

Zoning Permit

Permit Number ZP-2022-010294

LOCATION OF WORK 6808 RIDGE AVE T-A-266287, Philadelphia, PA 19128-2445	PERMIT FEE \$887.00	DATE ISSUED 9/12/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CA1	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR ERECTION OF A SEMI-DETACHED STRUCTURE WITH CELLAR WITH ROOF ACCESS STRUCTURES AND GREEN ROOF BONUS APPLIED. (ZONING CODE 14-702 (16)) THE APPLICANT MUST EXECUTE AND RECORD A DEED RESTRICTION IN FAVOR OF THE CITY, APPROVED AS TO FORM BY THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND WHICH ALLOWS THE

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS). SIZE AND LOCATION AS SHOWN IN THE APPLICATION.



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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

6808 RIDGE AVE T-A-266287, Philadelphia, PA 19128-2445

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR VACANT COMMERCIAL SPACE ON FIRST FLOOR (MUST OCCUPY 100% OF THE GROUND FLOOR STREET FRONTAGE (PRIMARY FRONTAGE) WITH A MINIMUM DEPTH OF 30 FT) (USES ONLY PERMITTED IN CMX-2.5 THAT NOT TO REQUIRE OFF STREET PARKING AS PER TABLE 14-802-2, USE REGISTRATION PERMIT IS REQUIRED PRIOR TO OCCUPANCY) AND FOR MULTI-FAMILY HOUSEHOLD LIVING TOTAL EIGHTY (80) DWELLING UNITS (INCLUDING GREEN ROOF BONUS UNITS) AND ACCESSORY OFF STREET SURFACE PARKING EIGHTEEN (18) SPACES INCLUDING ONE (1) ACCESSIBLE SPACES (INCLUDING VAN ACCESSIBLE SPACE), TWO (2) AUTO SHARE PARKING SPACES AND TWENTY-SEVEN (27) ACCESSORY BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE. *(FDO Fourth District Overlay District - Fourth District Area/NCA Neighborhood Commercial Area Overlay District - Ridge Avenue)*

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

Ridge Parker
Apartments

6810 Ridge Avenue,
Philadelphia, PA



SOUTH SIDE ELEVATION



FRONT ELEVATION

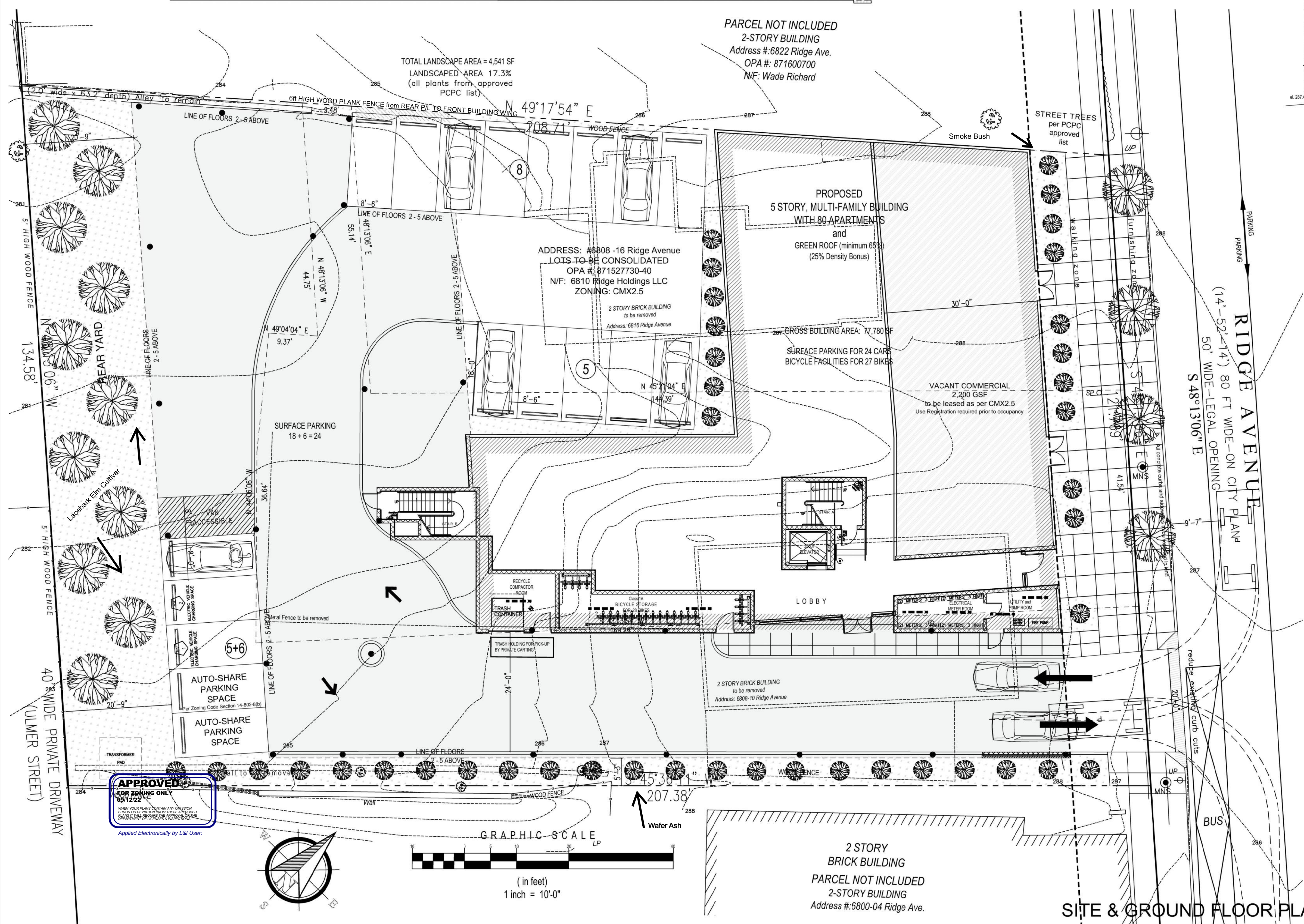
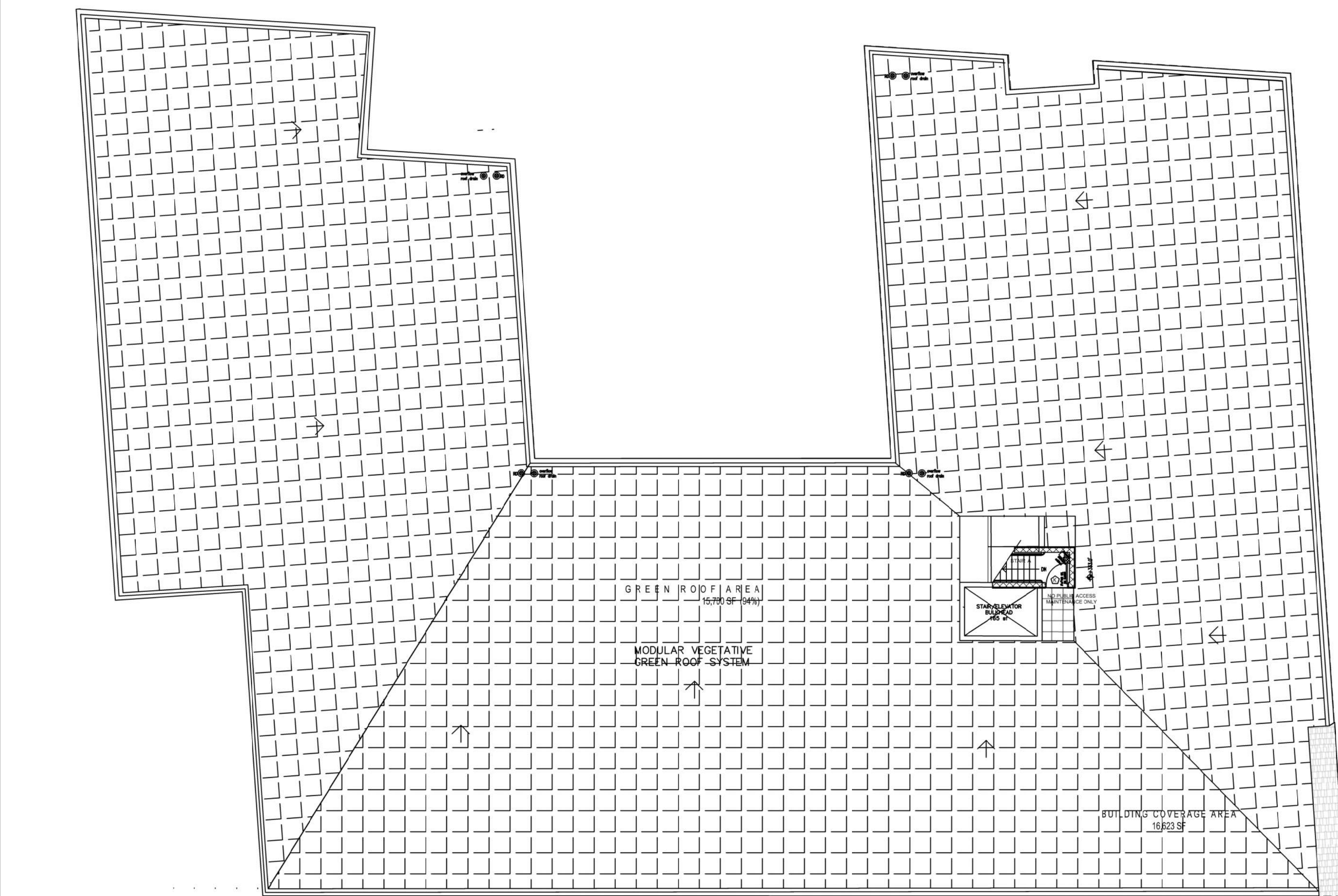
In accordance with the terms and provisions of Sections
14-603 (1b) (d), 14-803 (5), and 14-705 (1) (d) of the Philadelphia Code pertaining to
LANDSCAPING, SCREENING, AND BUFFERING

PARKING LOTS & WIRELESS TOWERS BUFFERING BETWEEN LAND USES

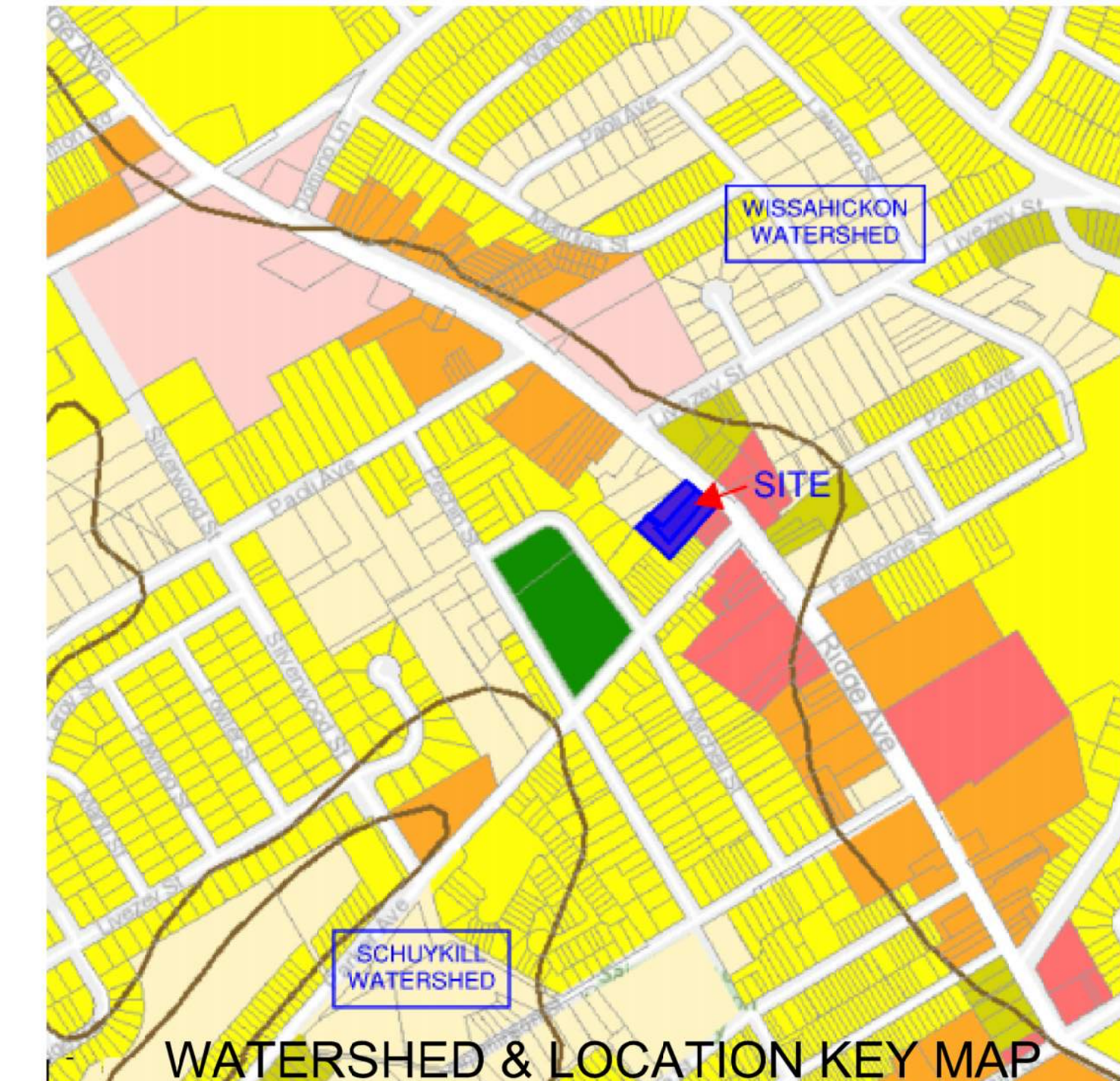
☒ APPROVED ☐ APPROVED
☐ DISAPPROVED ☐ DISAPPROVED
☐ WAIVED ☐ WAIVED

Applied Electronically By: KEITH DAVIS
July 15, 2022 Ledger No.: _____
Philadelphia City Planning Commission

ROOF PLAN



SITE & GROUND FLOOR PLAN



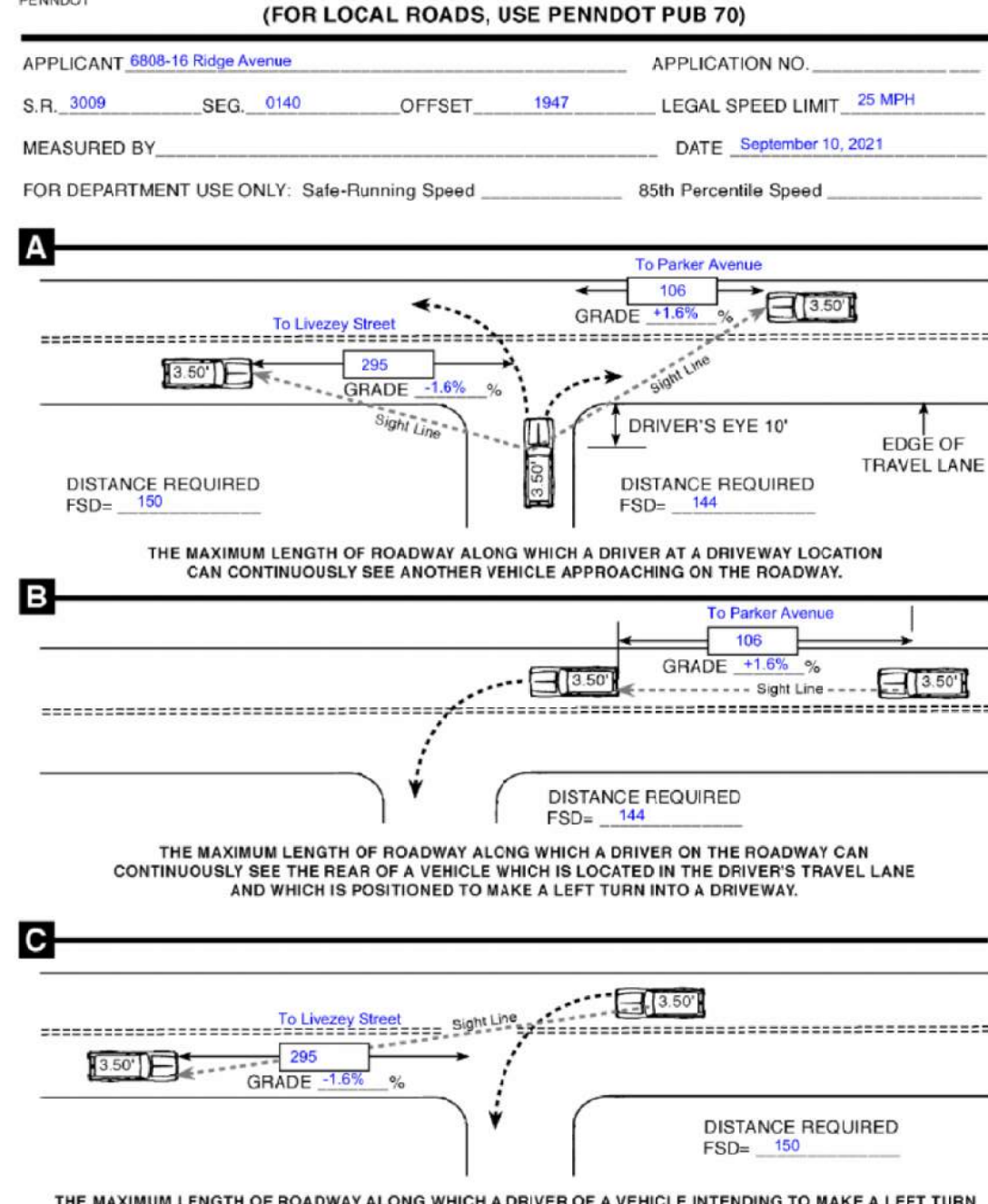
WATERSHED & LOCATION KEY MAP

ZONING SUMMARY		
ZONING PERMIT ISSUED XX/2021 FOR COMMERCIAL & 80 APTS		
CMX-2.5 NEIGHBORHOOD COMMERCIAL / MIXED USE		
Public Sewer		
ZONE REGULATIONS	REQUIRED	PROPOSED
Maximum Occupied Area (% of lot)	Intermediate: 75% Corner: 80%	Intermediate: 19,729 sf maximum 16,623 sf = 63.2%
Minimum Front Yard Depth (ft)	N/A	15' Sidewalk right-of-way
Minimum Side Yard Width (ft) each side	5 ft if used	5'-3" where used
Minimum Rear Yard Depth (ft)	The greater of 9 ft or 10% of lot depth = 20.87 ft	Lot depth = 208.7' Rear Yard = 20-9' ft
Maximum Height (ft)	45 ft	45 ft.
Maximum Floor Area (%)	N/A	NA
Maximum Dwelling Units	Height @45ft Lot Area = 26,306 sf 360sf= 73 DUs Green Roof Density Bonus: 1.25=91 DUs	80 D.U.
Required Non-Residential Use	Along 100% of ground floor frontage & within the first 30 ft of building depth	Commercial Use along 100% of ground floor frontage.
Parking	3 per 10 DUs (3x 8.0) = 24	24 including 2 auto-share spaces (18+6) Per Zoning Code Section 14-802-8(b)
Bicycles	1 per 3 DUs @ = 26.6	27 bikes

FORMULA SIGHT DISTANCE TABLE

Speed (V) (Miles Per Hour)	Average Grade (G) (Percent)										
	Use plus grades when approaching vehicle is travelling upgrade.										
	0.0	+1.0	+2.0	+3.0	+4.0	+5.0	+6.0	+7.0	+8.0	+9.0	+10.0
25	147	145	144	143	142	140	139	138	137	136	135
30	196	194	191	189	187	185	183	182	180	178	177
35	249	245	242	239	236	233	231	228	226	224	221
40	314	309	304	299	295	291	287	284	280	277	274
45	383	376	370	364	358	353	348	343	339	334	330
50	462	453	444	436	429	422	415	409	403	397	392
55	538	527	517	508	499	490	482	475	468	461	454
Use negative grades when approaching vehicle is travelling downgrade.											
	0.0	-1.0	-2.0	-3.0	-4.0	-5.0	-6.0	-7.0	-8.0	-9.0	-10.0
25	147	148	150	151	153	155	157	159	161	164	166
30	196	199	201	204	207	210	214	217	221	226	230
35	249	252	256	260	265	269	275	280	286	292	299
40	314	319	325	331	338	345	352	360	369	379	389
45	383	390	398	406	415	425	435	447	459	472	487
50	462	471	481	492	504	517	531	546	563	581	600
55	538	550	562	576	590	606	622	641	661	682	706

DRIVEWAY SIGHT DISTANCE MEASUREMENTS
(FOR LOCAL ROADS, USE PENNDOT PUB 79)



14 JULY 2022
17 JUNE 2022
6 JUNE 2022
24 MAY 2022
28 APRIL 2022
8 DEC 2021
Revised 4 NOV 2021

ZONING
PLAN

Scale: 1" = 10'
Date: 12 OCT 2021

Z1