

Zoning Permit

Permit Number ZP-2022-013030

LOCATION OF WORK 4328-44 LANCASTER AVE T-F-474706, Philadelphia, PA 19104	PERMIT FEE \$1,136.00	DATE ISSUED 11/21/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE COMPLETE DEMOLITION OF EXISTING STRUCTURE ON LOT; FOR THE ERECTION OF MULTIPLE STRUCTURES ON LOT (45' HIGH)(USING MIXED INCOME HOUSING BONUS AS PER 14-702(7) WITH GREEN ROOF (14-702(16), ROOF DECKS WITH STAIR WITH SIXTEEN(16) 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE.
SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

4328-44 LANCASTER AVE T-F-474706, Philadelphia, PA 19104

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A VACANT COMMERCIAL SPACE AT FIRST FLOOR FRONT (commercial space must be within the first 30 ft. of building depth, measured from the front building line) (LANCASTER AVE FRONTAGE) WITH MULTI-FAMILY HOUSEHOLD LIVING(49 DWELLING UNITS)(USING MIXED INCOME HOUSING BONUS AS PER 14-702(7) AND GREEN ROOF BONUS AS PER 14-702(16) ON LOT (IN TWO(2) STRUCTURES) ON LOT.(SEE APPLICATION# ZP-2022-008460 FOR RELOCATION OF LOT LINE PERMIT)

~~*AMENDED APPLICATION*: 1 THE BUILDING WIDTH INCREASE OF BUILDING# 5 ; THE BUILDING WIDTH DECREASE OF BUILDING# 3 (PARRISH ST BUILDING FRONTAGE)(TOTAL FOOTPRINT OF THE PARRISH ST BUILDING REMAINS UNCHANGED) 2. THE ELEVATION HAS BEEN UPDATED TO SHOW PARAPET HEIGHT 4'2" ABOVE THE ROOF (PARRISH ST SIDE)3. THE ROOF DECK AND PILOTHOUSE CONFIGURATION ON BUILDING# 3 (NO CHANGE TO THE OVERHALL HEIGHT ON PARRISH ST) (NO CHANGE IN HEIGHT AND AREA).SIZE AND LOCATION AS SHOWN IN THE APPLICATION.~~

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

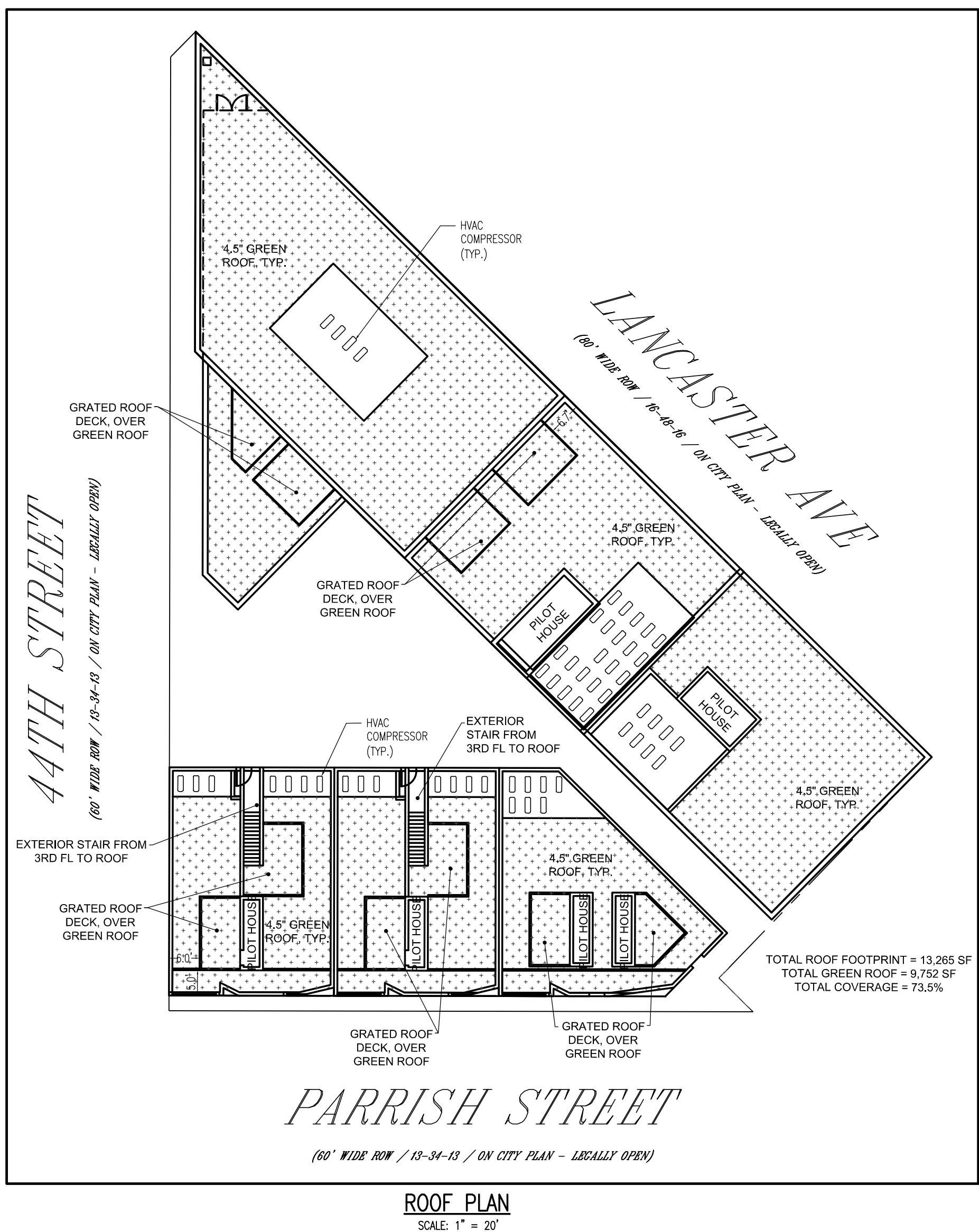
THIS PLAN REFERENCES A SURVEY BY:	CORNERSTONE CONSULTING ENGINEERING & ARCHITECTURAL, INC. 213 W. MAIN STREET, SUITE 200 LANSDALE, PA 19446 DATE SUBMITTED: 04/26/2022
2. OWNER/APPLICANT:	LANCASTER AVE REAL ESTATE DEVELOPMENT, LLC 1632 N 29TH STREET PHILADELPHIA, PA 19121 PH: 215-399-0703 CONTACT: AARON LEWIS E-MAIL: AARON@FULLCOURTDEVELOPMENT.COM
3. PROJECT LOCATION INFORMATION:	4324 LANCASTER AVENUE - OFA #88-506838* 4326 LANCASTER AVENUE - OFA #87-151075 4328-44 LANCASTER AVENUE - OFA #88-28970575* 841 N. PARISH STREET - OFA #06-224400* 4329 PARISH STREET - OFA #88-506866* *PROPOSED LOT CONSOLIDATION TOTAL LOT AREA = 17,456 SF CITY OF PHILADELPHIA, COMMONWEALTH OF PENNSYLVANIA, 19104
4. ZONING INFORMATION:	ZONING DISTRICT: CMX-2, NEIGHBORHOOD COMMERCIAL MIXED-USE-2 EXISTING USE: RESIDENTIAL, COMMERCIAL, AND VACANT LOTS PROPOSED USE: COMMERCIAL AND MULTI-FAMILY RESIDENTIAL (49 UNITS TOTAL)

[illegible]

6. PARKING REQUIREMENTS:
REQUIRED: THERE ARE 0 SPACES REQUIRED WITHIN THE CMX-2 ZONING DISTRICT FOR MULTIFAMILY LIVING, OFFICE, COMMERCIAL (EXCEPT ASSEMBLY AND ENTERTAINMENT, WHICH IS NOT PROPOSED), AND RETAIL.

PROPOSED: THERE ARE 0 SPACES PROPOSED.
7. BICYCLE PARKING REQUIREMENTS:
REQUIRED: 1 PER EVERY 3 UNITS FOR MULTI-FAMILY
49 UNITS PROPOSED / 3 UNITS = 16 BICYCLE SPACES REQUIRED
PROPOSED: 16 BICYCLE SPACES
8. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
9. THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION OR COLOR SEAL ARE NOT VALID.
10. THIS PLAN IS TO BE USED FOR GRAPHICAL REPRESENTATION OF THE PHYSICAL FEATURES OF THE PROPERTY AND NOT TO BE USED FOR CONSTRUCTION. THE BUILDING FOOTPRINT IS CONCEALED ONLY AND ESTABLISHES A BUILDING ENVELOPE IN WHICH THE FINAL BUILDING FOOTPRINT WILL BE GENERALLY LOCATED. THE FINAL BUILDING FOOTPRINT SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT ISSUANCE AND SHALL BE GENERALLY AS CONFIGURED ON THE PLAN WITH AN OVERALL SQUARE FOOTAGE NOT TO EXCEED THE TOTAL SHOWN ON THE APPROVED PLAN.
11. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS SUPPLIED THROUGH THE PA ONE CALL SYSTEM WHICH WERE AVAILABLE AT THE TIME OF THE SURVEY. BEFORE EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

LANDSCAPE ZONING CODE COMPLIANCE CHART			
1. SECTION 14-705(2) - STREET TREES	REQUIRED	PROVIDED	
1 TREE / 35' LINEAL FEET OF FRONTAGE			
148' STREET: $148' / 35' = 5.37$	5	2*	
PARKISS STREET: $115' / 35' = 3.29$	3	3	
LANCASTER AVENUE: $204' / 35' = 5.83$	6	0*	
* STREETS TREES CANNOT BE PLANTED WITHIN THE SIDEWALK OF LANCASTER AVENUE AND WITHIN PART OF SIDEWALK OF 44TH STREET DUE TO UTILITY LINES LOCATED WITHIN THE SIDEWALKS. ** STREET TREES SHALL BE ON THE APPROVED STREET TREE LIST PUBLISHED BY PARKS & RECREATION DEPT.			



In accordance with the terms and provisions of Section 14-701 (1) (d) and 14-803 (1) (c) the Philadelphia Code pertaining to Commission selection of

REAR LOT LINE, PRIMARY FRONTAGE, AND REAR STREET

REAR LOT LINE OPPOSITE:	NA
PRIMARY FRONTAGE:	Lancaster Avenue
REAR STREET:	NA

Applied Electronically By: BRIAN WENRICH

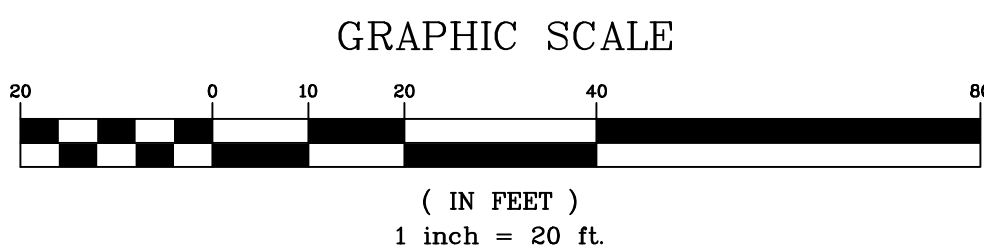
August 1, 2022

Ledger No.: #E-3637

Philadelphia City Planning Commission

LEGEND & ABBREVIATIONS

-----	PROPERTY BOUNDARY
-----	ADJACENT ROAD
-----	BUILDING SETBACK LINE
-----	EXISTING FENCE
-----	OH
-----	EXISTING OVERHEAD WIRE
	EXISTING SIGN
	EXISTING UTILITY POLE (UP)
(S)	SEWER MANHOLE
(C)	COMMUNICATION MANHOLE
(E)	ELECTRIC MANHOLE
(W)	WATER MANHOLE
	STORM INLET
	UTILITY VALVE
	PROP. BUILDING AREA
	PROP. 4.5" GREEN ROOF AREA
	PROP. PERVIOUS PAVER AREA
	PROP. CONCRETE AREA
	PROP. GRASS/LANDSCAPE AREA



Cornerstone
Consulting Engineers & Architectural, Inc.

213 West Main Street, Lansdale, PA 19446
Phone: 215-362-6600 Fax: 215-362-8400
WWW.CORNERSTONE.NET/CAI

Philadelphia Region
215-362-2600

Lehigh Valley Region
610-820-8200

Pocono Region
570-839-1770

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**PENNSYLVANIA
ONE CALL SYSTEM, INC.**
925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1078



**BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA! CALL 1-800-242-1777**

**NON-MEMBERS MUST BE
CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE
DRILL, BLAST OR DEMOLISH**

J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 055536
MARYLAND LICENSE No. 29313 NEW
JERSEY LICENSE No. GE45204
VIRGINIA LICENSE No. 0402 045725

PROJECT LOCATION

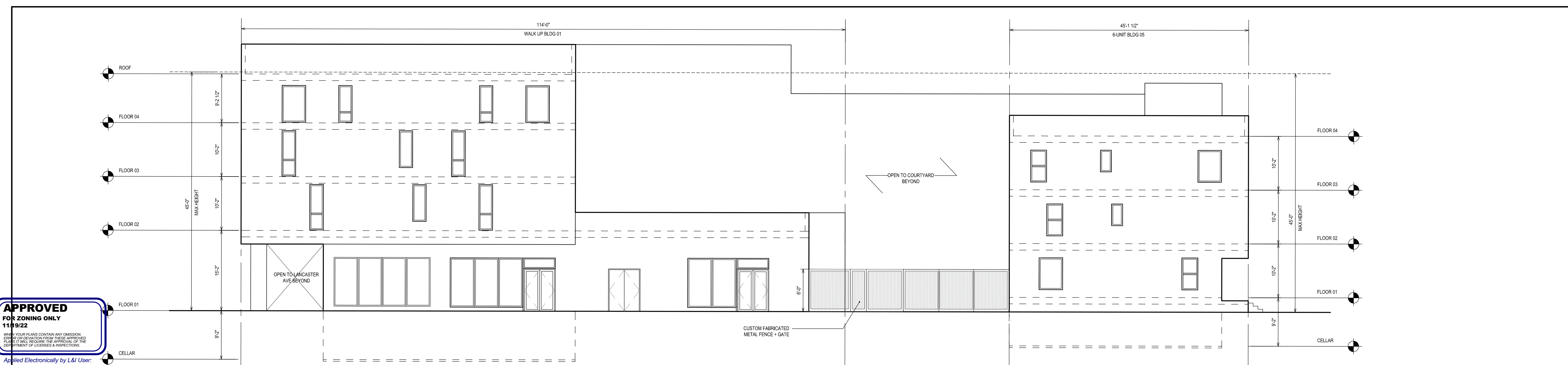
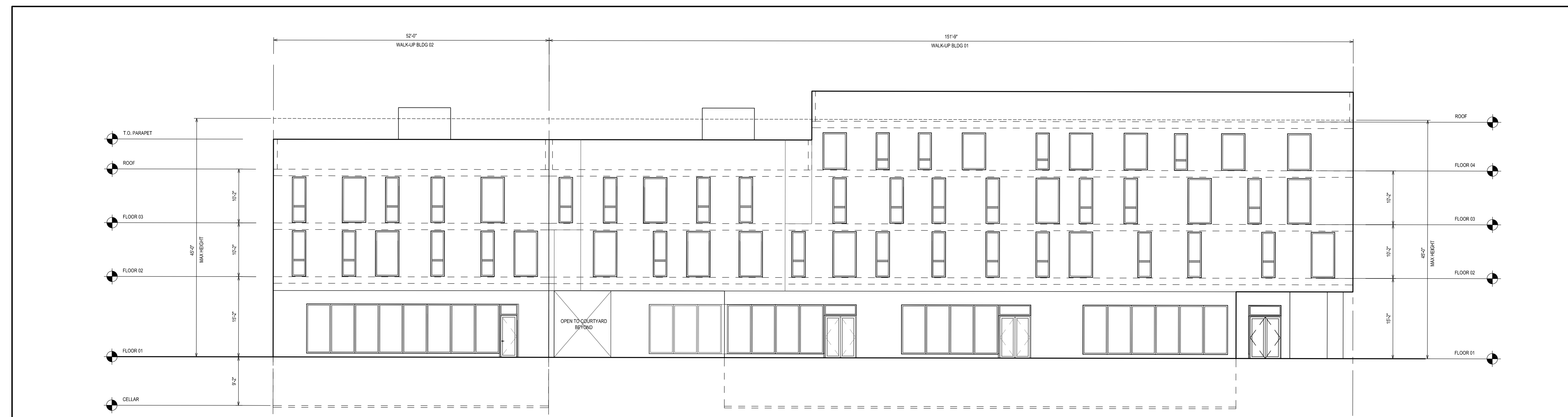
ZONING PLAN SET FOR
4324, 4326 & 4328-44
LANCASTER AVENUE,
841 NORTH 44TH STREET
& 4329 PARRISH STREET
CITY OF PHILADELPHIA,
PENNSYLVANIA, 19104

PRESENTED BY:
LANCASTER AVE REAL ESTATE
DEVELOPMENT, LLC

TITLE

SITE PLAN

PROJ. #	22-0392	DATE	7/15/2022
CAD ID.	22-0392	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA
SHEET 1 OF 2			
REVISION 0			



APPROVED
FOR ZONING ONLY
11/19/22

WHEN YOUR PLANS CONTAIN ANY OMISSION,
ERROR OR DEVIATION FROM THESE APPROVED
PLANS IT WILL REQUIRE THE APPROVAL OF THE
DEPARTMENT OF LICENSES & INSPECTIONS.

Applied Electronically by L&I User:

ELEVATIONS PROVIDED BY ISA, INTERFACE STUDIO ARCHITECTS LLC

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.

213 West Main Street, Lansdale, PA 19446
Phone: 215-362-2600, Fax: 215-362-8400
WWW.CORNERSTONE1.COM

Pocono Region
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610-820-8200

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15122-1679



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 MARYLAND LICENSE No. 29313 NEW
 JERSEY LICENSE No. GE45204
 VIRGINIA LICENSE No. M02045275

PROJECT LOCATION

ZONING PLAN SET FOR

4324, 4326 & 4328-44
LANCASTER AVENUE,
841 NORTH 44TH STREET
& 4329 PARRISH STREET
CITY OF PHILADELPHIA,
PENNSYLVANIA, 19104

PRESENTED BY:
LANCASTER AVE REAL ESTATE
DEVELOPMENT, LLC

MEMBERSHIP	
TITLE	

ELEVATIONS

PROJ. #	22-0392	DATE	7/15/2022
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SCALE	AS NOTED	CHK BY	JBA

SHEET 2 OF 2

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