

Zoning Permit

Permit Number ZP-2020-002921

LOCATION OF WORK 1900 N FRONT ST Consolidated Lot, Philadelphia, PA 19122-2405	PERMIT FEE \$850.00	DATE ISSUED 11/24/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS	

PERMIT HOLDER

APPLICANT
Sergio Coscia DBA: Coscia Moos Architecture, LLC 1616 Walnut Street Suite 101 Philadelphia, PA 19103 USA

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED BUILDING WITH A ROOF DECK AND THREE (3) ROOF DECK ACCESS STRUCTURES WITH A MECHANICAL ELEVATOR AND GREEN ROOF (COVERING ATLEAST 60% OF THE ROOF TOP) (SIZE AND LOCATION AS SHOWN ON PLANS)

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)

 **CONDITIONS AND LIMITATIONS:**

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.

 **Post a copy of this permit in a conspicuous location along each frontage.**

Permit must be posted within 5 days of issuance.

Zoning Permit

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1900 N FRONT ST Consolidated Lot, Philadelphia, PA 19122-2405

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS VACANT COMMERCIAL USE (AS PERMITTED IN CMX 2.5 DISTRICT) AT THE GROUND FLOOR (USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) AND MULTI-FAMILY (105 UNITS) HOUSEHOLD LIVING UTILIZING GREEN ROOF BONUS (IN ACCORDANCE WITH ZONING CODE §14-602 (7), THE APPLICANT MUST EXECUTE AND RECORD A DEED RESTRICTION PRIOR TO ISSUE CERTIFICATE OF OCCUPANCY IN FAVOR OF THE CITY, APPROVED AS TO FORM BY THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND WHICH ALLOWS THE CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS) AND MIXED INCOME HOUSING BONUS AND TO INCLUDE THIRTY-SIX (36) ACCESSORY BICYCLE PARKING SPACES.

This permit is subject to the following specific conditions.

CONDITIONS

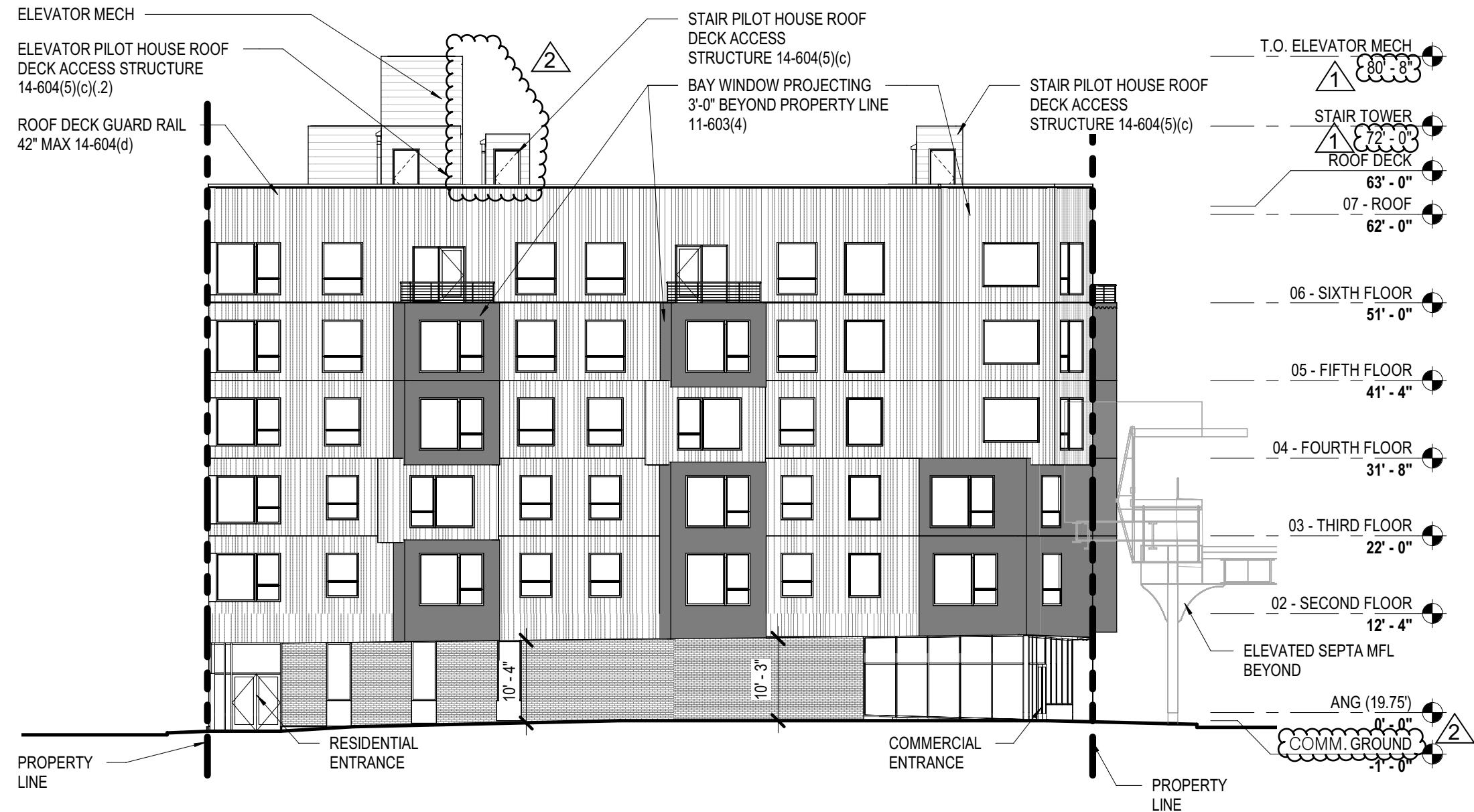
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



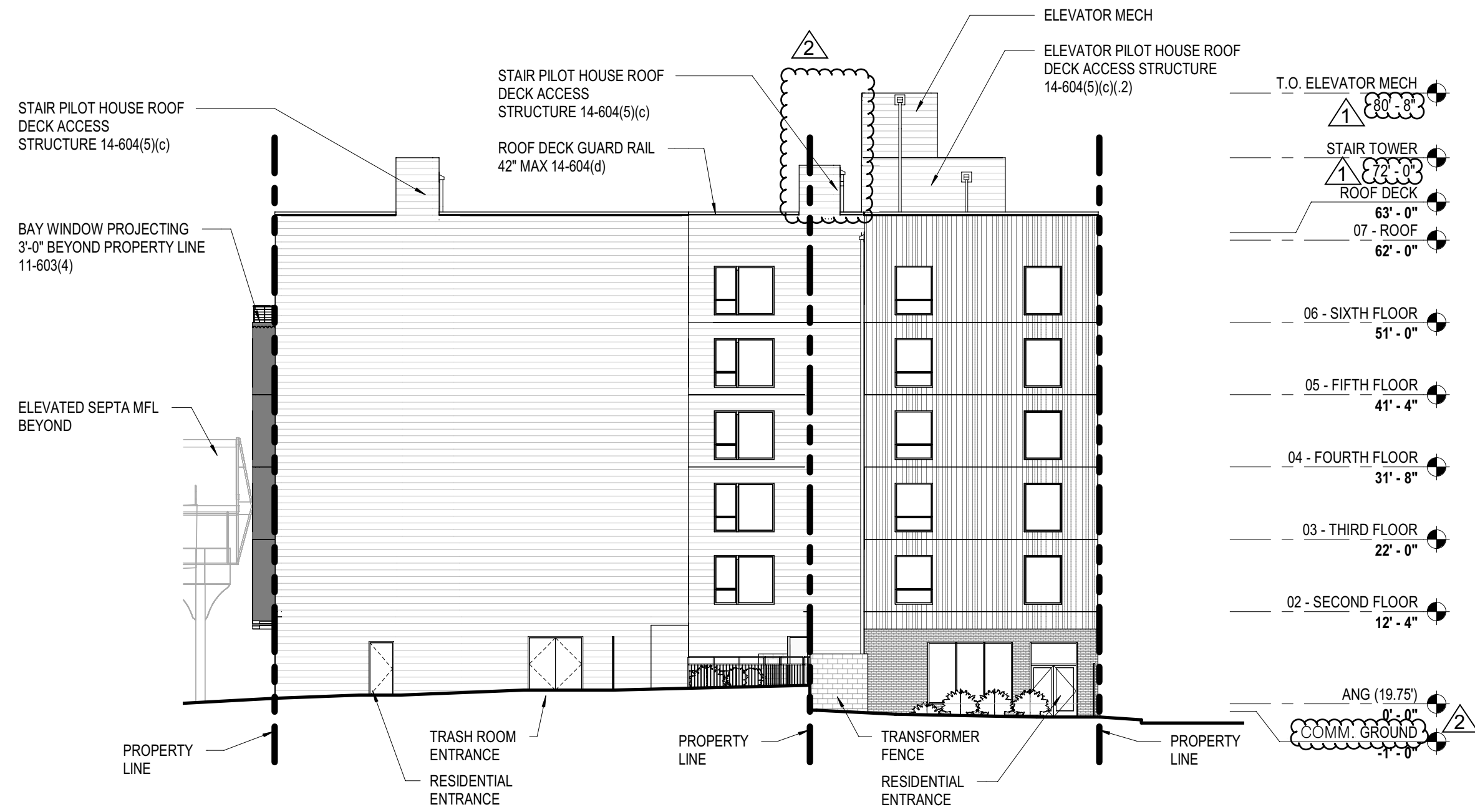
TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.



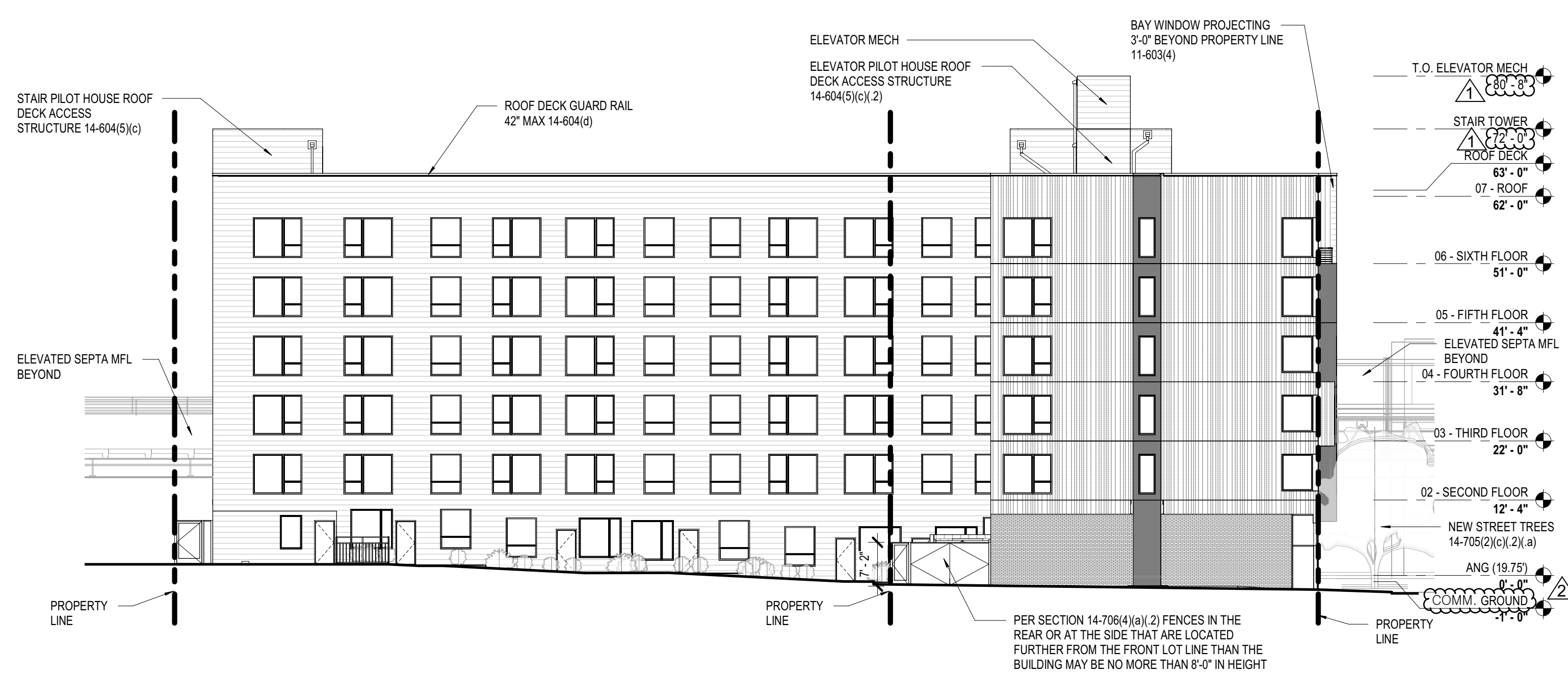
1 SOUTH EXTERIOR ELEVATION
Z300 1/16" = 1'-0"



2 EAST EXTERIOR ELEVATION
Z300 1/16" = 1'-0"



3 NORTH EXTERIOR ELEVATION
Z300 1/16" = 1'-0"



4 WEST EXTERIOR ELEVATION
Z300 1/16" = 1'-0"

APPROVED
FOR ZONING ONLY
11/23/20

WHEN YOUR PLANS CONTAIN ANY DISCREPANCY OR CONFLICT, THE ZONING PERMITTING OFFICE SHALL BE THE FINAL AUTHORITY IN RESOLVING ANY DISCREPANCY OR CONFLICT. THE ZONING PERMITTING OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY OR CONFLICT THAT RESULTS FROM THE ZONING PERMITTING OFFICE'S REVIEW OF YOUR PLANS.

Applied Electronically by L&J User:

Versions

No.	Date	Description
01	06/26/2020	ZONING PERMIT
01	07/30/2020	REVISION #1
02	09/01/2020	REVISION #2

ZONING PERMIT
REVISION #2
09/01/2020

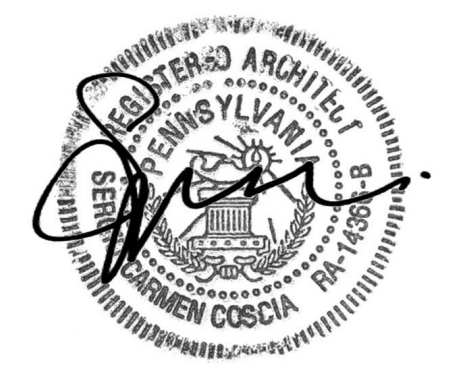
Architect

COSCIA MOOS
ARCHITECTURE

Coscia Moos Architecture
1616 Walnut Street, Suite 101
Philadelphia, PA 19103
267 761 9416

Structural Engineer

MEP Engineer



Signature and Seal
Project

1900-22 N Front
Street
Philadelphia, 19122

Sheet Title

ZONING ELEVATIONS

Date
09/01/2020

Scale
1/16" = 1'-0"
Drawn
JTL
Project No.
443
Sheet No.

Z300

1500 Spring Garden Street, Suite 1100
Philadelphia, PA 19130
Tel. 215.665.7000
www.stantec.com

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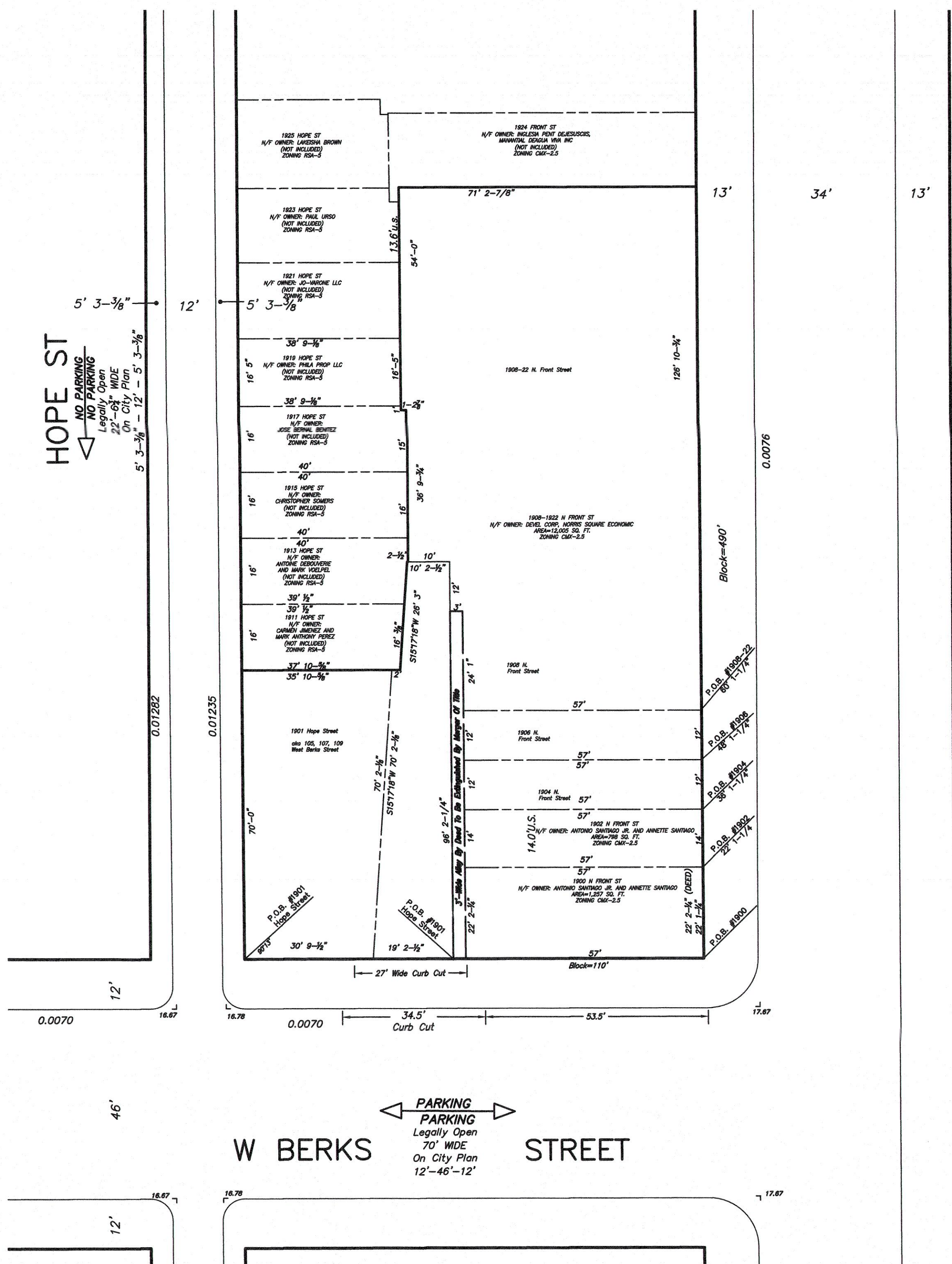
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.

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General Notes

1. This plan was prepared as per instructions of the applicant, HDM Group.
2. The proposed site dimensions shown on the plan are the Philadelphia district standard, legal standard of measure within the city of Philadelphia, except building dimensions which are in uniformed standard measures. Philadelphia district standard dimensions are not suitable for title purposes.
3. Ejections shown on plan are Philadelphia city plan as shown on city plan.
4. Attention is called to the Philadelphia zoning code as amended, special hazard areas in zone CM-2.5.
5. The lot described on this survey does not lie within a Special Flood Hazard Area ("SFHA") as defined by the Federal Emergency Management Agency; the property lies within Zone X of the Flood Insurance Rate Map, determined to be in an area of minimal flood hazard, which means it is outside the Special Flood Insurance Rate Map, Community No. 420757, Panel 182N dated 11/16/2011.
6. A zoning permit is required for any proposed changes to lot lines including encroachments or setbacks.
7. The addresses shown on this plan are as per existing deeds or as posted on the premises.
8. The location of underground utilities is taken from public records and field locations of valves, manholes, poles etc., the extent, exact location and depth of underground utilities has not been independently verified by the owner or its contractor. It is recommended that the contractor verify the existence, type and depth of all existing utilities prior to commencing work, the contractor agrees to indemnify the engineer and architect for any damages or costs incurred by the contractor's failure to exactly locate and preserve any and all underground utilities and/or utility companies time (3) days prior to commencing work, without comply with penn.co act no. 187 at amended.
9. Curb grades to be regulated by the SHV district survey.
10. This plan is for Lot Consolidation purposes only.
11. The information shown on this plan is for the ultimate user named herein and shall not be used for any other purpose.



EXISTING PARCELS PRE-CONSOLIDATION



Reviewed and Approved as per
Sub-Division Plan Requirements
Adopted by the Board of Surveyors

Richard M. O'Keefe 5th 6/11/20
Surveyor & Regulator **District** **Date**

1	PER SURVEY DISTRICT COMMENTS	CK	KS	20.06.
Revision		By	Appd.	YY.MM
File Name:	JH	CK		20.03.
	Dwn.	Chkd.	Dsgn.	YY.MM

Permit-Seal



Client/Project
HOW GROUP

1900 N FRONT ST
Philadelphia, Pennsylvania

[illegible]

PROPOSED LOT CONSOLIDATION

Project No. 202711658	Scale 1"=20' 
Drawing No. C-101	Sheet 1 of 1 Revision 0