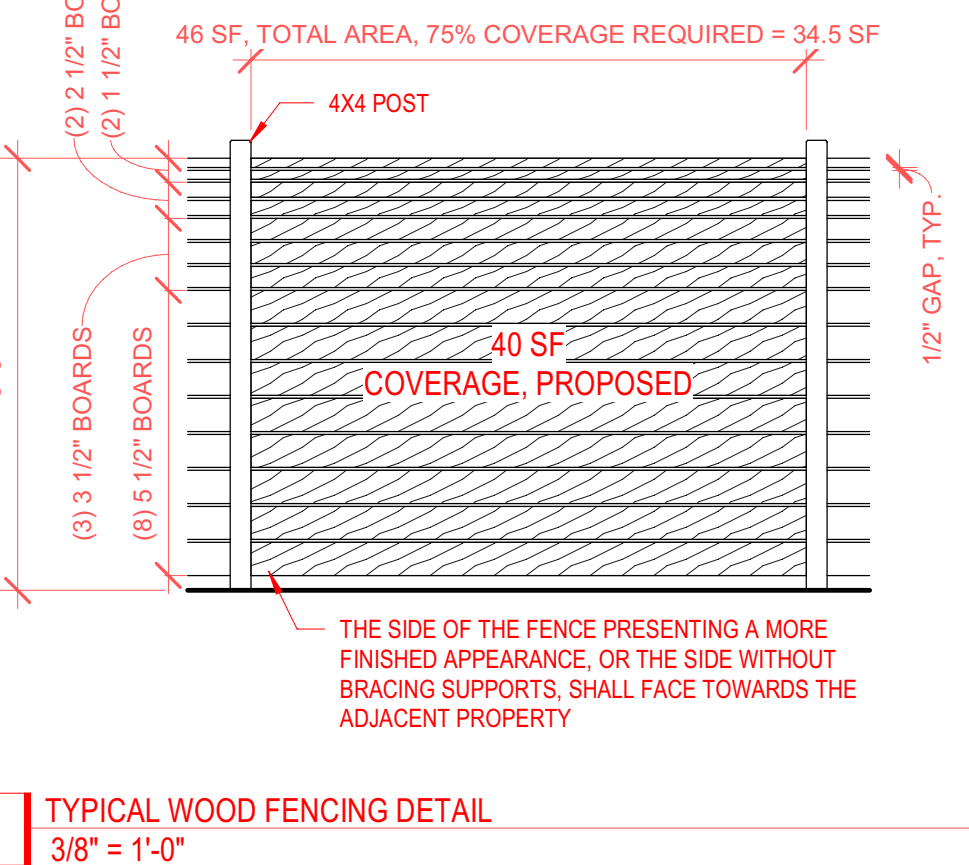
2 WATERSHED Overlay PLAN
1" = 30'-0"



3 HISTORIC - FIRST FLOOR PLAN
1/8" = 1'-0"



4 BUILDING SECTION - ZONING
1/8" = 1'-0"



5 TYPICAL WOOD FENCING DETAIL
3/8" = 1'-0"

SQa

SQUARE ARCHITECTS, LLC
3425 GARRETT RD
DREXEL HILL, PA
19026

OWNER/CLIENT
SRD 7037 LLC
614 S 4TH STREET
SUITE 146
PHILADELPHIA, PA 19147
travis@developselect.com



**7037-41 RIDGE AVE
MULTI-FAMILY**
7037-41 RIDGE AVE
PHILADELPHIA, PA 19128

ZONING PLAN

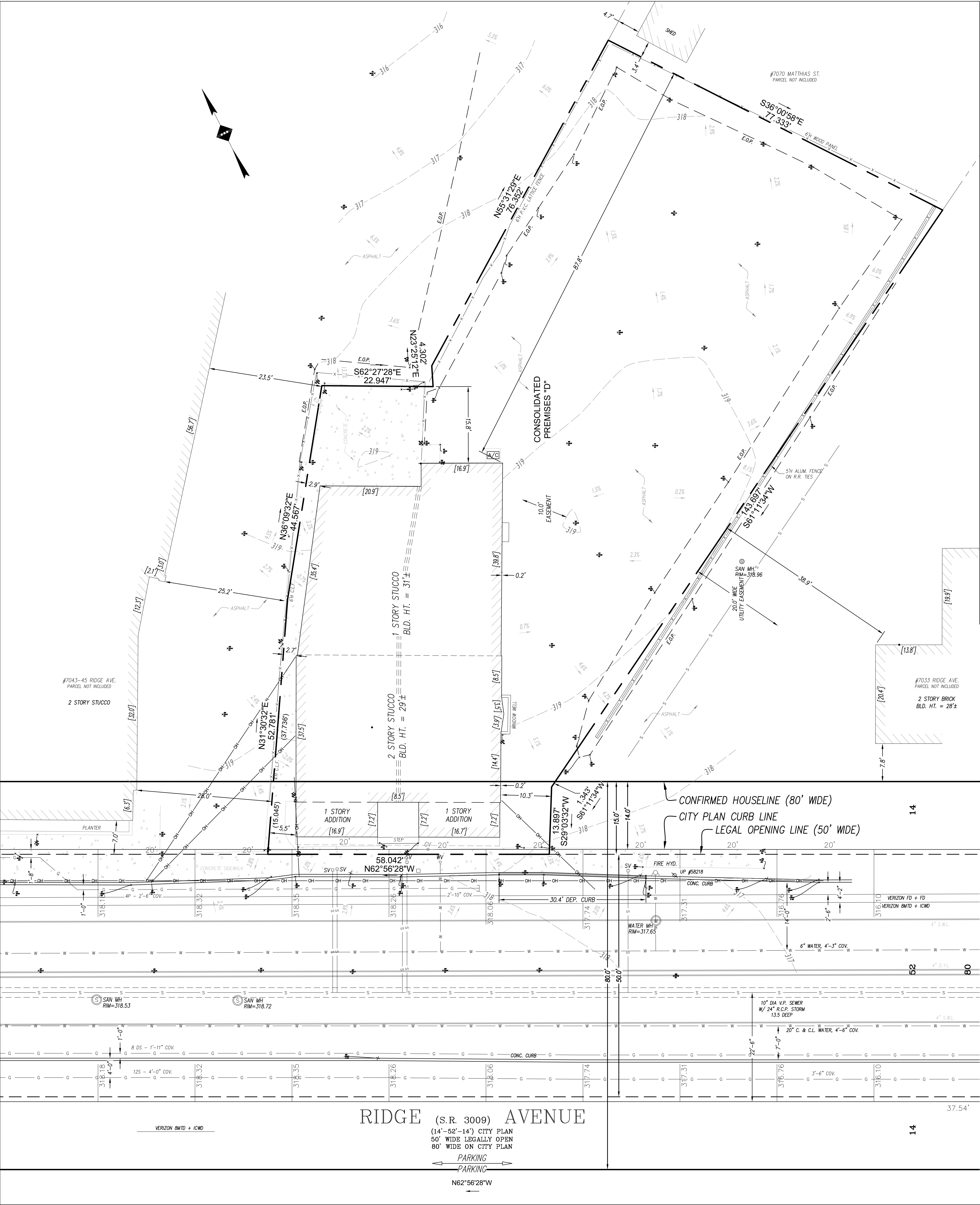
DATE: 04.11.2022
DRAWN BY: JMA / DB / MIF
REVISIONS:
08/09/2022 ZONING COMMENTS
08/18/2022 ZONING COMMENTS

AS INDICATED
COPYRIGHT 2022 SQUARE ARCHITECTS, LLC
ALL RIGHTS RESERVED

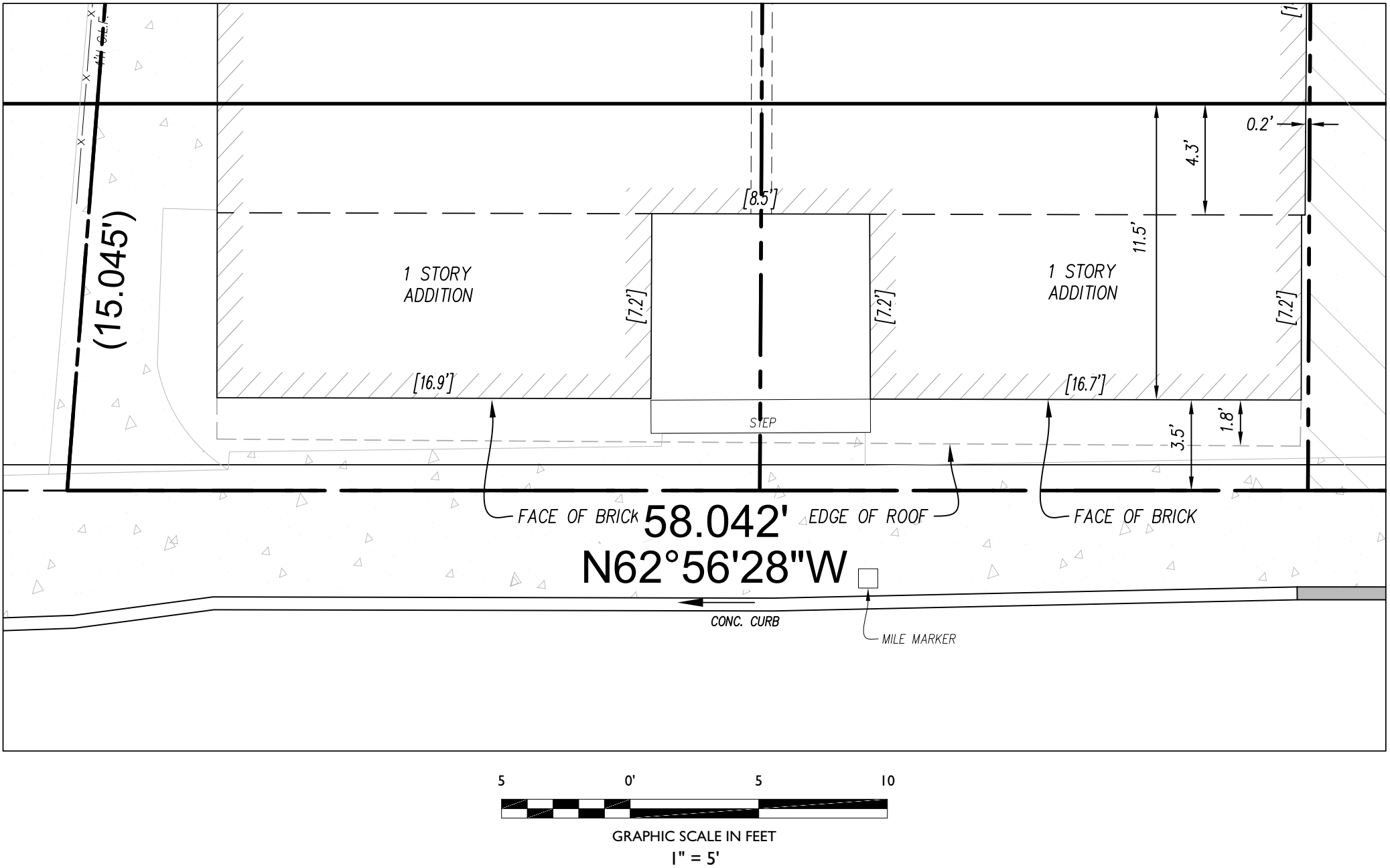
Z1.1

ZONING
NOT FOR SUBMISSION

EXISTING CONDITIONS



FRONT SUB-SKETCH



CONSOLIDATION NOTE

I. CONSOLIDATED PARCEL SHOWN BASED ON CONSOLIDATION PLAN PREPARED BY AQUAECONOMICS, LLC, APPROVED BY THE 9TH SURVEY DISTRICT OF PHILADELPHIA ON 4/21/2022.

NOTES

- THIS PLAN IS TO BE USED FOR TITLE OR CONVEYANCE PURPOSE ONLY. PLAN MADE AS PER INSTRUCTIONS OF JEAN T. & GERARDO A. PAPIRO H/W.
- PARCEL ADDRESS: 7037-41 RIDGE AVENUE.
- ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED. PROPERTY IS ZONED AS RM-1 (RESIDENTIAL SINGLE FAMILY ATTACHED-I).
- ALL BOUNDARY DIMENSIONS SHOWN ON THE PLAN ARE PHILADELPHIA DISTRICT STANDARD. THE LEGAL STANDARD OF MEASURE WITHIN THE CITY OF PHILADELPHIA. PHILADELPHIA DISTRICT STANDARD DISTANCES TO BE USED FOR TITLE PURPOSES ONLY. PHYSICAL MEASUREMENTS SHOWN ARE IN UNITED STATES STANDARD MEASURE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE INSURANCE REPORT AND IS SUBJECT TO THE FINDINGS THAT A VALID TITLE REPORT WOULD DISCLOSE.
- SUBJECT PREMISES ARE NOT IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE.
- REGISTERED OWNERS: JEAN T. & GERARDO A. PAPIRO H/W.
- THE ADDRESSES SHOWN ON THIS PLAN ARE AS PER EXISTING DEEDS OR AS POSTED ON THE PREMISES. ADDRESSES FOR ANY NEWLY CREATED PARCELS ARE TO BE ASSIGNED BY THE OFFICE OF PROPERTY ASSESSMENT (OPA/BRT).
- UPON THE FILING AND RECORDING OF A DEED WITH THE DEPARTMENT OF RECORDS OF THE CITY OF PHILADELPHIA, PREPARED IN ACCORDANCE WITH THIS PLAN, THE LINE SHOWN AS PROPOSED SHALL BECOME ACTUAL AND DECLARED.
- A ZONING PERMIT IS REQUIRED FOR ANY PROPOSED CHANGES TO LOT LINES INCLUDING CONSOLIDATION OF EXISTING PARCELS.
- PREMISE SHOWN HEREON HAS STREET FRONTAGE.
- ELEVATIONS SHOWN ON PLAN ARE FROM CITY PLAN No. 299. BENCHMARK: SAN MH (RIDGE AVE) RIM ELEVATION = 318.72' (SEE PLAN)
- THE INFORMATION SHOWN ON THIS PLAN IS FOR THE ULTIMATE USER NAMED HERON AND IS NOT VALID TO ANY OTHER PARTIES. ANY ELECTRONIC REPRODUCTION OF THIS SURVEY AND PLAN IS TO BE FOR THE USE OF THE CLIENT ONLY. AQUA ECONOMICS IS NOT RESPONSIBLE FOR ANY DISCREPANCIES, WHICH MAY ARISE BY THE ELECTRONIC REPRODUCTION OF THE ORIGINAL FILE AND ANY FUTURE PARTIES UTILIZING SAID COPY DO HEREBY RELEASE AQUA ECONOMICS FROM ANY AND ALL CLAIMS FOR DAMAGES AS A RESULT OF SAID DISCREPANCIES.
- COPYRIGHT 2021 - ALL RIGHTS RESERVED - AQUA ECONOMICS NO PART OF THIS PLAN MAY BE REPRODUCED, STORED IN AN INFORMATION STORAGE AND RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM, OR BY ANY MEANS, ELECTRICAL, MECHANICAL, PHOTOCOPYING RECORDING OR OTHERWISE WITHOUT PRIOR WRITTEN PERMISSION OF AQUA ECONOMICS.

ZONING

RM-1 (RESIDENTIAL MULTI-FAMILY-1)

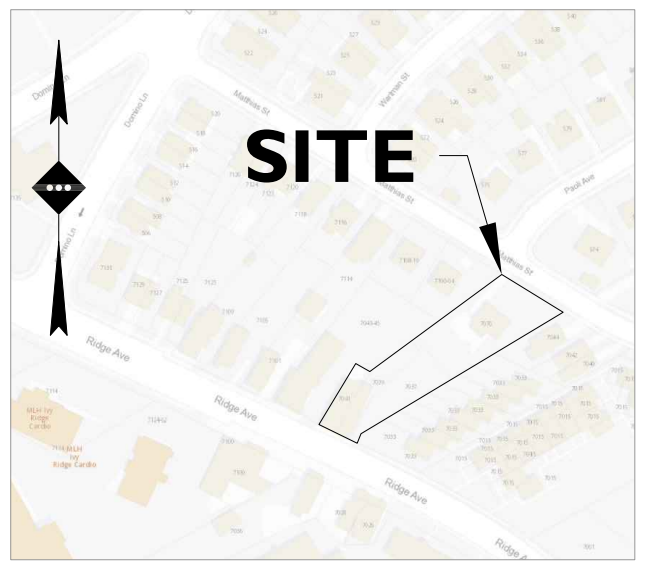
AREA REGULATIONS LOT AREA
Minimum District Area - No Requirements

MAXIMUM OCCUPIED AREA
Intermediate - 75%
Corner - 80%

YARDS
Minimum Front Yard Depth (ft.) - No Requirements
Minimum Side Yard Width, Each (ft.) - 5 if used
Minimum Rear Yard Depth (ft.) - The Greater of 9 feet or 10% of lot depth

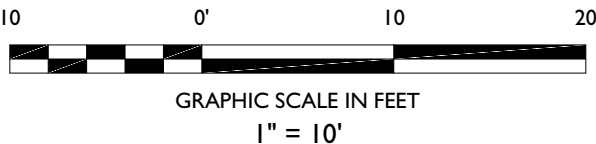
HEIGHT REGULATIONS
Maximum Height (ft.) - 38

SITE



LOCATION MAP
NOT TO SCALE

SYMBOL	DESCRIPTION
FOR	POINT OF BEGINNING
---	RIGHTS OF WAY
---	CHANGING FENCE
---	MAJOR CONTIGUOUS
---	MINOR CONTIGUOUS
---	GRADE SPOT SHOT
---	TOP OF CURB / BOTTOM OF CURB SPOT SHOT
---	TOP OF WALL / BOTTOM OF WALL SPOT SHOT
---	BUILDING
---	CONCRETE
---	PROPERTY LINE
---	BOUNDARY
---	WATER VALVE
---	GAS VALVE
---	SEWER VENT
---	LIGHT POLE
---	MANHOLE (TYP)
---	FIRE HYDRANT
---	TREE
---	PARKING PETER



APPROVED

FOR ZONING ONLY

9/02/22

APPROVED FOR ZONING ONLY

APPROVED FOR ZONING ONLY

APPROVED FOR ZONING ONLY

APPROVED FOR ZONING ONLY

APPROVED FOR ZONING ONLY

APPROVED FOR ZONING ONLY

Zoning Permit

Permit Number ZP-2022-010249

LOCATION OF WORK 7037 RIDGE AVE T-D-378434, Philadelphia, PA 19128-3248	PERMIT FEE \$672.00	DATE ISSUED 9/2/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF ONE(1) DETACHED STRUCTURE (NTE 38' HIGH) ON THE SAME LOT EXISTING STRUCTURE REMAINS WITH FOUR(4) COMPACT PARKING SPACES INCLUDING WITH ONE(1) ACCESSIBLE VAN PARKING SPACE AND WITH SEVEN (7) 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE. SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-010249

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

7037 RIDGE AVE T-D-378434, Philadelphia, PA 19128-3248

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

MULTI-FAMILY HOUSEHOLD LIVING (TOTAL 19 UNITS)(4 UNITS IN EXISTING BUILDING +15 UNITS IN PROPOSED BUILDING)

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.