

Zoning Permit

Permit Number ZP-2022-009467

LOCATION OF WORK 2112 N FRONT ST T-D-188029, Philadelphia, PA 19122-1705	PERMIT FEE \$672.00	DATE ISSUED 6/22/2022
	ZBA CALENDAR	ZBA DECISION DATE 6/22/2022
	ZONING DISTRICTS CMX2	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF A DETACHED STRUCTURE (MAXIMUM 62' HIGH); WITH GREEN ROOF; ROOF DECK WITH ELEVATOR OVERRUN AND WITH STAIR TOWER MAINTENANCE ACCESS ONLY.
SIZE AND LOCATION AS SHOWN IN THE APPLICATION.

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
CALENDAR NUMBER, MI-2022-001772



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2112 N FRONT ST T-D-188029, Philadelphia, PA 19122-1705

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A VACANT COMMERCIAL SPACE AT FIRST FLOOR FRONT (WITHIN THE FIRST 30' OF BUILDING DEPTH, FROM THE PRIMARY FRONTAGE) AND MULTI-FAMILY HOUSEHOLD LIVING (31 DWELLING UNITS) WITH ELEVEN(11) BICYCLE SPACES IN AN ACCESSIBLE ROUTE.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



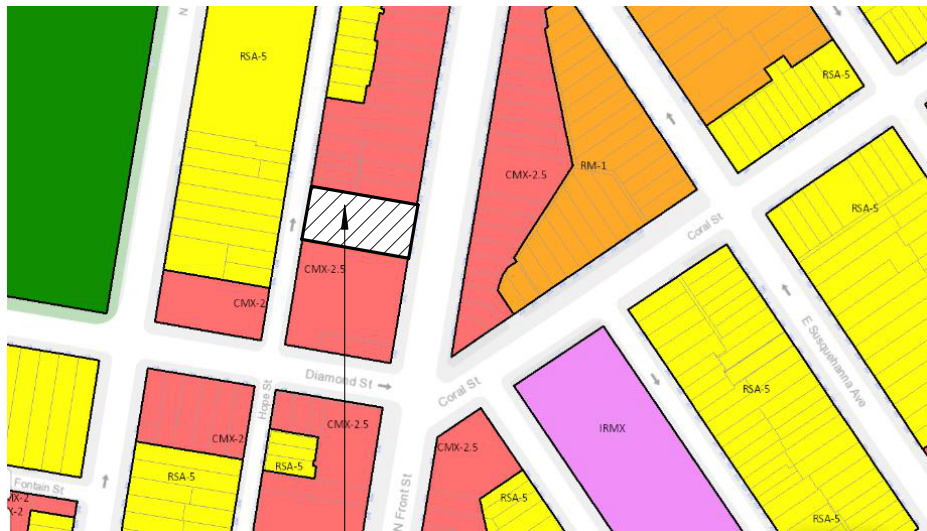
Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



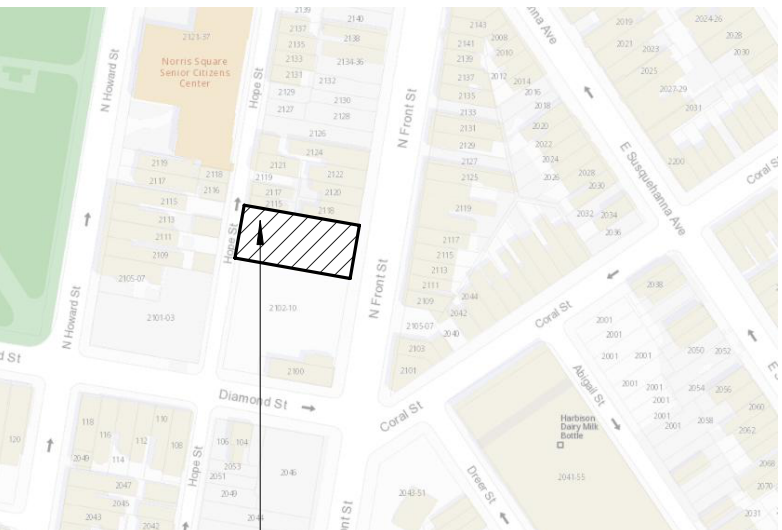
SITE PHOTO



SITE PHOTO



PROJECT LOCATION



PROJECT LOCATION



PERSPECTIVE
(SHOWN FOR REFERENCE ONLY)

Per 14-701(1)(d)(1), the City Planning Commission has determined that:

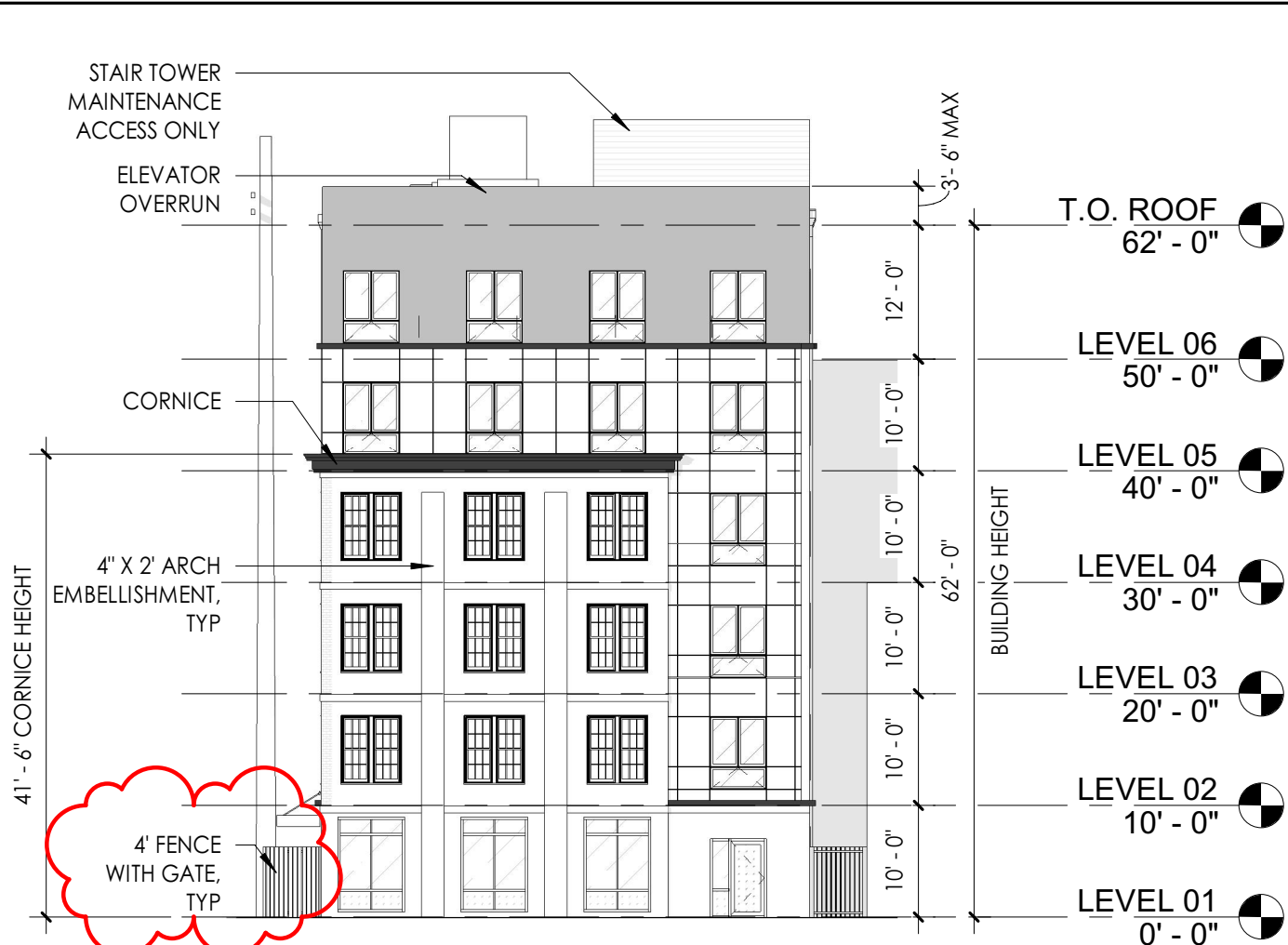
N Front Street is the primary street;
N Front Street is the rear;
Hope Street is the rear street

APPROVED
FOR ZONING ONLY
08/11/22

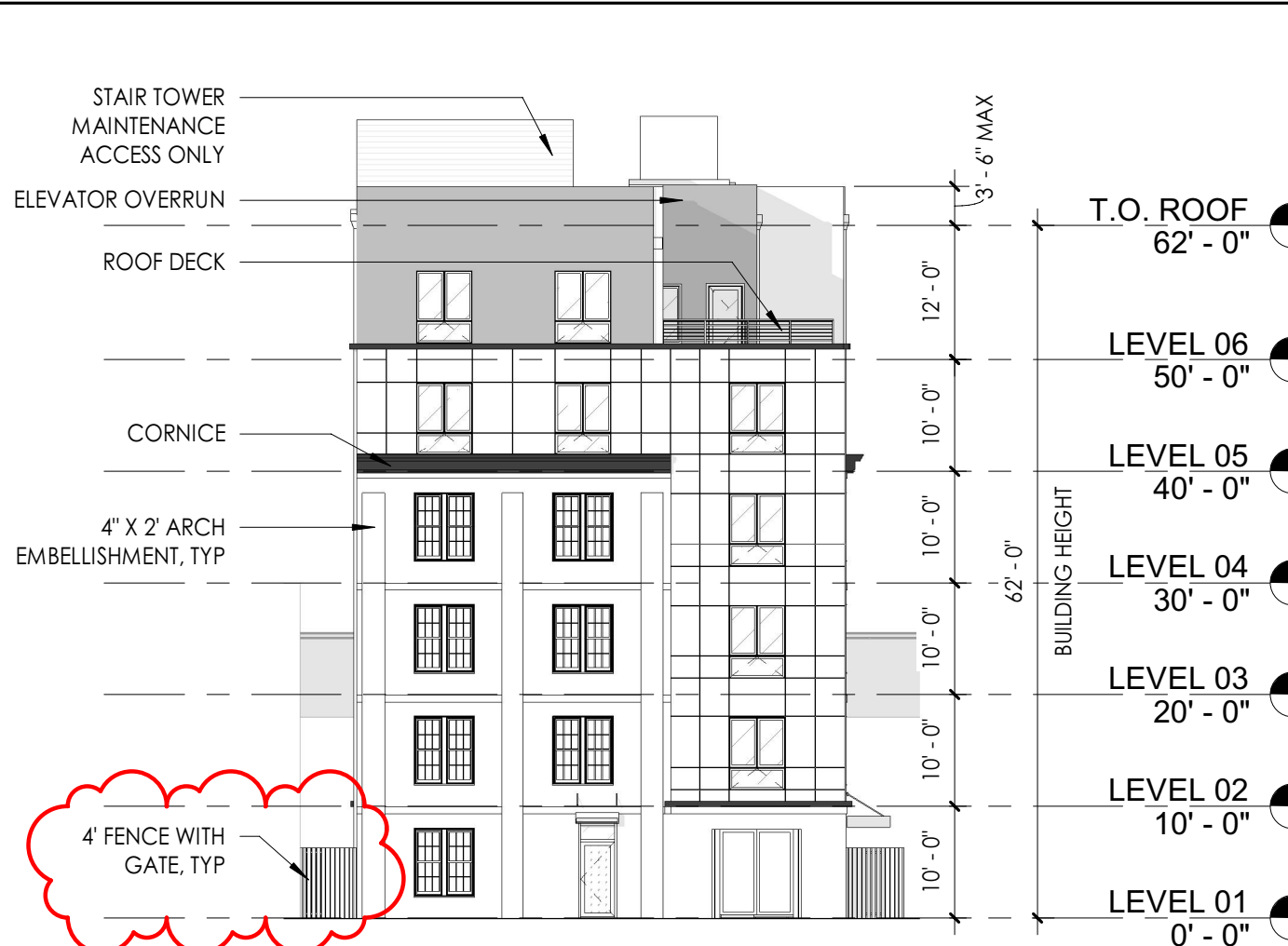
Applied Electronically by: DAVID FECTEAU

January 6, 2022

PHILADELPHIA CITY PLANNING COMMISSION



7 FRONT ST ELEVATION
Z001 | 1/16" = 1'-0"



6 HOPE ST ELEVATION
Z001 | 1/16" = 1'-0"



5 LEFT ELEVATION
Z001 | 1/16" = 1'-0"



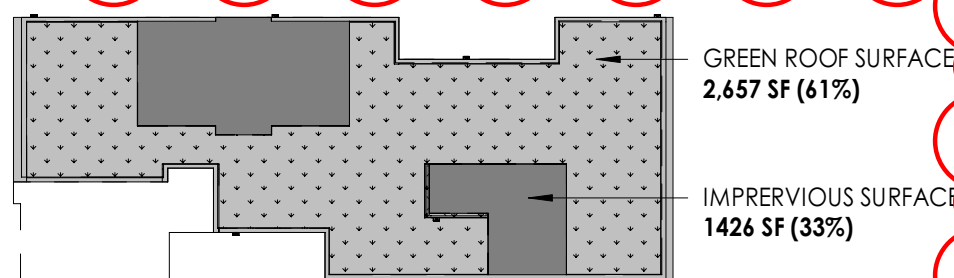
4 RIGHT ELEVATION
Z001 | 1/16" = 1'-0"

ZONING INFORMATION CMX-2

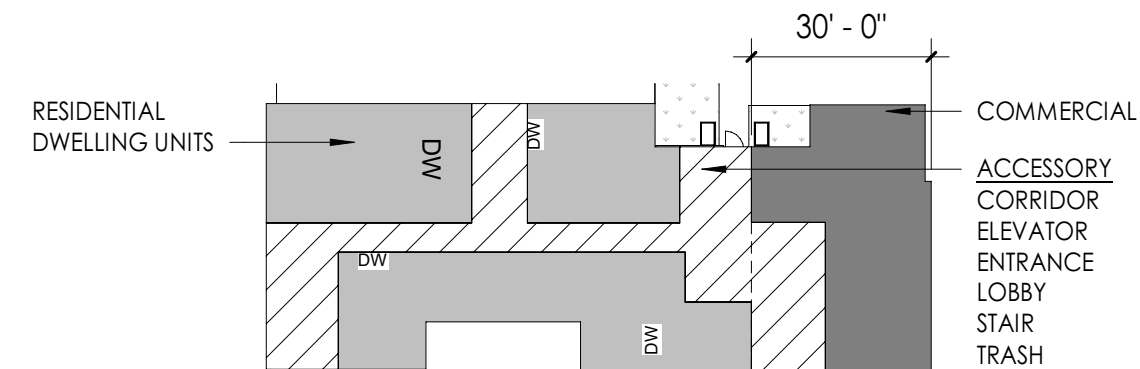
ZONING REGULATIONS	PROPOSED CONDITIONS	VARIANCE REQUIRED
MAX OCCUPIED AREA: INTERMEDIATE: 73%, CORNER: 80%	OPEN AREA: 1,502 SF (25%)	NO
MINIMUM FRONT YARD DEPTH: NA	FRONT YARD DEPTH: 0' - 0"	NO
MINIMUM SIDE YARD WIDTH: 5'-0" IF USED	SIDE YARD WIDTH: 5' - 1"	NO
MINIMUM REAR YARD DEPTH: THE GREATER OF 9'-0" OR 10% OF LOT DEPTH	REAR YARD DEPTH: N/A	NO
MAXIMUM HEIGHT: 38'-0" (+7 GREEN ROOF BONUS)	HEIGHT: 62'-0"	YES
MINIMUM SET BACK OF STORIES ABOVE THE SECOND STORY: 0'-0"	SET BACK: 0' - 0"	NO
MINIMUM ROOF DECK SET BACK FROM FRONT BUILDING LINE: 0'-0"	SET BACK: 5' - 0"	NO
PARKING: 0 REQUIRED	0 PROPOSED	NO
BIKE PARKING: 1 PER 3 DWELLING UNITS	11 PROPOSED	NO
STREET TREES: 0 REQUIRED	0 PROPOSED	NO
DENSITY: 1 UNIT PER 480SF LOT AREA (12 UNITS)	31 DWELLING UNITS	YES

PERMITTED USE TYPE -
HOUSEHOLD LIVING; PASSIVE RECREATION; COMMUNITY CENTER; FAMILY DAY CARE; GROUP DAY CARE; DAY CARE CENTER; EDUCATIONAL FACILITIES; FRATERNAL ORGANIZATION; HOSPITAL; LIBRARIES AND CULTURAL EXHIBITS; RELIGIOUS ASSEMBLY; SAFETY SERVICES; BUILDING OR TOWER MOUNTED ANTENNA; BUSINESS AND PROFESSIONAL OFFICE; MEDICAL; DENTAL; HEALTH SOLE PRACTITIONER; GOVERNMENT OFFICE; BUILDING SUPPLIES AND EQUIPMENT; MEDICAL MARIJUANA DISPENSARY; FOOD, BEVERAGES, AND GROCERIES; PETS AND PET SUPPLIES; SUNDRIES; PHARMACEUTICALS, AND CONVENIENCE SALES; WEARING APPAREL AND ACCESSORIES; SIT DOWN RESTAURANT; FUNERAL AND MORTUARY SERVICES; PERSONAL SERVICES; VEHICLE EQUIPMENT AND SUPPLIES SALES AND RENTAL; ARTIST STUDIOS; RESEARCH AND DEVELOPMENT; COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM

DESCRIPTION -
PROPOSED 6 STORY COMMERCIAL/RESIDENTIAL MIXED USE PROJECT CONSISTING OF 1 COMMERCIAL TENANT SPACE AND 31 RESIDENTIAL DWELLING UNITS. PROJECT PROPOSES PARTIAL BASEMENT FOR UTILITY USE, OCCUPIABLE ROOF DECK, AND UTILIZES BOTH THE PHILADELPHIA GREEN ROOF BONUS FOR BUILDING HEIGHT.



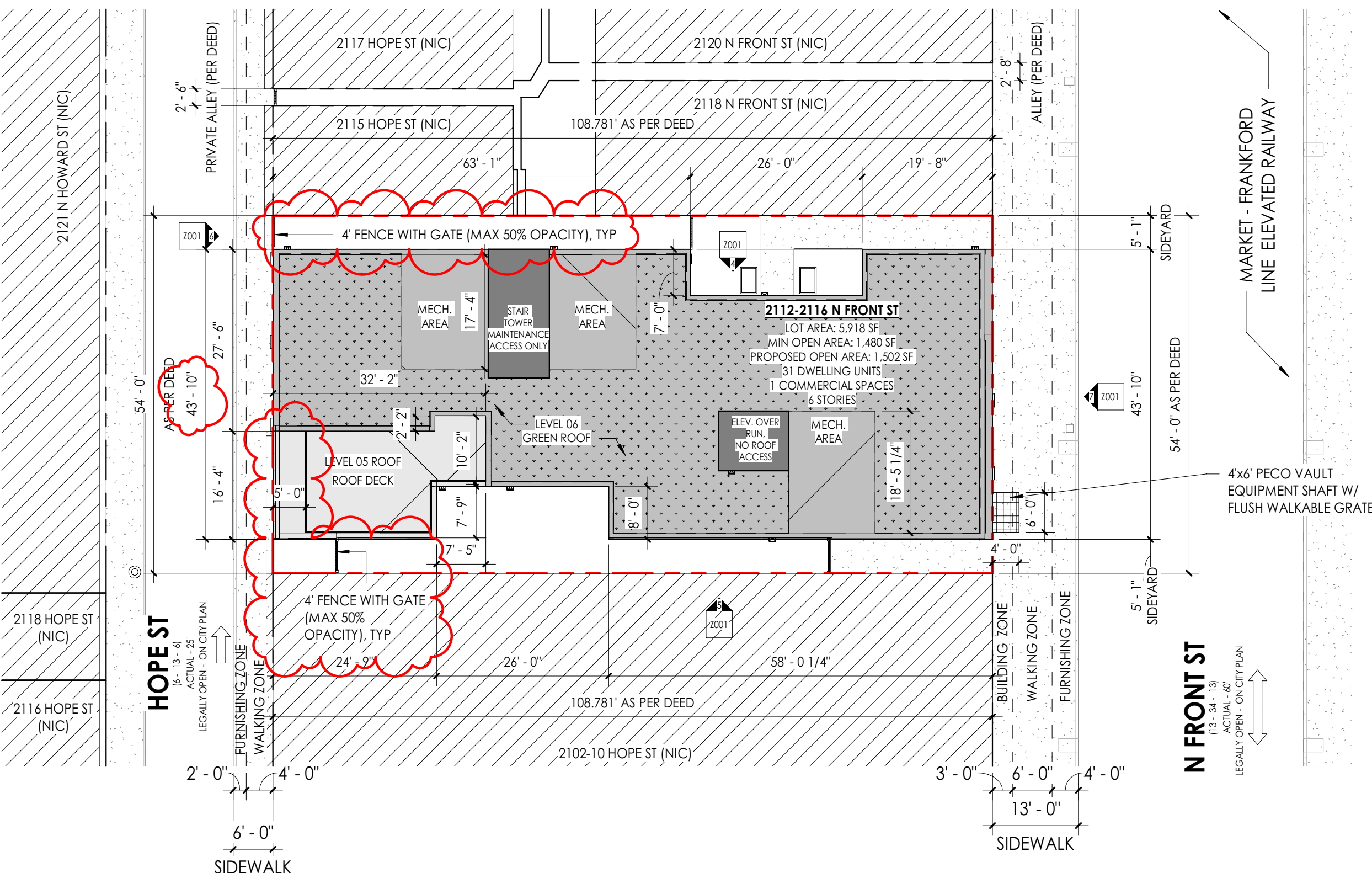
3 GREEN ROOF PLAN
Z001 | 1/32" = 1'-0"



2 LEVEL 01 FLOOR PLAN
Z001 | 1/32" = 1'-0"

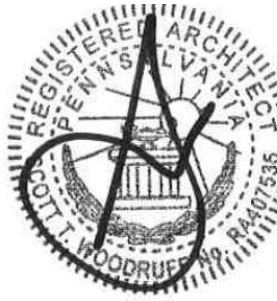
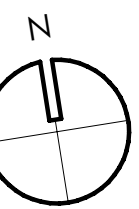
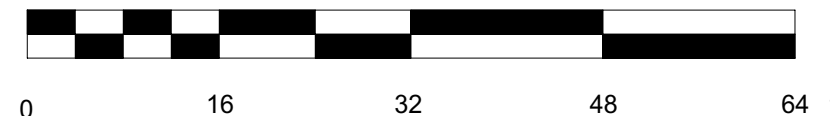
BONUS INFORMATION:

GREEN ROOF HEIGHT BONUS CALCULATION
HEIGHT: 38' - 0" BY RIGHT
GREEN ROOF BONUS: +7' - 0"
TOTAL: 45' - 0" PERMITTED (62'-0" PROPOSED)
GREEN ROOF: (MINIMUM 60% ROOF SURFACE)
TOTAL ROOF SURFACE: 4,306 SF
MAX IMPERVIOUS: 1,722 SF
PROPOSED IMPERVIOUS: 1,426 SF
GREEN SURFACE: 2,657 SF (61%)



1 ZONING SITE PLAN
Z001 | 1/16" = 1'-0"

SCALE 1/16" = 1'-0"



ZONING REVISION	JT	CC	2021.12.21
ISSUE FOR ZONING	JT	CC	2021.10.11
SUBMISSIONS & REVISIONS	BY	APPD	YYYY.MM.DD