

KHOLSA - MT. AIRY

LOT CONSOLIDATION AND NEW DETACHED CONSTRUCTION 20-30 W. ALLENS LANE PHILADELPHIA, PA

GENERAL NOTES

OWNER:
L & M PARTNERSHIP

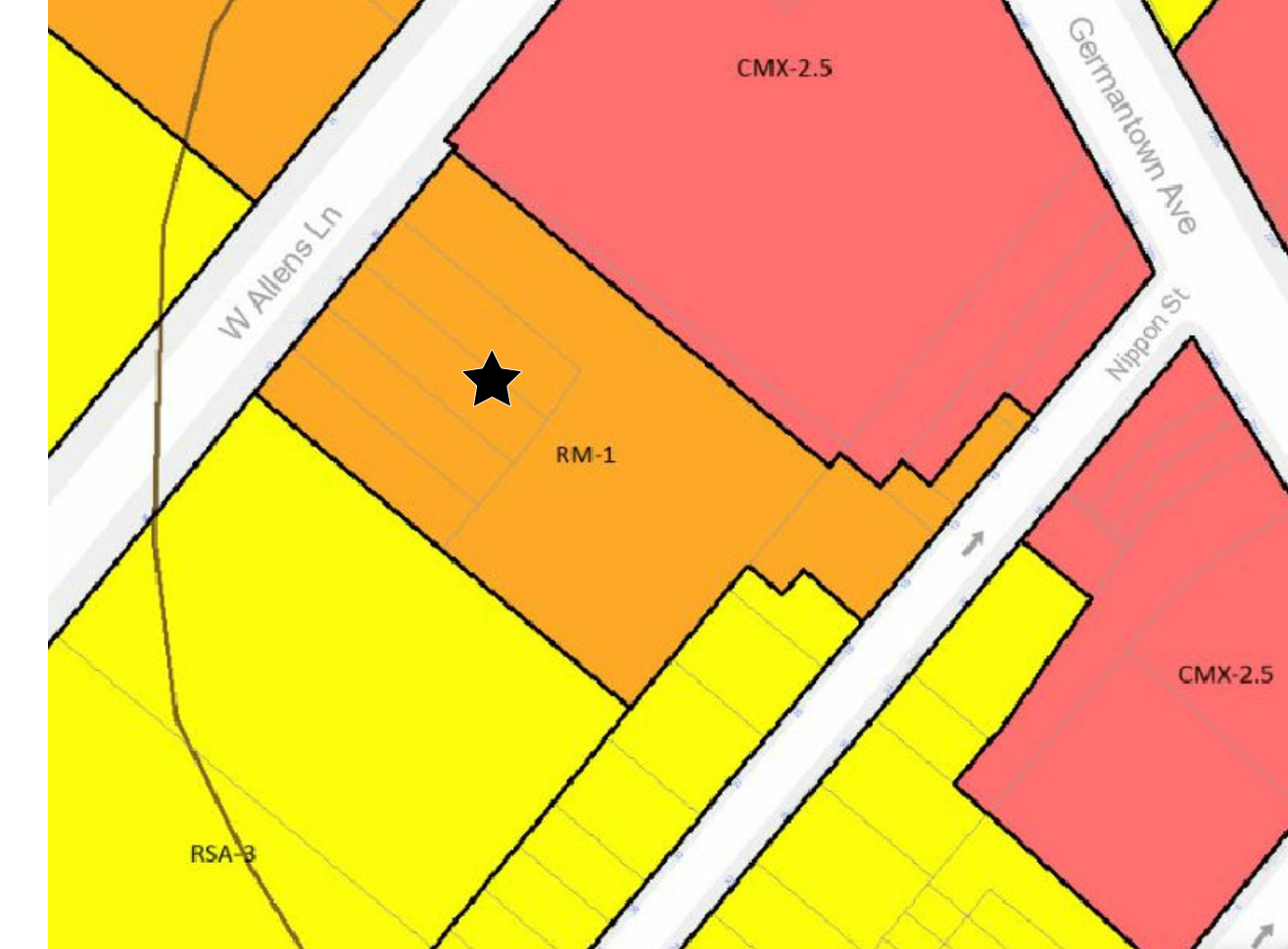
ARCHITECT:
CANNOdesign, LLC
109 South 13th Street
2nd Floor
Philadelphia, PA 19107
215-977-7075

OPA#: 88-2970815 PREMISES A, B AND C, 88-2871700
ZONING SUBMISSION

APRIL 29, 2022

PRELIMINARY ZONING REVIEW APPLICATION: PA-2022-000640

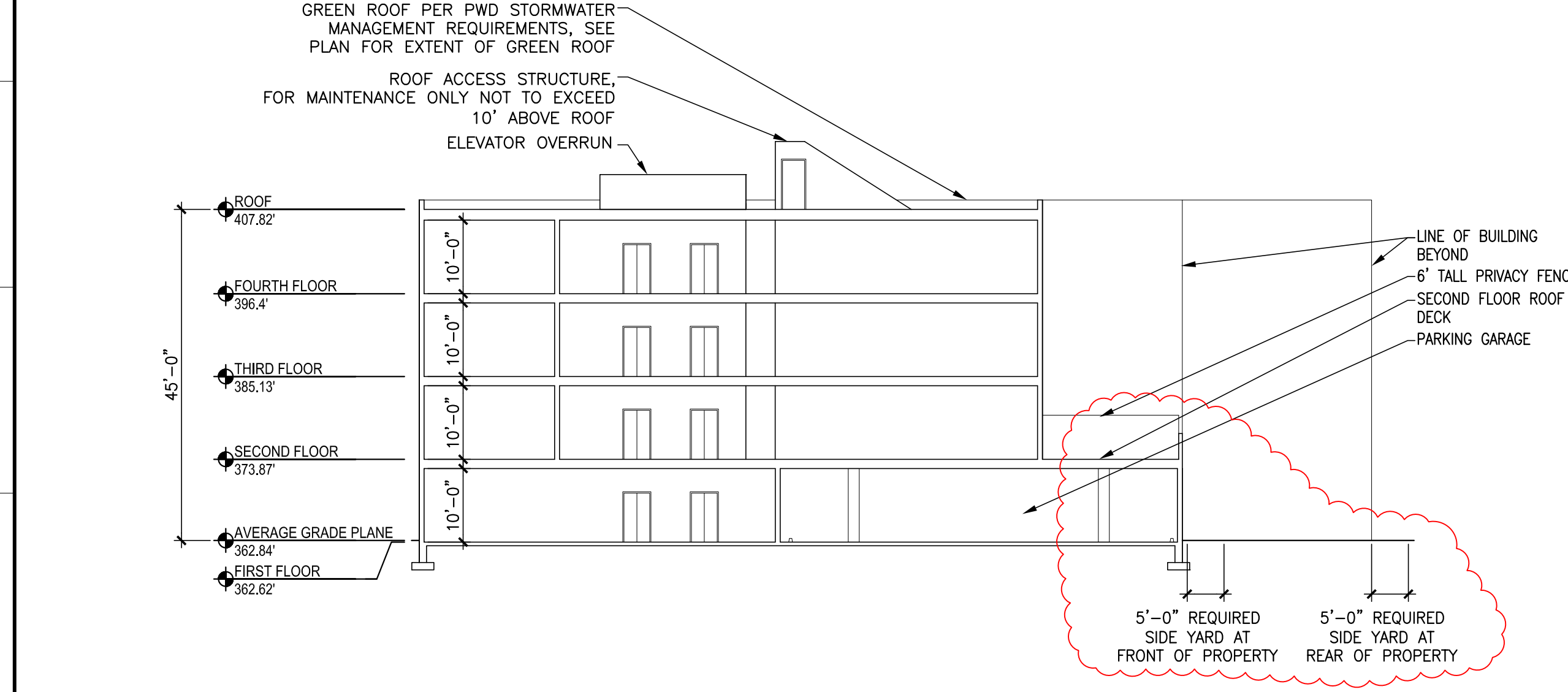
ZONING SUMMARY (RM-1)				
	RM-1	PROPOSED	CONFORMING / NON CONFORMING	
MIN. LOT WIDTH	FT	16'-0"	113,292' Allens Lane (front)	CONFORMING
			147,385' (rear)	CONFORMING
MIN. LOT AREA	SF	1,400 SF	28,079.5 SF P.D.S.	CONFORMING
			28,220.1 SF U.S.S.	CONFORMING
MIN. OPEN AREA	%	25%	25.01% (7,020.6 SF)	CONFORMING
FRONT YARD		[5]6"	19'-10"	CONFORMING
SIDE YARD(S)	FT	2 5' EACH	5'-0" VARIES	CONFORMING
REAR YARD	FT	9'-0"	9'-0"	CONFORMING
	SF	144	1348.76	
MAX. HEIGHT	FT	38'-0"	45'-0"*	CONFORMING
BIKE PARKING		26	26	CONFORMING
AUTO PARKING		0	26	CONFORMING
			(2 VAN ACCESSIBLE, 1 ELECTRICAL VEHICLE CHARGING STATION)	



*[5] If abutting lots on both sides of an attached building contain only two stories of enclosed area, stories above the second story of the attached house shall be set back an additional eight ft. from the minimum setback shown in this table, except this requirement shall not apply to corner lots.
*[6] In the RM-1 district, front setbacks shall comply with the following: 371
(a) On any given street, the front setback shall be no deeper than the front setback of the principal building on the immediately adjacent lot on such street with the deepest front setback, and shall be no shallower than the front setback of the principal building on the immediately adjacent lot on such street with the shallowest front setback.
(b) On any given street, if there is no principal building on an immediately adjacent lot, then the front setback shall match the front setback on the closest building to the subject property that is on the same blockface. If there is no such building, the minimum front setback shall be zero.
(c) If the property is bounded by two or more streets, only the primary frontages as designated in § 14-70(1)(a)(4) (Primary Frontage) shall be subject to the front setback requirements of (a) and (b) above.
**Mixed Income Height and Density Bonus Will Be Used, 10% Affordable Units to be Provided

H1 ZONING DATA
N.T.S.

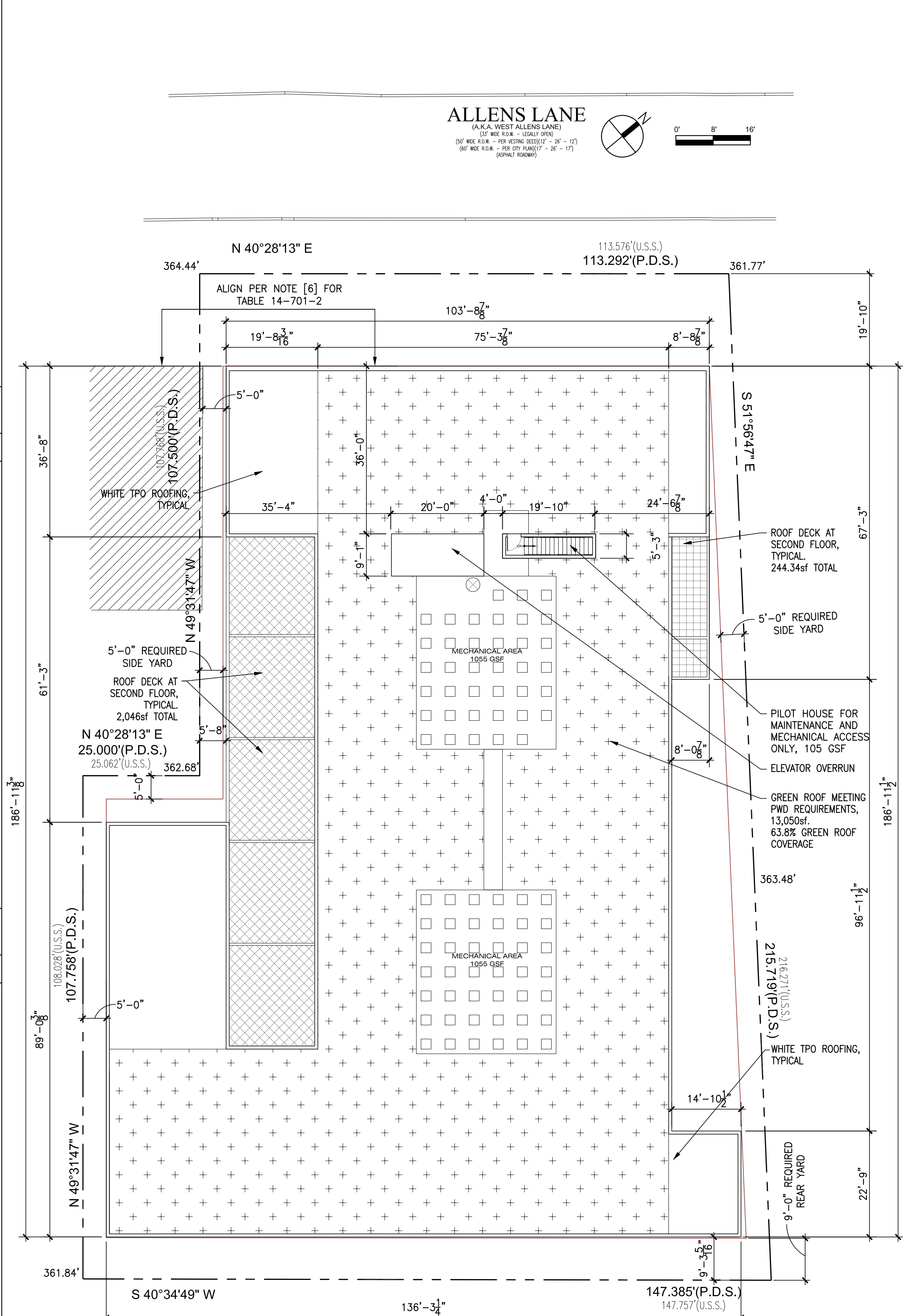
H5 ZONING MAP
N.T.S.



D1 SECTION
1/16"=1'-0"



A1 STREET VIEWS
N.T.S.



A8 SITE PLAN
1/16" = 1'-0"

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE- STOP CALL.

POCS SERIAL NO. 20220911396

ZONING RE-SUBMISSION	2022.06.15
ZONING SUBMISSION	2022.04.29
1 PRELIMINARY ZONING REVIEW RESPONSE	2022.02.17
PRELIMINARY ZONING REVIEW SUBMISSION	2022.01.28
No. REVISIONS/SUBMISSIONS	Date

KHOSLA MT. AIRY
20-30 WEST ALLENS LANE
Philadelphia, PA

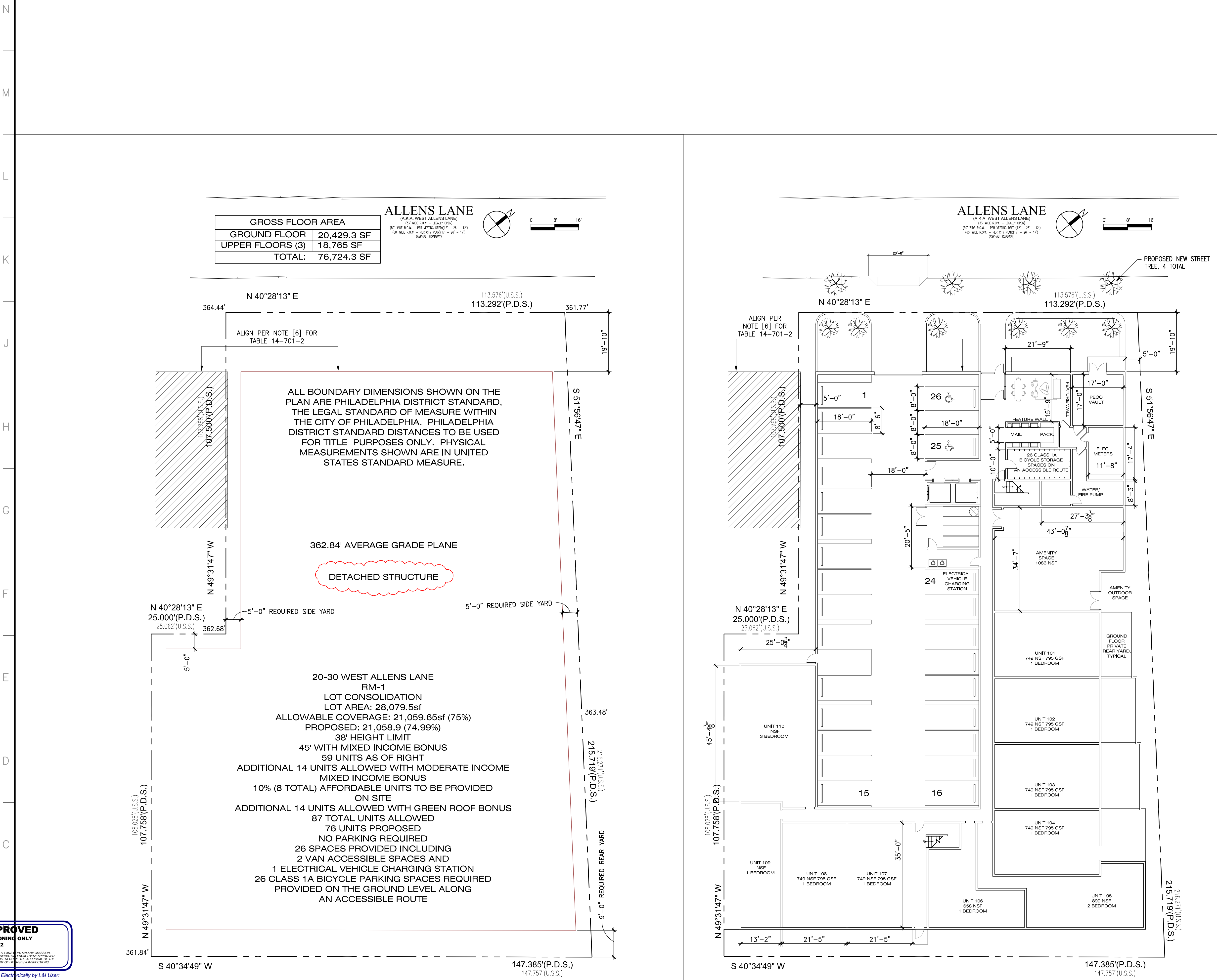
CANNOdesign
109 SOUTH 13TH STREET 2ND FLR
PHILADELPHIA, PA 19107

Drawing Title
ZONING

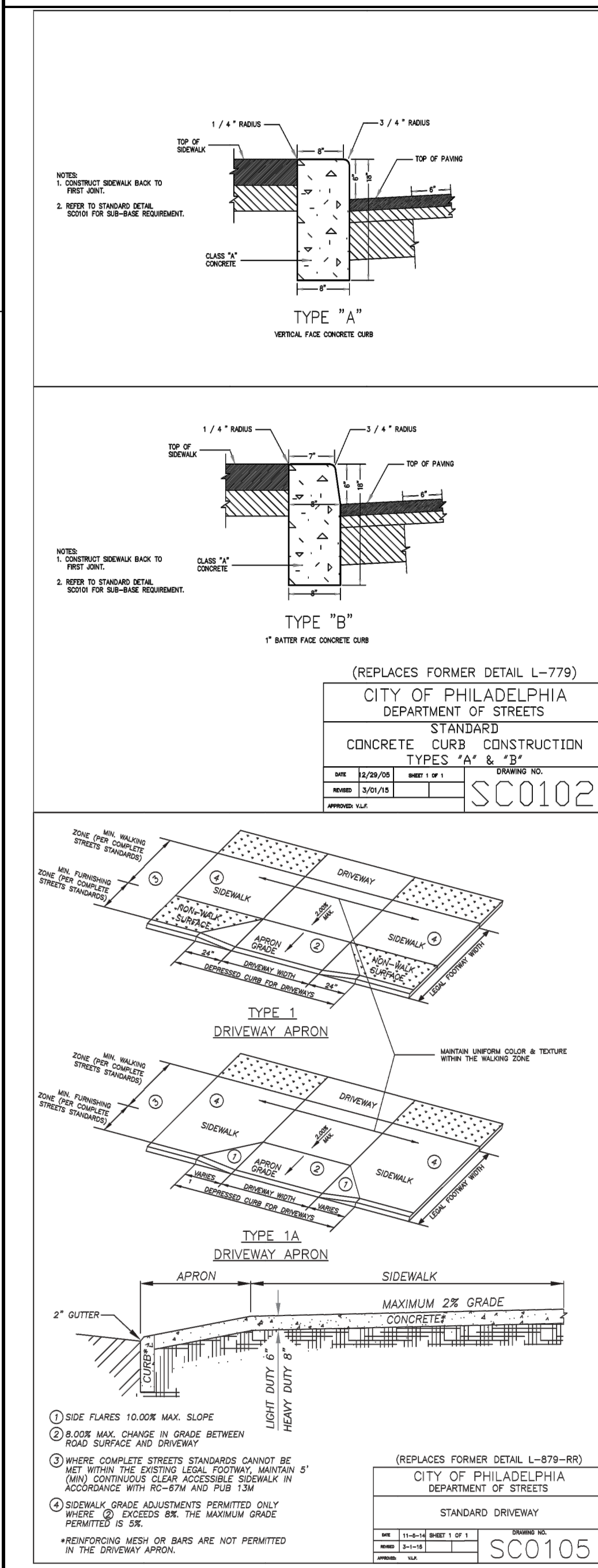
Seal
Drawn
Checked
Reviewed
Date
Scale

Project No.
CAD File No.
Drawing No.

Z-1



GENERAL NOTES



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KHOSLA MT. AIRY
20-30 WEST ALLENS LANE
Philadelphia, PA

CANNObdesign
109 SOUTH 13TH STREET 2ND FLR
PHILADELPHIA, PA 19107

Drawing Title

ZONING

Seal

Drawn Project No.
Checked CAD File No.
Reviewed Drawing No.
Date
Scale

Z-2

Zoning Permit

Permit Number ZP-2022-013157

LOCATION OF WORK 20-30 W ALLENS LN, Philadelphia, PA 19119-1696	PERMIT FEE \$1,094.00	DATE ISSUED 11/23/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1 CMX2.5	

PERMIT HOLDER L & M PARTNERSHIP, PA PARTNERSHIP	20-30 W ALLENS LN PHILADELPHIA PA 19119-1637
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR COMPLETE DEMOLITION OF EXISTING STRUCTURE ON THE LOT AND THE ERECTION OF ONE (1) DETACHED STRUCTURE WITH CELLAR AND AN ACCESSORY ROOF DECK ON SECOND FLOOR SIDE (FOR RESIDENTIAL USE ONLY) AND ROOF ACCESS STRUCTURE FOR MAINTENANCE ONLY. (LOW INCOME BONUS APPLIED: AN ADDITIONAL 7 FT HEIGHT BONUS APPLIED TO THIS PERMIT (14-702(7)(b)(.6) AND (c)). AND GREEN ROOF BONUS APPLIED. (ZONING CODE 14-702 (16)) THE APPLICANT MUST EXECUTE AND RECORD A DEED RESTRICTION IN FAVOR OF THE CITY, APPROVED AS TO FORM BY
--

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - **30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - **3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - **60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-013157

THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND WHICH ALLOWS THE CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS). SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLANS.



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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

20-30 W ALLENS LN, Philadelphia, PA 19119-1696

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR MULTI-FAMILY HOUSEHOLD LIVING TOTAL SEVENTY-SIX (76) DWELLING UNITS (LOW INCOME BONUS ADDITIONAL 14 UNITS APPLIED TO THIS PERMIT (14-702(7)(b) (.6) AND (c) AND GREEN ROOF BONUS 3 UNITS; INCLUDING ALL BONUSES TOTAL 76 UNITS) AND ACCESSORY OFF STREET SURFACE PARKING TWENTY-SIX (26) SPACES INCLUDING TWO (2) ACCESSIBLE SPACES (INCLUDING VAN ACCESSIBLE SPACE), ONE (1) EV PARKING SPACE AND TWENTY-SIX (26) ACCESSORY BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.