

Zoning Permit

Permit Number ZP-2022-003994

LOCATION OF WORK 1120 FRANKFORD AVE Parcel H, Philadelphia, PA 19125 Consolidated Parcel H	PERMIT FEE \$1,026.00	DATE ISSUED 4/12/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2.5	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED STRUCTURE TO INCLUDE ROOF DECK, ROOFTOP ACCESS STRUCTURES, AND GREEN ROOF INSTALLATION. THE APPLICANT MUST EXECUTE AND RECORD A DEED RESTRICTION PRIOR TO ISSUE CERTIFICATE OF OCCUPANCY IN FAVOR OF THE CITY, APPROVED AS TO FORM BY THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-003994

WHICH ALLOWS THE CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS). SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLAN.



APPROVED USE(S)

Residential - Household Living - Multi-Family

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1120 FRANKFORD AVE Parcel H, Philadelphia, PA 19125

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

AMENDMENT: 107 HOUSEHOLD LIVING UNITS, TO INCLUDE VACANT GRD FLR AND SECOND FLR COMMERCIAL SPACES AND THIRTY-EIGHT (38) ACCESSORY BICYCLE PARKING SPACES. SEPARATE USE PERMIT REQUIRED FOR VACANT COMMERCIAL SPACES.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



PROJECT TITLE
THE FRANKFORD
1120 FRANKFORD AVE
PHILADELPHIA, PA 19125

CLIENT
US CONSTRUCTION INC.
400 MARKET STREET, SUITE 415
PHILADELPHIA, PA 19106

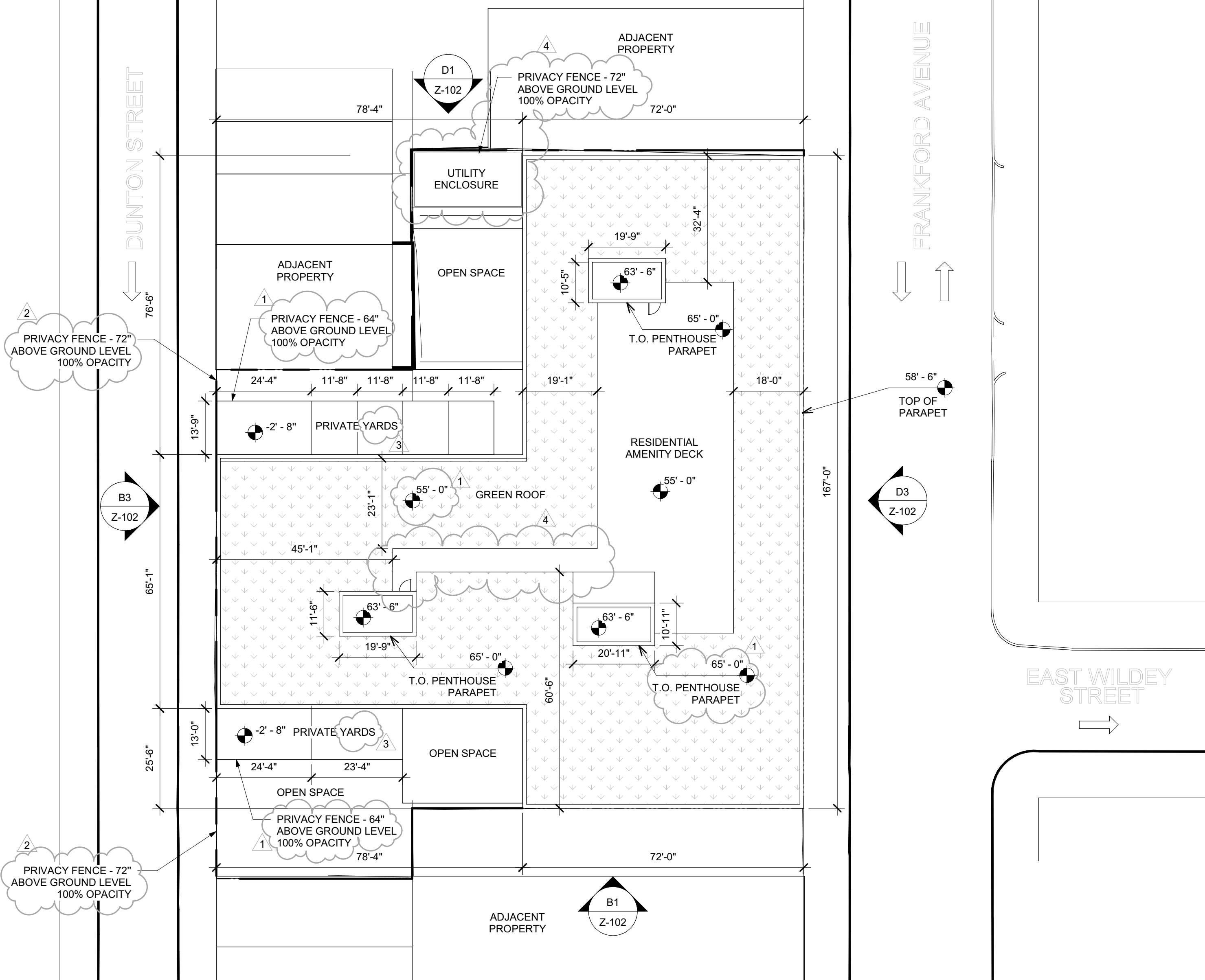
ARCHITECT & PRIME PROFESSIONAL
BLT ARCHITECTS NV LLC
1216 ARCH ST, SUITE 600
PHILADELPHIA PA 19107

CIVIL and LANDSCAPE
RUGGIERO PLANT LAND
DESIGN
5990 RIDGE AVENUE
PHILADELPHIA, PA 19128

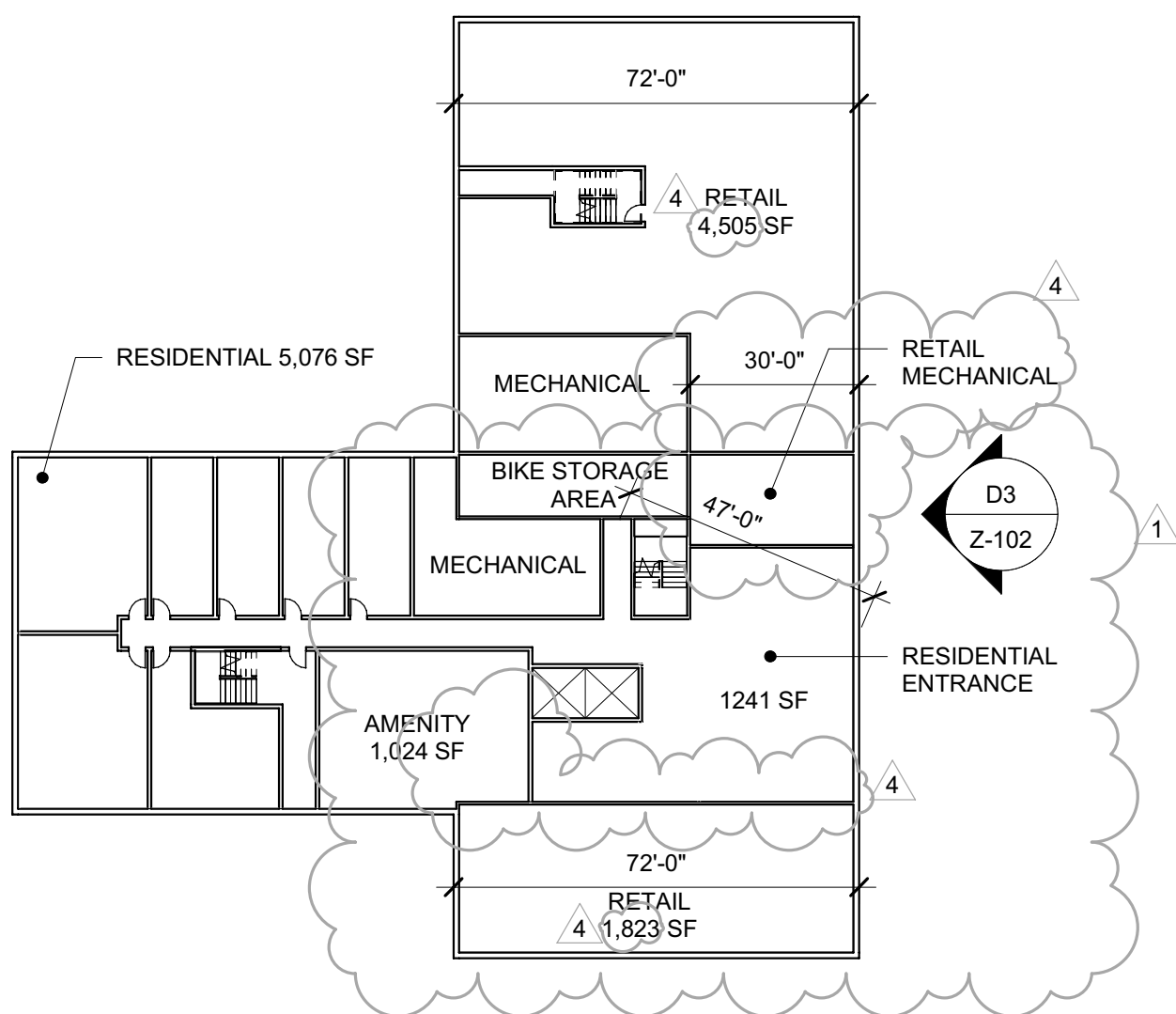
1/4" = 1' 0"

DRAWING LIST - ZONING SET		
Zoning		
Z-101	SITE & FLOOR PLANS	4
Z-102	ELEVATIONS	4
Z-103	SECTIONS	4

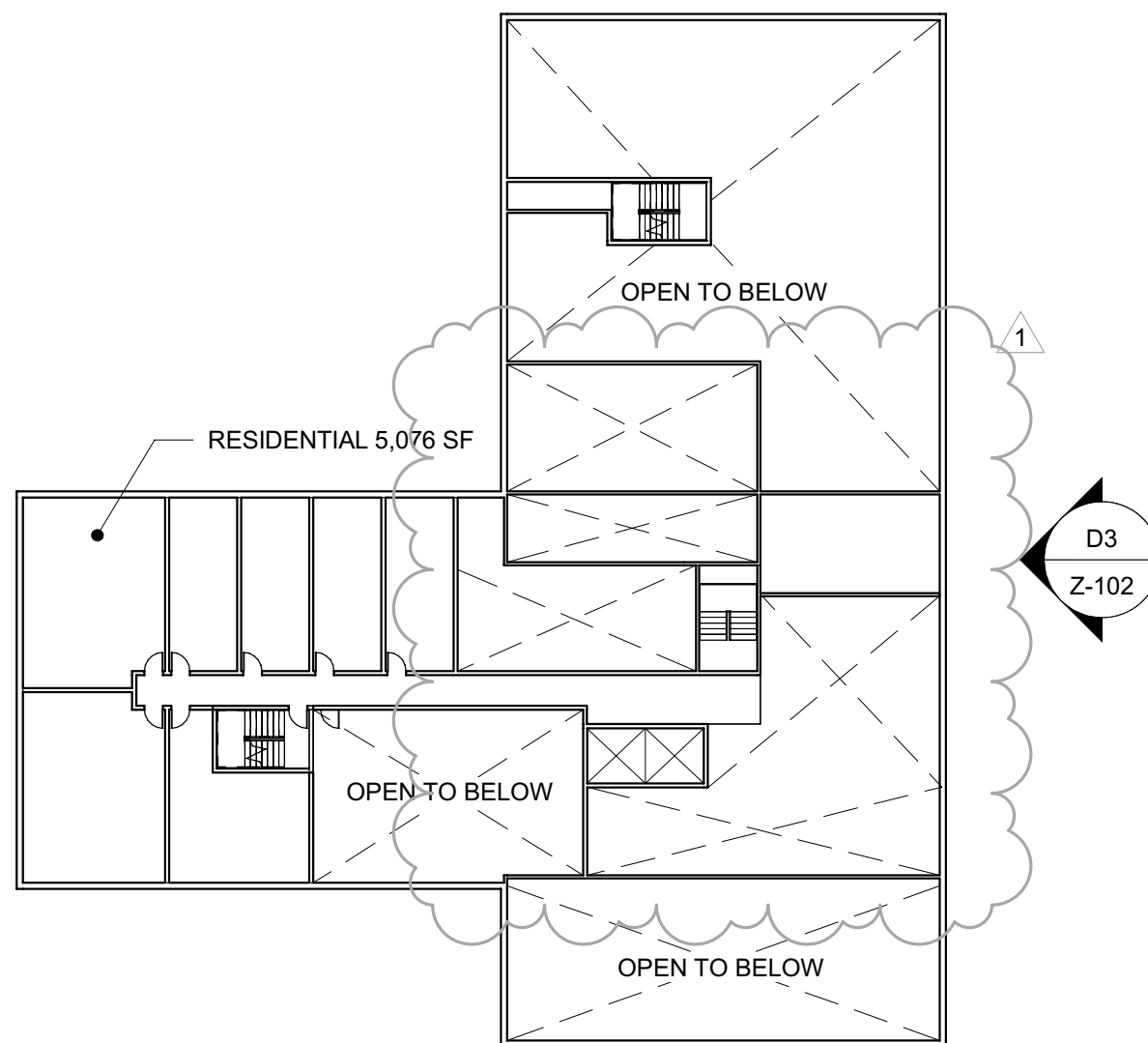
- PLANS COMPLY WITH FORM AND DESIGN REQUIREMENTS OF SECTION 14-703
- LIGHTING ON SITE SHALL COMPLY WITH REQUIREMENTS OF SECTION 14-707
- EXISTING CONDITION MEASUREMENTS ARE APPROXIMATE, TO BE VERIFIED IN FIELD
- BUILDING DESIGNED TO FRANKFORD AVENUE AS PRIMARY FRONTAGE.



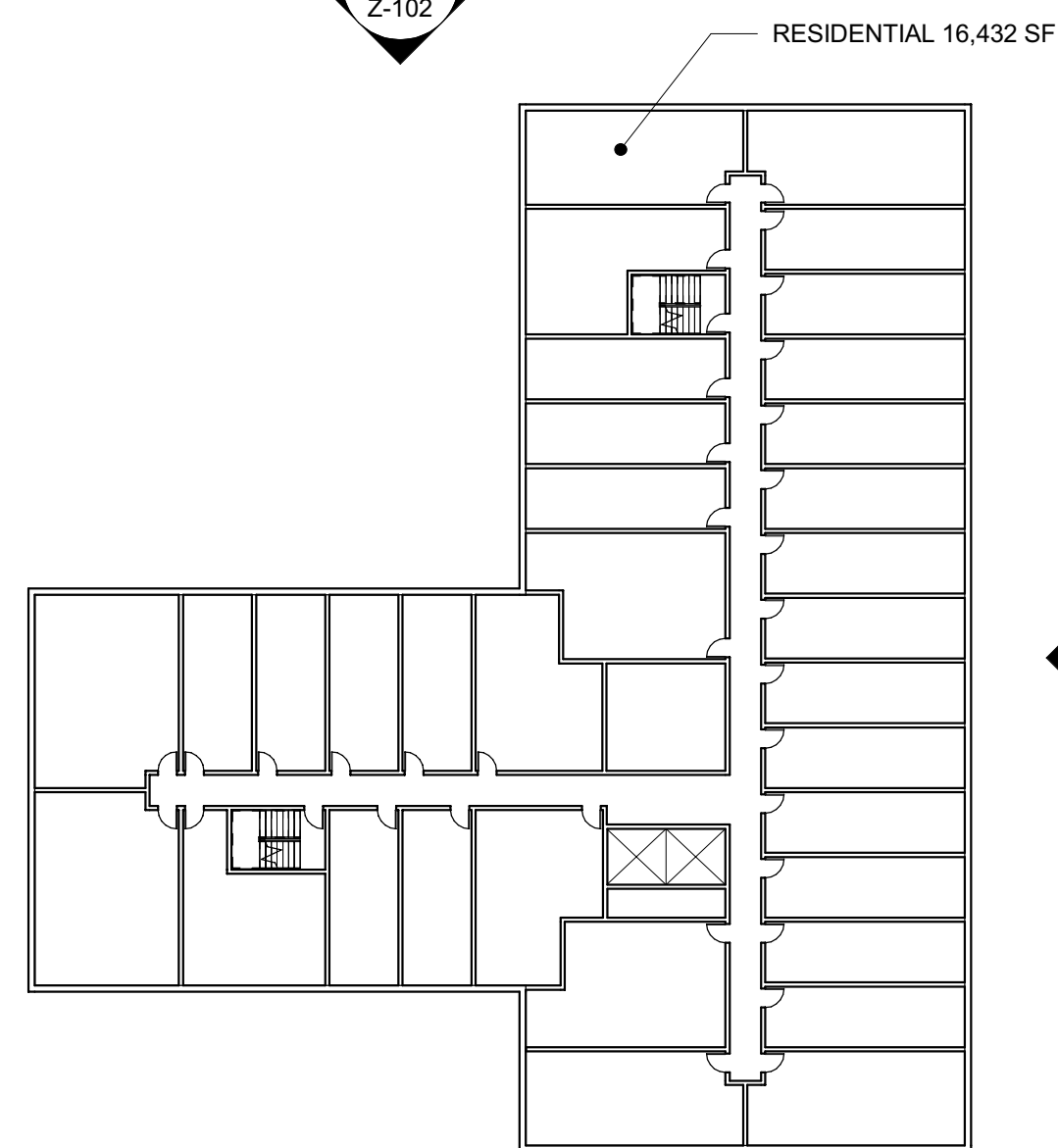
B1 SITE PLAN
Scale: 1" = 20'-0"



FLOOR PLAN - LEVEL 1
Scale: 1/32" = 1'-0"



A2 FLOOR PLAN - LEVEL 1.5
Scale: 1" = 30'-0"



A4 FLOOR PLAN - TYPICAL LEVEL
Scale: 1" = 30'-0"

Stamp Date: 3/18/2022 11:02:10 AM
Drawing Path: C:\Users\jperkins\OneDrive\Documents\2112000_The Frankford_2020_Zoning_inspap.rvt
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APPROVED
FOR ZONING ONLY
3/18/22

WHEN YOUR PLANS CONTAIN ANY ORIGINATOR'S SEAL OR SIGNATURE, YOU MUST OBTAIN THE APPROVAL OF THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS.

PROJECT NO.	FIRST ISSUE DATE	
.....	10/13/21	
FILE NO	SCALE	
1205000.RVT	As indicated	
DRAWN BY	REVIEWED	
Author	Checker	
NO.	DATE	ISSUE NAME
1	12/02/2021	Zoning Submission Revisions
2	12/16/2021	Zoning Submission Revisions
3	01/04/2022	Zoning Submission Revisions
4	03/15/2022	Zoning Submission Revisions

SHEET TITLE
SITE & FLOOR PLANS

SHEET NO

Z-101



PROJECT TITLE
THE FRANKFORD
1120 FRANKFORD AVE
PHILADELPHIA, PA 19125

CLIENT
US CONSTRUCTION INC.
400 MARKET STREET, SUITE 415
PHILADELPHIA, PA 19106

ARCHITECT & PRIME PROFESSIONAL
BLT ARCHITECTS NV LLC
1216 ARCH ST, SUITE 800
PHILADELPHIA PA 19107

CIVIL and LANDSCAPE
RUGGIERO PLANT LAND
DESIGN
5990 RIDGE AVENUE
PHILADELPHIA, PA 19128

1/4" = 1'-0"

PROJECT NO. FIRST ISSUE DATE
10/13/21

FILE NO. SCALE
1205000.RVT 1/16" = 1'-0"

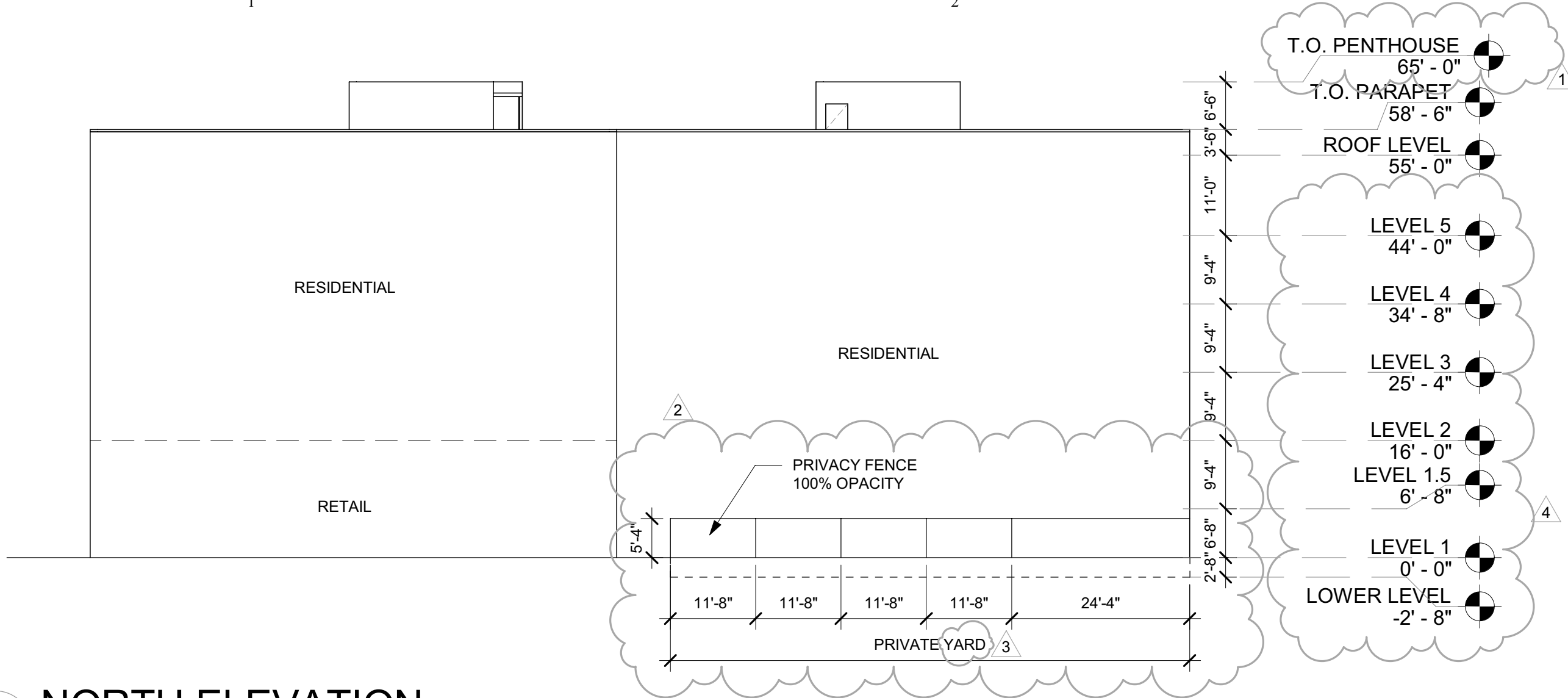
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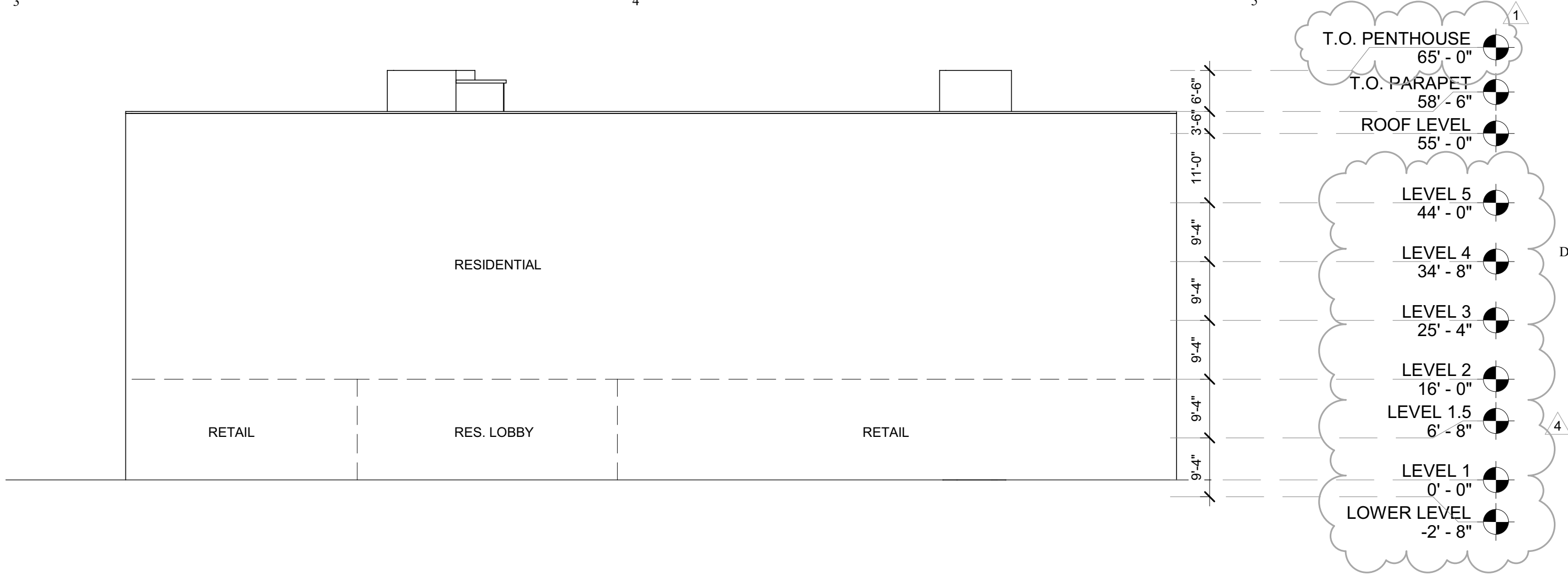
SHEET TITLE
ELEVATIONS

SHEET NO

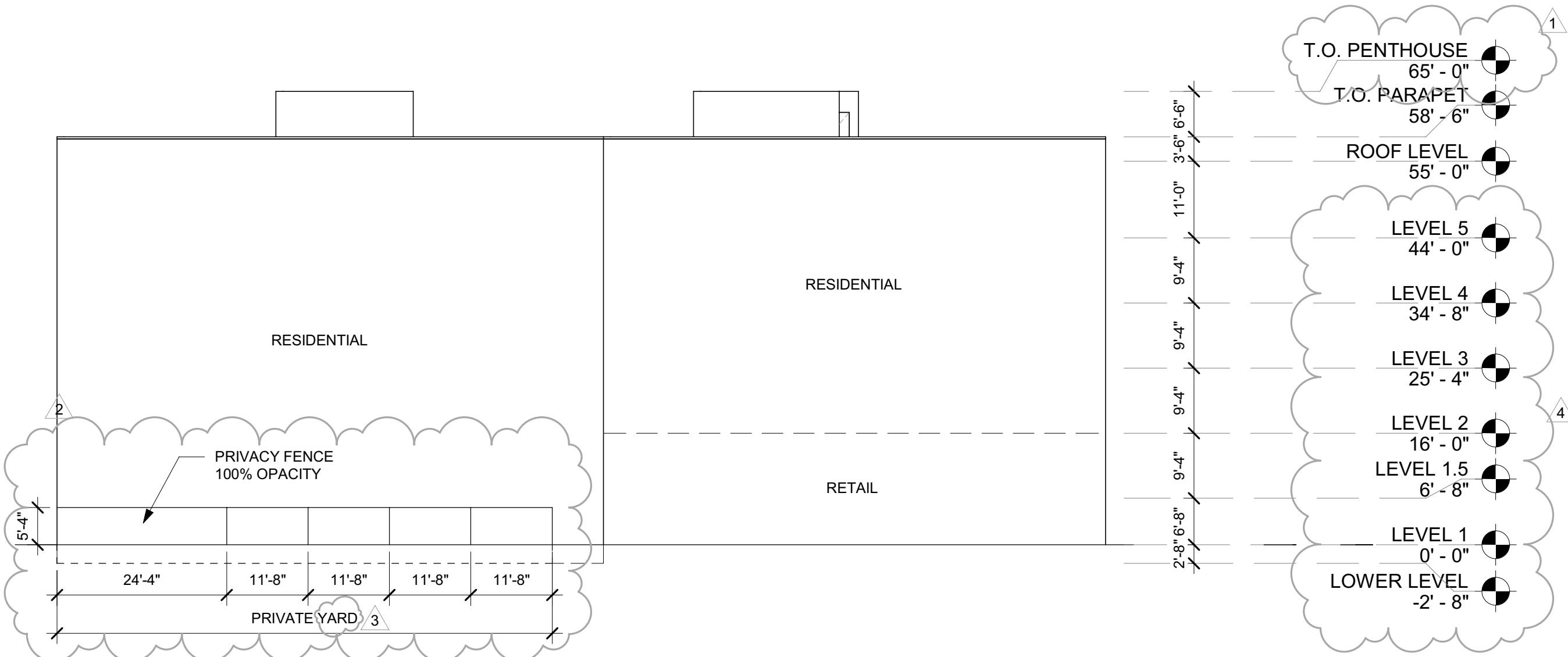
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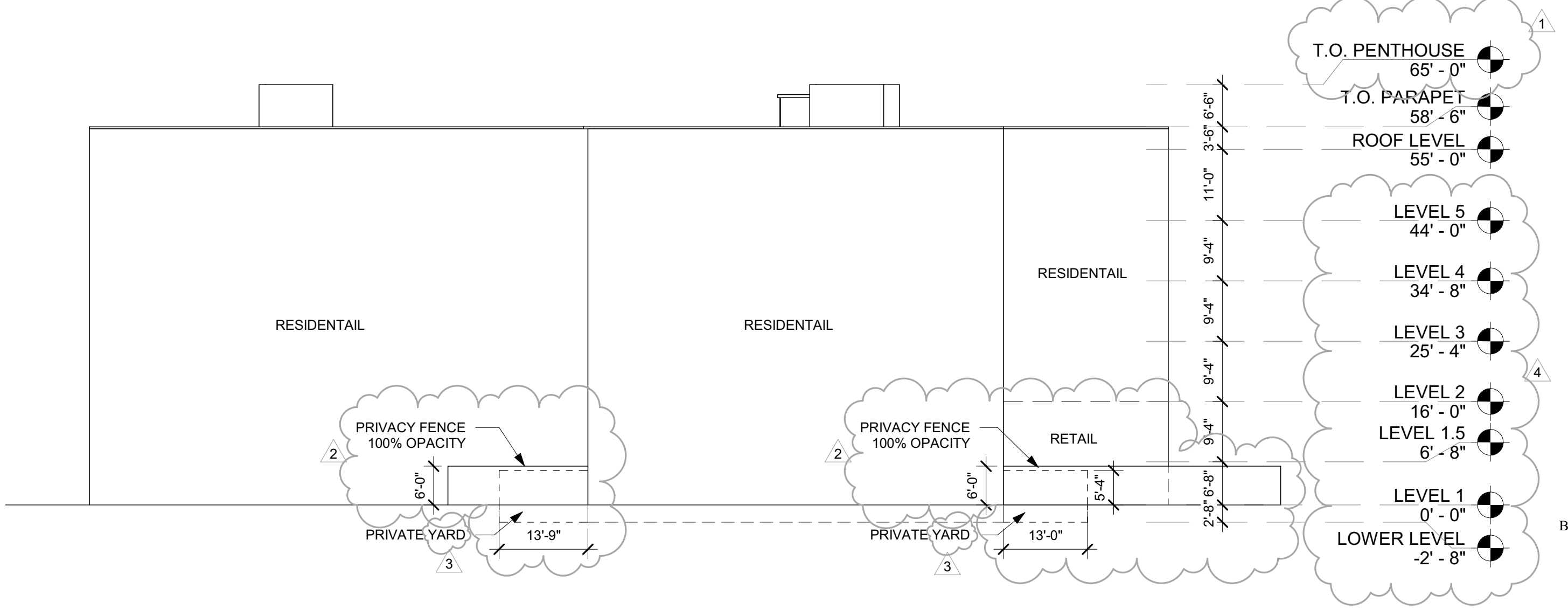
D1 NORTH ELEVATION
Scale: 1/16" = 1'-0"



D3 EAST ELEVATION
Scale: 1/16" = 1'-0"



B1 SOUTH ELEVATION
Scale: 1/16" = 1'-0"



B3 WEST ELEVATION
Scale: 1/16" = 1'-0"



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RUGGIERO PLANT LAND
DESIGN
5990 RIDGE AVENUE
PHILADELPHIA, PA 19128

11 FT
11 FT

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1205000.RVT As indicated

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Author Checker

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SHEET TITLE
SECTIONS

SHEET NO

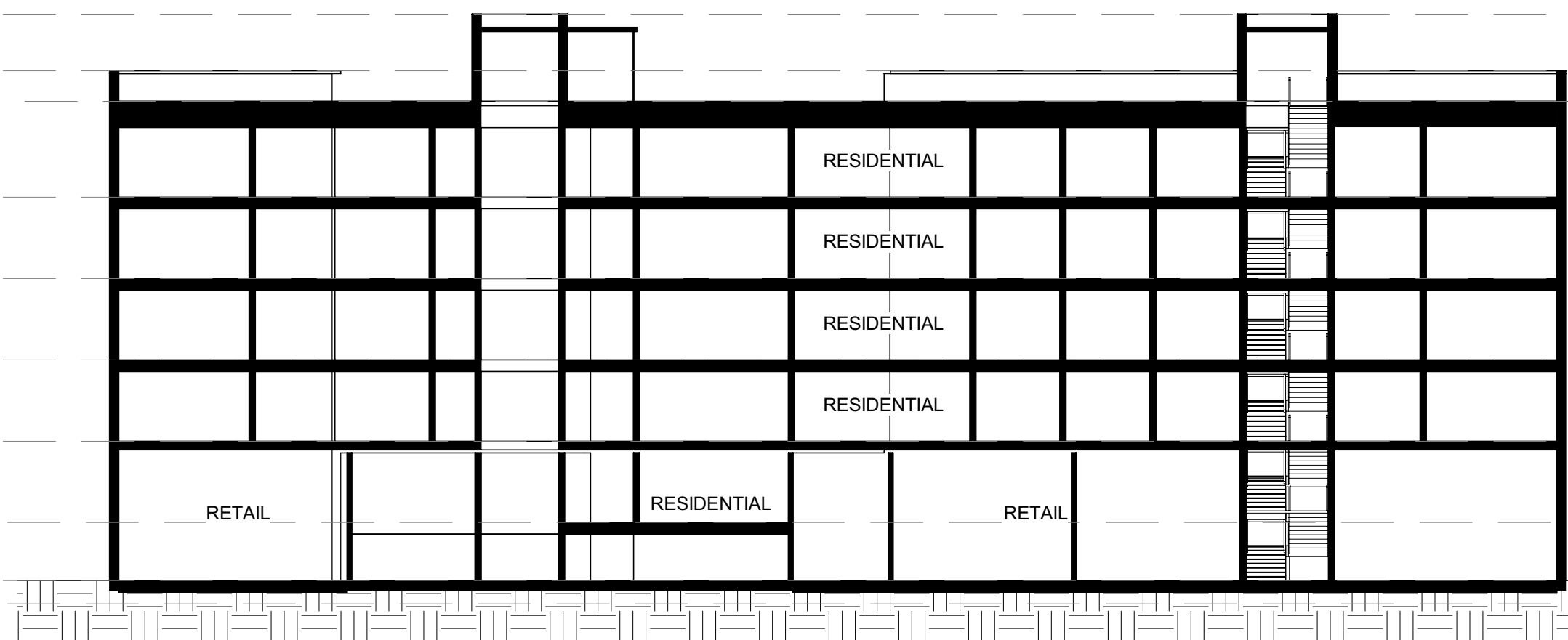
Z-103

DEVELOPMENT DATA

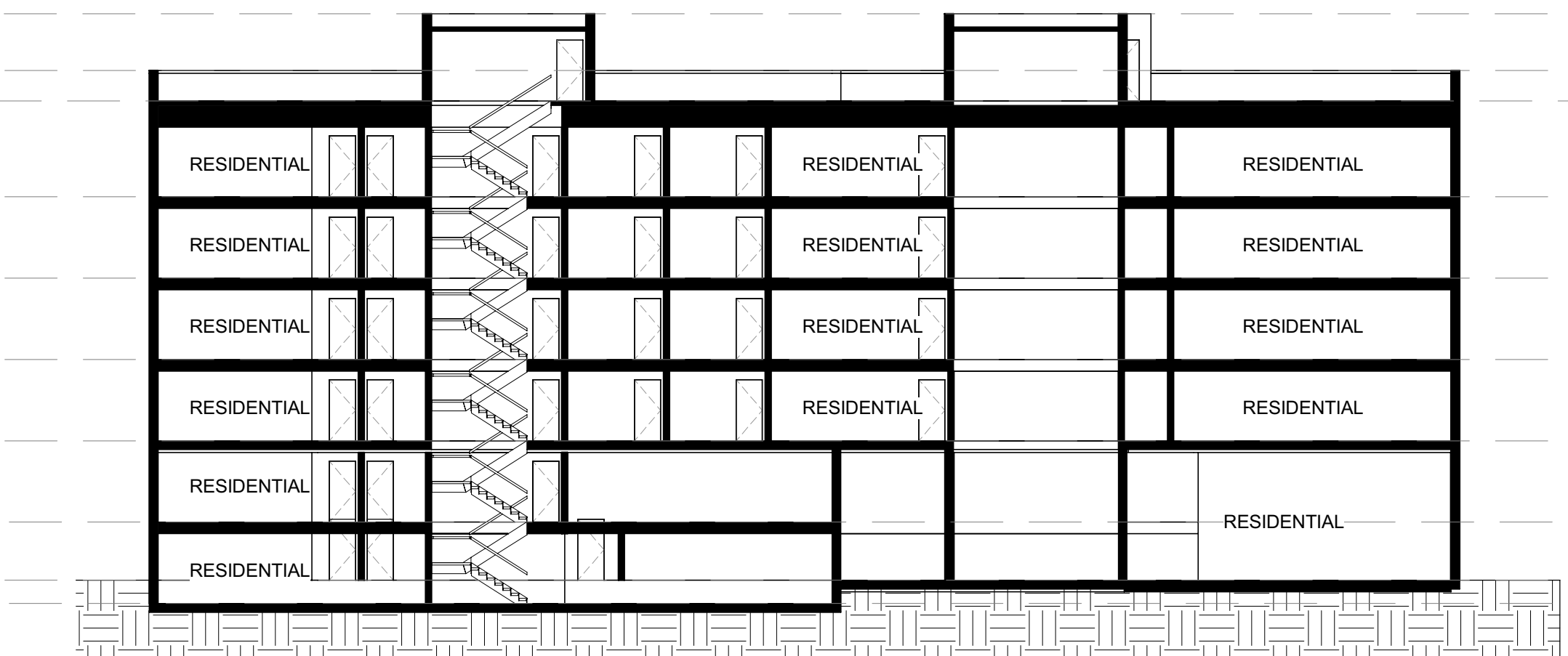
	REQUIRED / ALLOWED	PROPOSED
ZONING	CMX-2.5	CMX-2.5
USE	RESIDENTIAL: MULTI-FAMILY, RETAIL SALES & COMMERCIAL SERVICES; AS PERMITTED IN CMX-2.5 DISTRICTS	RESIDENTIAL: MULTI-FAMILY (150 UNITS), RETAIL SALES & COMMERCIAL SERVICES; AS PERMITTED IN CMX-2.5 DISTRICTS
SITE AREA	23,304 SF	23,304 SF
GROSS FLOOR AREA	F.A.R. N/A	GROSS FLOOR AREA = 90,901 SF
COVERAGE	PER SECTION 14-701-3 MAX. OCCUPIED AREA (% OF LOT) 75% MAX. FLOOR AREA = 75% x 23,304 SF = 17,478 SF	FLOOR AREA = 17,165 SF (73.6% OF LOT)
SETBACKS	MIN. FRONT YARD DEPTH: 0'-0" MIN. SIDE YARD WIDTH: 0'-0" OR 5'-0" MIN. REAR YARD DEPTH: THE GREATER OF 9'-0" OR 10% OF LOT DEPTH	FRONT YARD DEPTH: 0'-0" SIDE YARD WIDTH: 0'-0" MIN. REAR YARD DEPTH: N/A FOR 2-STREET THROUGH LOT
HEIGHT	MAX 55'-0"	55'-0"
UNIT DENSITY	BASE UNITS = 270 SF LOT AREA PER UNIT GREEN ROOF BONUS = 25% DENSITY INCREASE LOW INCOME BONUS = 50% DENSITY INCREASE	BASE UNITS = 23,300 SF ÷ 270 SF/UNIT = 86 UNITS GREEN ROOF BONUS = 86 UNITS x 25% = 21 UNITS LOW INCOME BONUS = 86 UNITS x 50% = 43 UNITS TOTAL UNITS = 86 UNITS + 21 UNITS + 43 UNITS TOTAL UNITS = 150 UNITS
PARKING	NOT REQUIRED FOR RESIDENTIAL; MULTI-FAMILY OR RETAIL SALES & COMMERCIAL SERVICES (EXCEPT ASSEMBLY AND ENTERTAINMENT)	NOT PROVIDED
BICYCLE PARKING	RESIDENTIAL: 1 PER 3 DWELLING UNITS 150 UNITS = 50 SPACES RETAIL USE: 0 - 7,500 SF = 0 SPACES 6,328 SF = 0 SPACES	50 CLASS 1A BICYCLE PARKING SPACES PROVIDED IN BUILDING FOR RESIDENTIAL USE
OFF STREET LOADING	NOT REQUIRED FOR USED UNDER RESIDENTIAL; MULTI-FAMILY LESS THAN 100,000 SF OR OTHER USES LESS THAN 20,000 SF	NOT PROVIDED
AFFORDABLE HOUSING	10% OF 150 UNITS = 15 UNITS	15 UNITS

AREA CHART

LEVEL	OCCUPANCY	GROSS FLOOR AREA
LEVEL 1	RETAIL, RES. LOBBY, AMENITY	17,165 GSF
LEVEL 1.5	RESIDENTIAL	5,076 GSF
LEVELS 2-5	RESIDENTIAL	17,165 GSF
TOTAL		90,901 GSF



C1 NORTH-SOUTH BUILDING SECTION
Scale: 1/16" = 1'-0"



B1 EAST-WEST BUILDING SECTION
Scale: 1/16" = 1'-0"

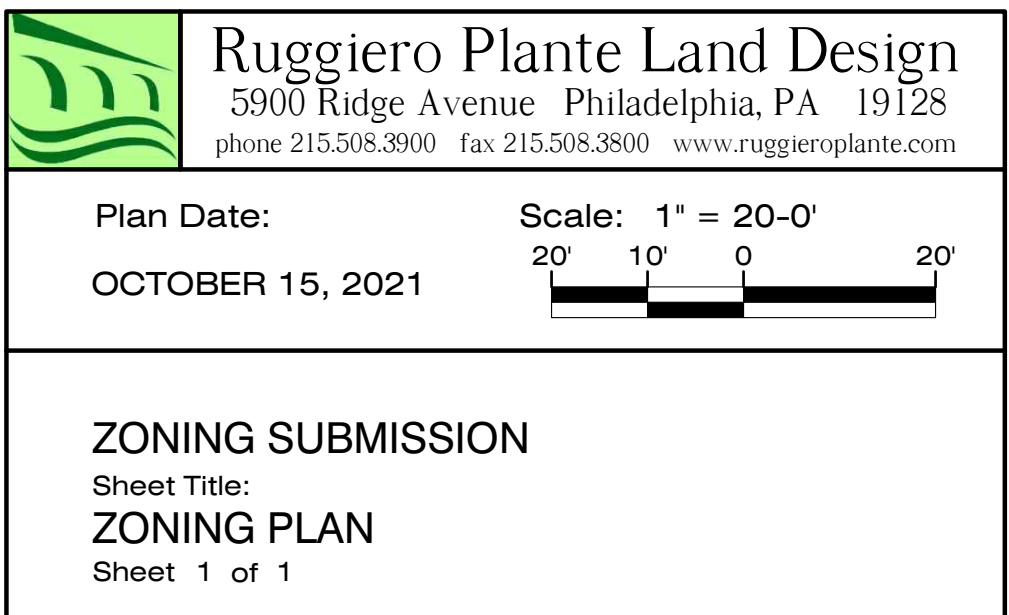
Site plan for the proposed 3-story brick dwelling at 1120-3111 Dunton St. The plan shows the building footprint, setbacks, and landscaping. Key features include:

- Building Footprint:** 50'00" wide by 112'00" deep.
- Setbacks:** 5'00" front setback, 5'00" side setbacks, and 10'00" rear setback.
- Landscaping:** 72" privacy fence along the side and rear, 5'00" furnishing zone along the side, and 5'00" walking zone along the rear.
- Other Structures:** Existing 2-story brick building to the north, existing 3-story brick dwelling to the south, and existing 2-story brick building to the east.
- Notes:** The plan includes various notes regarding setbacks, landscaping, and building details. A note at the bottom states: "I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM AWARE THAT ANY FALSIFICATION OF THIS INFORMATION IS A VIOLATION OF THE PENALTY CODE, SECTION 166.260, AND MAY BE SUBJECT TO A FINE OF UP TO \$10,000 AND/OR IMPRISONMENT FOR UP TO 1 YEAR."

AREA CHART	
LEVEL	OCCUPANCY
GROUND LEVEL	RETAIL, RE. LOBBY
MEZZANINE	RESIDENT
LEVELS 2-5	RESIDENT
TOTAL	

[illegible]

10. All plants shall be subject to inspection before any plants are dug and replaced with acceptable material at no additional cost. No substitutions for plant materials are acceptable unless approved by Landscape Architect.
11. Planting shall be conducted under seasons which are normal for such work. The option on the full responsibility of the Contractor, planting operation may be conducted under unreasonable conditions. In general, plant during the following seasons unless otherwise approved by the Landscape Architect:
 - Deciduous Trees and Shrubs: when plants are dormant. (Fall and early Spring)
 - Evergreen Trees and Shrubs: from the time the first leaveset the ground until new growth is well developed. (Spring)
12. Provide continuous double-shredded hardwood bark (2" thick) at the base of the specimen trees and shrubs in all planting beds.
13. Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event that this is not possible, the Contractor shall protect all stock not planted. Plants shall not remain unplanted for longer than a two (2) day period after delivery.
14. Plants should not be bound at any time with wire or rope as to damage the bark and branches. Plants shall be handled from the bottom of the root ball only.
15. All plants shall be set plumb and straight, at such a level that after settlement, a normal relationship between the crown of the root ball and the ground surface will be established. All plants shall be located in the center of their respective planting pits.
16. Interior surface parking - 6405 SF total (10% required, 640 SF); 1044 SF provided (16%)



APPROVED
FOR ZONING ONLY
08/15/22

HAVING YOUR PLANS CONTAIN ANY ORIGIN
ORIGIN OR DESIGN FROM THESE APPROVED
PLANS SHALL REQUIRE THE APPROVAL OF THE
COMMITTEE OF ZONING & INSPECTION

Applied Electronically by L&J User

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Drawing Path: C:\Users\lavanano\Documents\2112000_The
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BLT

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PROJECT TITLE
THE FRANKFORD
1120 FRANKFORD AVE
PHILADELPHIA, PA 19125

CLIENT
US CONSTRUCTION INC.
400 MARKET STREET, SUITE 415
PHILADELPHIA, PA 19106

ARCHITECT & PRIME PROFESSIONAL
BLT ARCHITECTS NV LLC
1216 ARCH ST, SUITE 800
PHILADELPHIA PA 19107

CIVIL and LANDSCAPE
RUGGIERO PLANT LAND
DESIGN
5990 RIDGE AVENUE
PHILADELPHIA, PA 19128

PROJECT NO. FIRST ISSUE DATE
10/13/21

FILE NO. SCALE
1205000 RVT As indicated

DRAWN BY REVIEWED
Author Checker

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5	07/08/2022	Zoning Submission Revisions

SHEET TITLE
SITE & FLOOR PLANS

SHEET NO

Z-101

B1 SITE PLAN
Scale: 1" = 20'-0"

A1 FLOOR PLAN - LEVEL 1
Scale: 1/32" = 1'-0"

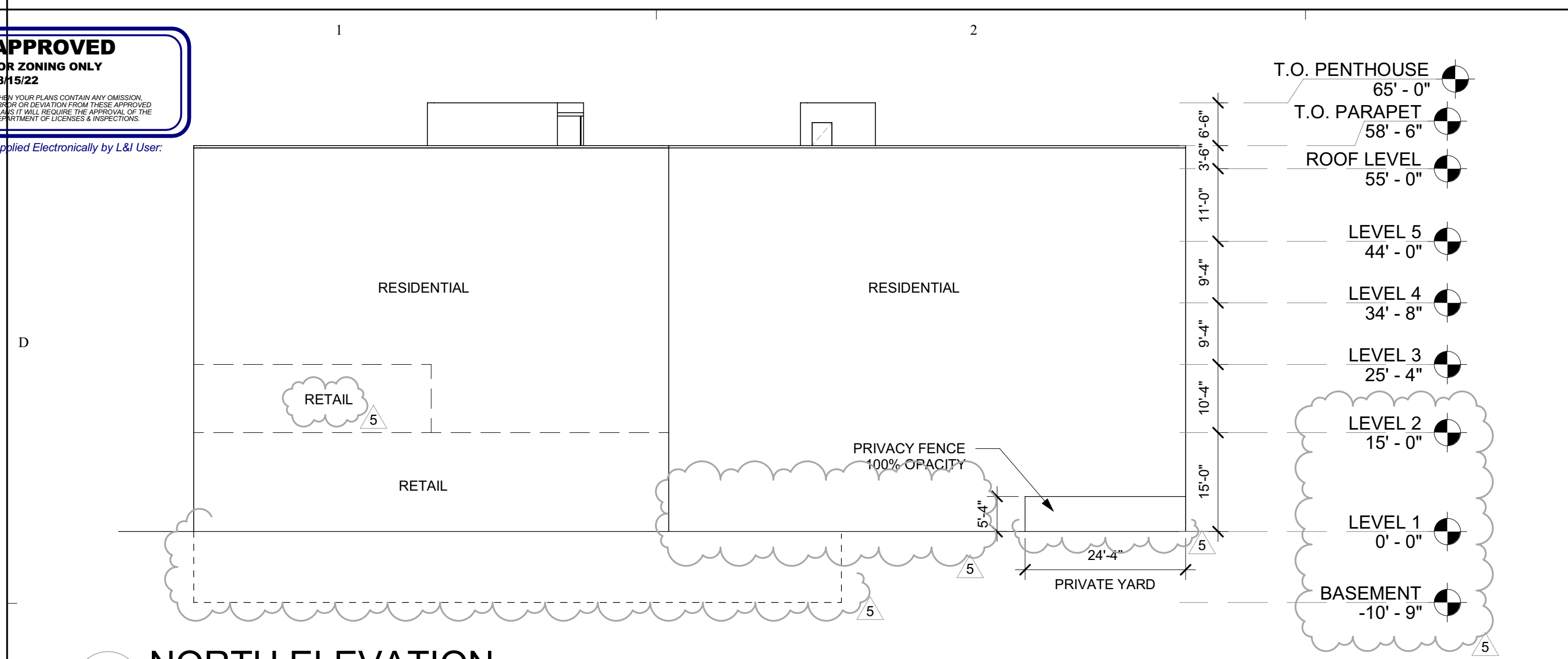
A2 FLOOR PLAN - LEVEL 2
Scale: 1/32" = 1'-0"

B4 FLOOR PLAN - BASEMENT
Scale: 1/32" = 1'-0"

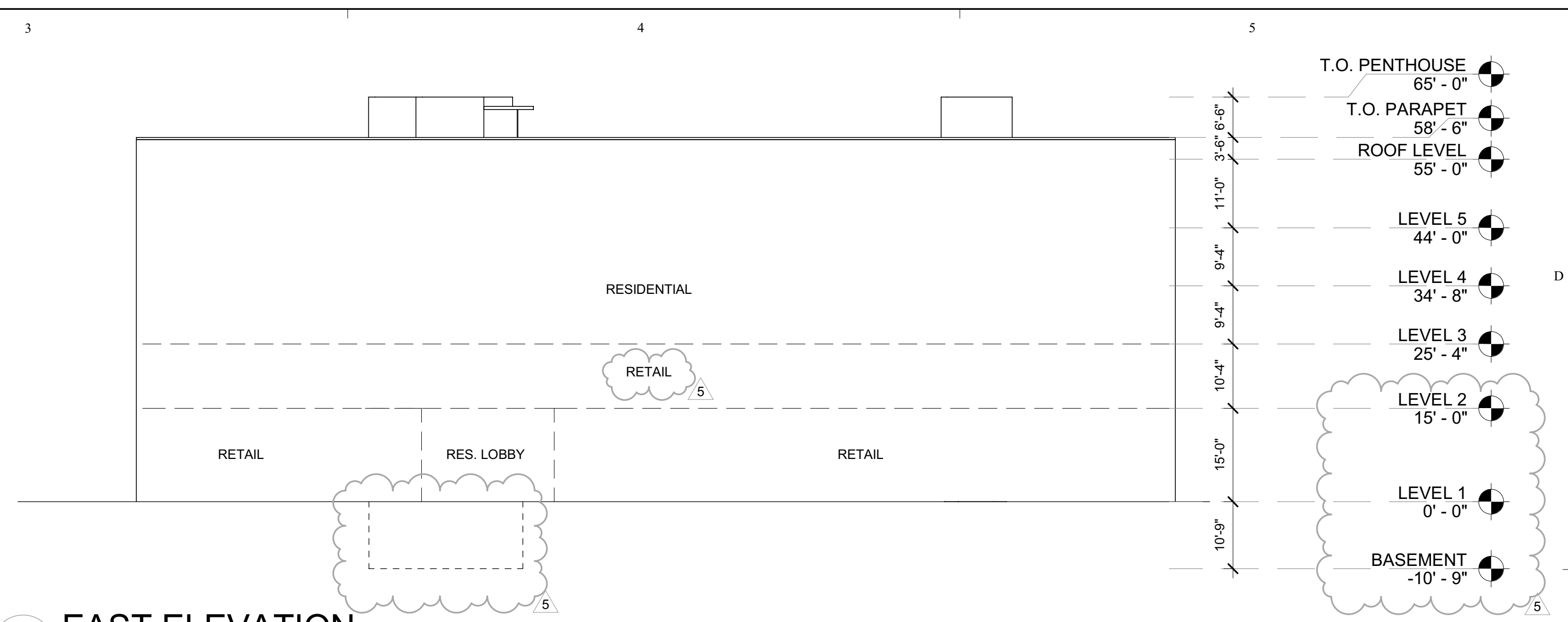
A4 FLOOR PLAN - LEVELS 3-5
Scale: 1/32" = 1'-0"

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Drawing Path: C:\Users\EMangano\Documents\2112000_The
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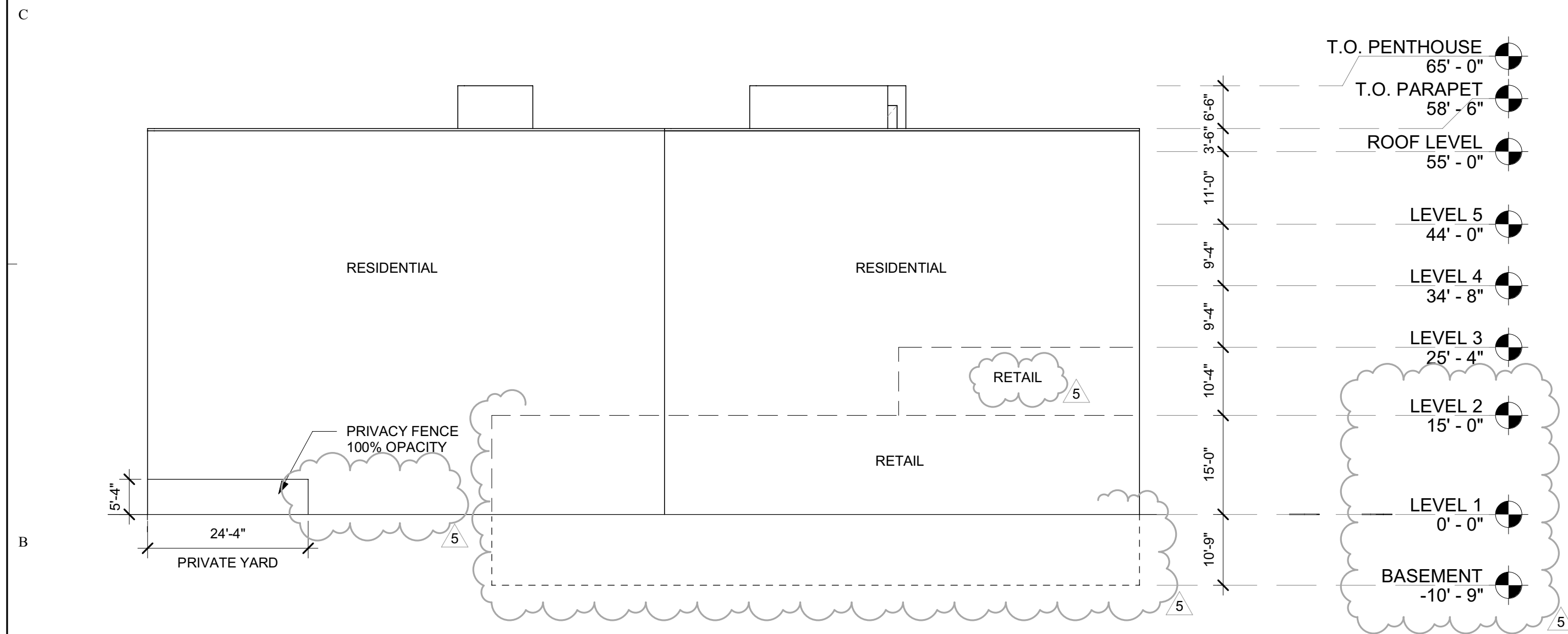
APPROVED
FOR ZONING ONLY
08/15/22
HARD COPY PLANS CONTAIN ANY OVERSIGHTS
OR ERRORS. NO REVISIONS FROM THESE APPROVED
PLANS WILL BE REQUIRED. THE APPROVAL OF THE
COMMISSION OF ZONING & INSPECTIONS
Applied Electronically by L&I User.



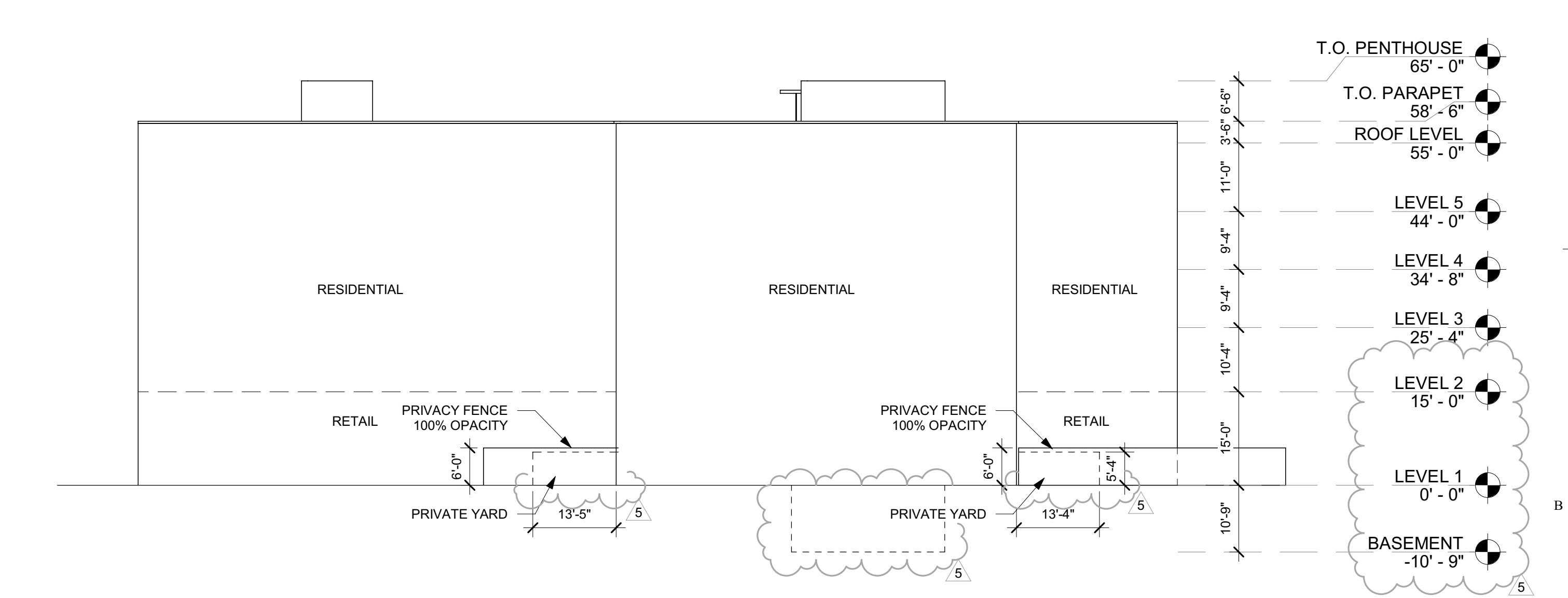
D1 NORTH ELEVATION
Scale: 1/16" = 1'-0"



D3 EAST ELEVATION
Scale: 1/16" = 1'-0"



B1 SOUTH ELEVATION
Scale: 1/16" = 1'-0"



B3 WEST ELEVATION
Scale: 1/16" = 1'-0"

BLT
— A PERKINS EASTMAN STUDIO

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PHILADELPHIA, PA 19125

CLIENT
US CONSTRUCTION INC.
400 MARKET STREET, SUITE 415
PHILADELPHIA, PA 19106

ARCHITECT & PRIME PROFESSIONAL
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1216 ARCH ST, SUITE 800
PHILADELPHIA PA 19107

CIVIL and LANDSCAPE
RUGGIERO PLANT LAND
DESIGN
5990 RIDGE AVENUE
PHILADELPHIA, PA 19128



PROJECT NO. FIRST ISSUE DATE
10/13/21

FILE NO. SCALE
1205000 RVT 1/16" = 1'-0"

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SHEET TITLE
ELEVATIONS

SHEET NO

Z-102



PROJECT TITLE
THE FRANKFORD
1120 FRANKFORD AVE
PHILADELPHIA, PA 19125

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400 MARKET STREET, SUITE 415
PHILADELPHIA, PA 19106

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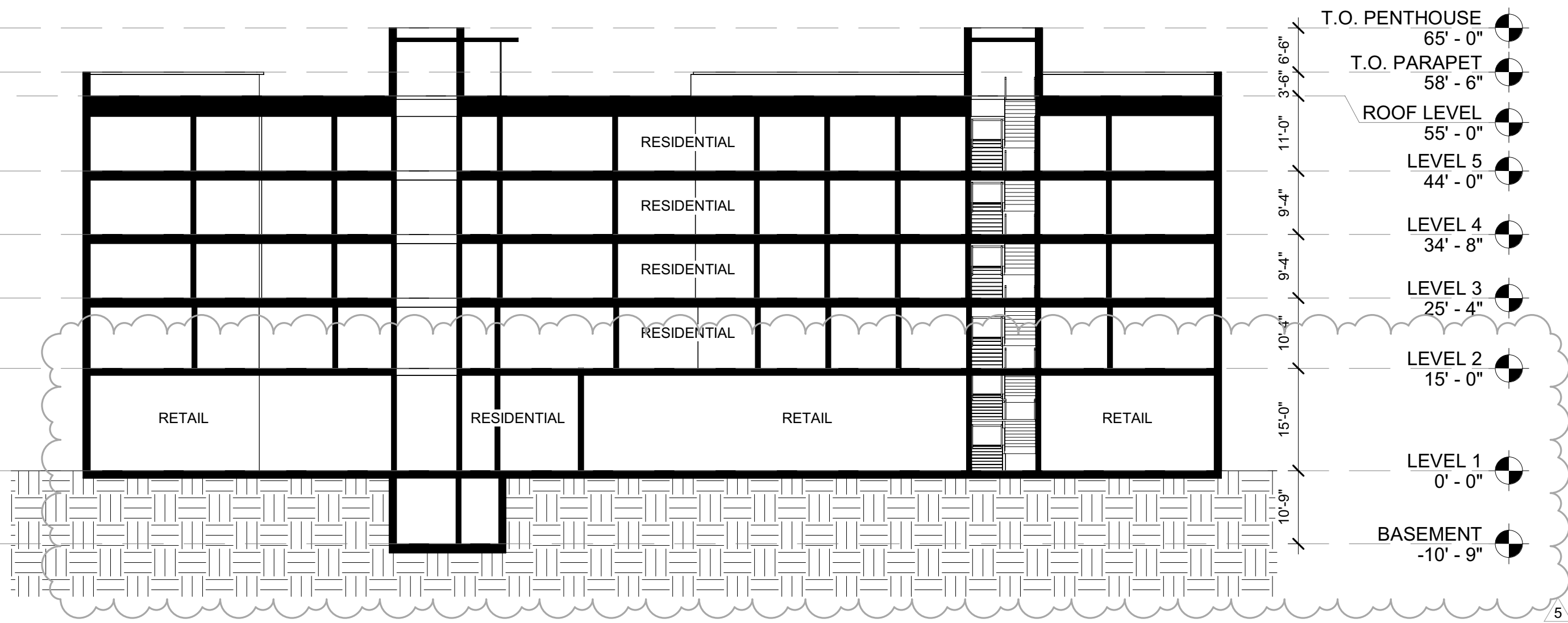
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SHEET TITLE
SECTIONS

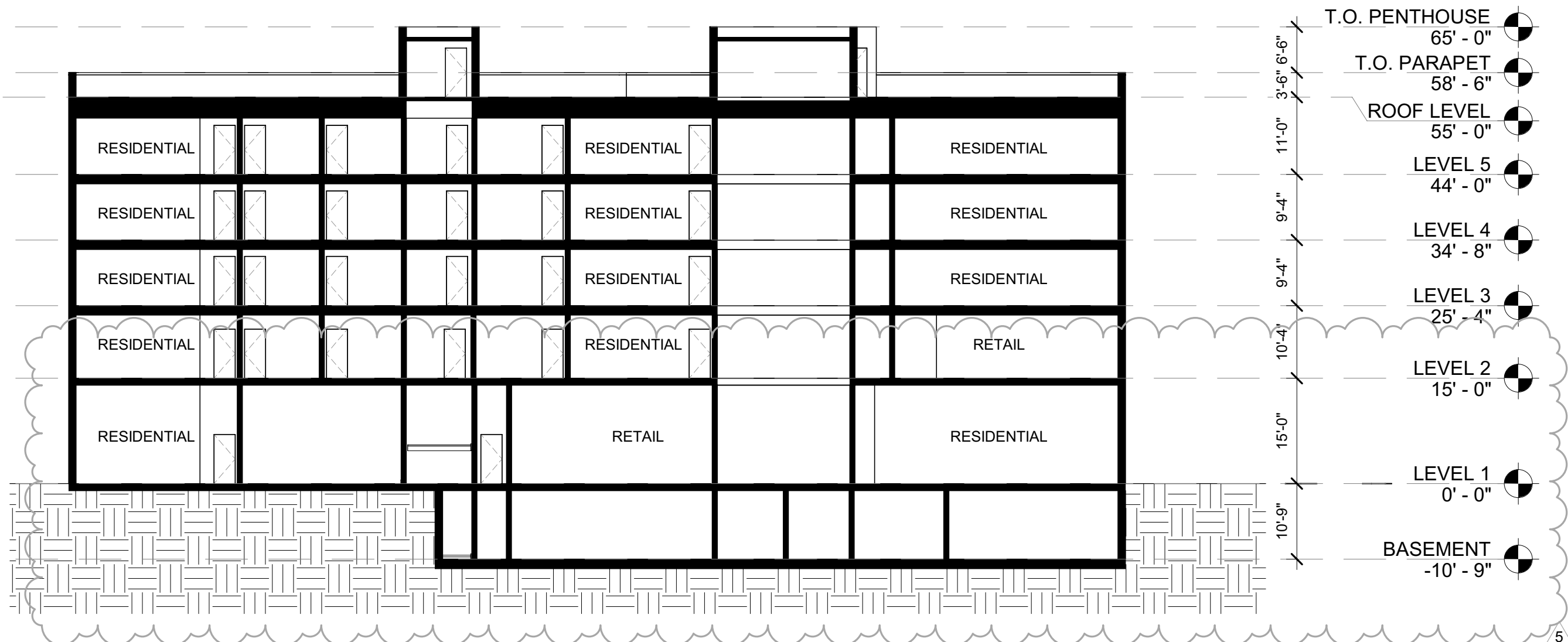
SHEET NO

DEVELOPMENT DATA		
	REQUIRED / ALLOWED	PROPOSED
ZONING	CMX-2.5	CMX-2.5
USE	RESIDENTIAL; MULTI-FAMILY, RETAIL SALES & COMMERCIAL SERVICES; AS PERMITTED IN CMX-2.5 DISTRICTS	RESIDENTIAL; MULTI-FAMILY (107 UNITS); RETAIL SALES & COMMERCIAL SERVICES; AS PERMITTED IN CMX-2.5 DISTRICTS
SITE AREA	23,304 SF	23,304 SF
GROSS FLOOR AREA	F.A.R. N/A	GROSS FLOOR AREA = 87,760 SF
COVERAGE	PER SECTION 14-701-3 MAX. OCCUPIED AREA (% OF LOT) 75% MAX. FLOOR AREA = 75% x 23,304 SF = 17,478 SF	FLOOR AREA = 17,200 SF (73.8% OF LOT)
SETBACKS	MIN. FRONT YARD DEPTH: 0'-0" MIN. SIDE YARD WIDTH: 0'-0" OR 5'-0" MIN. REAR YARD DEPTH: THE GREATER OF 9'-0" OR 10% OF LOT DEPTH	FRONT YARD DEPTH: 0'-0" SIDE YARD WIDTH: 0'-0" MIN. REAR YARD DEPTH: N/A FOR 2-STREET THROUGH LOT
HEIGHT	MAX 55'-0"	55'-0"
UNIT DENSITY	BASE UNITS = 270 SF LOT AREA PER UNIT GREEN ROOF BONUS = 25% DENSITY INCREASE	BASE UNITS = 23,300 SF + 270 SF/UNIT = 86 UNITS GREEN ROOF BONUS = 86 UNITS x 25% = 21 UNITS TOTAL UNITS = 86 UNITS + 21 UNITS TOTAL UNITS = 107 UNITS
PARKING	NOT REQUIRED FOR RESIDENTIAL; MULTI-FAMILY OR RETAIL SALES & COMMERCIAL SERVICES (EXCEPT ASSEMBLY AND ENTERTAINMENT)	NOT PROVIDED
BICYCLE PARKING	RESIDENTIAL: 1 PER 3 DWELLING UNITS 107 UNITS = 36 SPACES RETAIL USE: 7,501 - 20,000 SF = 2 SPACES 15,127 SF = 2 SPACES	38 CLASS 1A BICYCLE PARKING SPACES PROVIDED IN BUILDING FOR RESIDENTIAL AND RETAIL USE
OFF STREET LOADING	NOT REQUIRED FOR USED UNDER RESIDENTIAL; MULTI-FAMILY LESS THAN 100,000 SF OR OTHER USES LESS THAN 20,000 SF	NOT PROVIDED

AREA CHART		
LEVEL	OCCUPANCY	GROSS FLOOR AREA
BASEMENT	MECHANICAL	1,760 GSF
LEVEL 1	RETAIL, RES. LOBBY, AMENITY	17,200 GSF
LEVEL 2	RETAIL, RESIDENTIAL	17,200 GSF
LEVELS 3-5	RESIDENTIAL	17,200 GSF
TOTAL		87,760 GSF



C1 NORTH-SOUTH BUILDING SECTION
Scale: 1/16" = 1'-0"



B1 EAST-WEST BUILDING SECTION
Scale: 1/16" = 1'-0"

APPROVED
FOR ZONING ONLY
08/15/22

WHEN YOUR PLANS CONTAIN ANY DESIGN
CHANGES, YOU MUST OBTAIN THESE APPROVED
STAMPS FROM THE DEPARTMENT OF PLANNING &
COMMUNITY DEVELOPMENT.

Applied Electronically by L&L User.

DEVELOPMENT DATA		
	REQUIRED / ALLOWED	PROPOSED
ZONING	CMX-2.5	CMX-2.5
USE	RESIDENTIAL, MULTIFAMILY, RETAIL SALES & COMMERCIAL SERVICES, AS PERMITTED IN CMX-2.5 DISTRICT	RESIDENTIAL, MULTIFAMILY (107 UNITS), RETAIL SALES & COMMERCIAL SERVICES, AS PERMITTED IN CMX-2.5 DISTRICTS
SITE AREA	23,304 SF	23,304 SF
GROSS FLOOR AREA	F.A.R. N/A	GROSS FLOOR AREA=87,760 SF
COVERAGE	PER SECTION 14-701.3 MAX OCCUPIED AREA (X OF LOT) 75% MAX FLOOR AREA=75% x 23,304 SF=17,478 SF	FLOOR AREA= 17,200 SF (73.8% OF LOT)
SETBACKS	MIN FRONT YARD DEPTH: 0'-0" MIN SIDE YARD WIDTH: 4'-0" OR 5'-0" MIN REAR YARD DEPTH: THE GREATER OF 5'-0" OR 10% OF LOT DEPTH	FRONT YARD DEPTH: 0'-0" SIDE YARD WIDTH: 4'-0" MIN. REAR YARD DEPTH: N/A FOR 2-STREET THROUGH LOT
HEIGHT	MAX 55'-0"	55'-0"
UNIT DENSITY	BASE UNITS=120 SF LOT AREA PER UNIT GREEN ROOF BONUS= 20% DENSITY INCREASE	BASE UNITS=23,304 SF / 270 SF/UNIT= 86 UNITS GREEN ROOF BONUS= 88 UNITS x 270/21 UNITS TOTAL UNITS = 86 UNITS+21 UNITS TOTAL UNITS=107 UNITS
PARKING	NOT REQUIRED FOR RESIDENTIAL; MULTIFAMILY OR RETAIL SALES & COMMERCIAL SERVICES (EXCEPT ASSEMBLY AND ENTERTAINMENT)	NOT PROVIDED
BICYCLE PARKING	RESIDENTIAL: 1 PER 3 DWELLING UNITS 107 UNITS x 36 SPACES RETAIL USE: 7,501-20,000 SF = 2 SPACES 15,127 SF= 2 SPACES	38 CLASS 1A BICYCLE PARKING SPACES PROVIDED IN BUILDING FOR RESIDENTIAL USE
OFF-STREET LOADING	NOT REQUIRED FOR USED UNDER RESIDENTIAL; MULTIFAMILY LESS THAN 100,000 SF OR OTHER USES LESS THAN 20,000 SF	NOT PROVIDED

BIKE PARKING CHART

38 (CLASS 1A)
20 BIKE RACK SPACES
(10 U Racks in ROV)
58 TOTAL SPACES

LEVEL	OCCUPANCY	GROSS FLOOR AREA
BASEMENT	MECHANICAL	1,760
LEVEL 1	RETAIL, RE LOBBY, AMMENTY	17,200
LEVEL 2	RETAIL, RESIDENTIAL	17,200
LEVELS 3-6	RESIDENTIAL	17,200
TOTAL		87,760 GSF

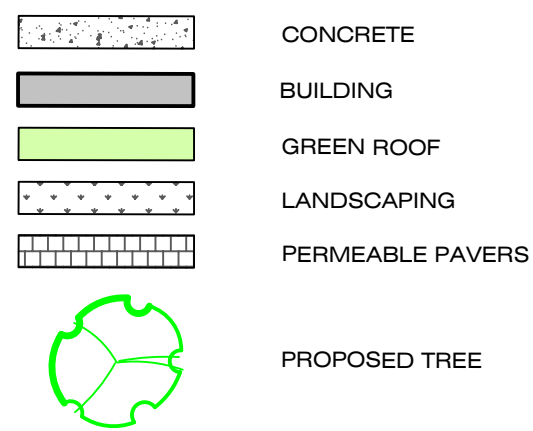
PLANT LIST

QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
4	CK	Cladrastis kentuckea	Yellowwood	2.5-3" Cal. B&B

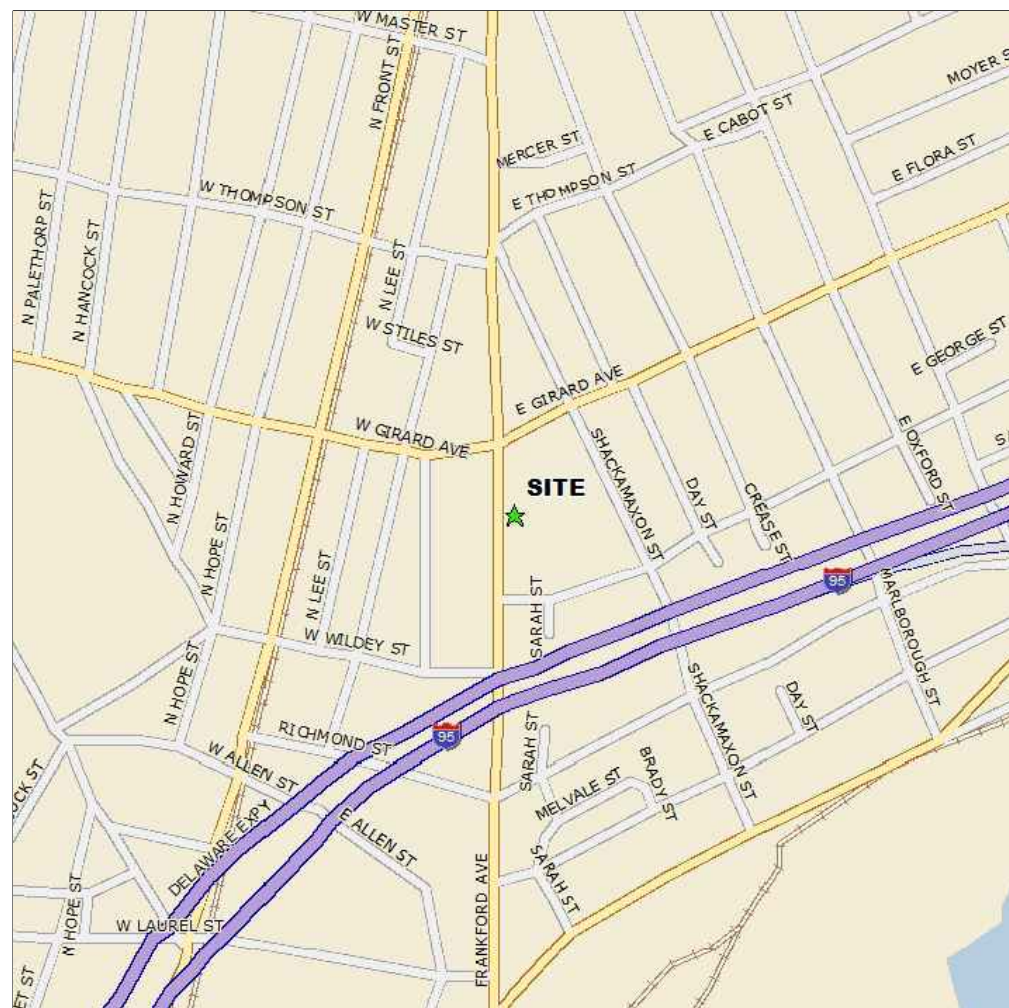
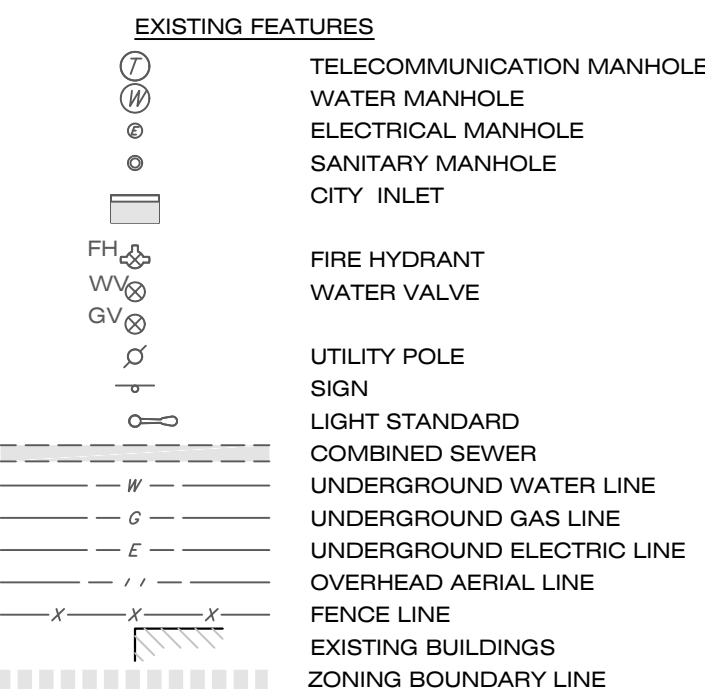
GENERAL PLANTING NOTES

- Plant material shall be furnished and installed as shown, including all labor, materials, plants, equipment, incidentals and clean-up.
- The Contractor shall report any soil or drainage conditions considered detrimental to the growth of the proposed plant material.
- Locations of plant materials approximate. Exact location of plant materials shall be determined by contractor in field, with the approval of the Landscape Architect and/or Developer.
- The Contractor shall be responsible for determining where the underground utilities exist on-site. The Contractor shall exercise extreme caution when excavating near these utilities.
- The Contractor shall be responsible for planting at correct grades and alignment as shown on the planting plan.
- Plant names shall agree with the nomenclature 'Standard Plant Names' as adopted by the American Joint Committee on Horticulture Nomenclature.
- All plants shall be typical of their species or variety. They shall have normal well developed branches, and vigorous fibrous root systems. They shall be free from disfiguring knots, sunscald, injuries, abrasions of bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall be nursery grown. All collected material shall be clean, soundstock, and free from decaying stumps.
- Size and grading standards shall conform to the 'U.S.A. Standard for Nursery Stock' as sponsored by the American Association of Nurserymen.
- Balled and burlapped and balled and platform plants shall have a solid ball of earth securely held in place by burlap and stout rope. Minimum ball sizes shall be specified in the 'U.S.A. standard for Nursery Stock'. Loose, broken, or manufactured balls will be rejected.
- All plants shall be subject to inspection before any plants are dug and replaced with acceptable material at no additional cost. No substitutions for plant materials are acceptable unless approved by Landscape Architect.
- Planting shall be conducted under seasons which are normal for such work. At the option and on the full responsibility of the Contractor, planting operation may be conducted under unseasonable conditions. In general, plant during the following seasons unless otherwise approved by the Landscape Architect.
Deciduous Trees and Shrubs: when plants are dormant. (Fall and early Spring)
Evergreen Trees and Shrubs: from the time the frost leaves the ground until new growth is well developed. (Spring)
Groundcover: after the danger of frost is past. (Spring until early Summer)
- Provide continuous double-shredded hardwood bark (2" thick) at the base of the specimen trees and shrubs and in all planting beds.
- Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event that this is not possible, the Contractor shall protect all stock not planted. Plants shall not remain unplanted for longer than a two (2) day period after delivery.
- Plants should not be bound at any time with wire or rope as to damage the bark and branches. Plants shall be handled from the bottom of the root ball only.
- All plants shall be set plumb and straight, at such a level that after settlement, a normal relationship between the crown of the root ball and the ground surface will be established. All plants shall be located in the center of their respective planting pits.
- Interior surface parking- 6405 SF total (10% required, 640 SF); 1044 SF provided (16%)

PROPOSED FEATURES



LEGEND



LOCATION MAP

SCALE 1"=500'

The property lies within the DELAWARE RIVER WATERSHED

UTILITY OWNERS

DATE CONTACTED:	August 27, 2019
SERIAL NUMBER:	20190230944
COMPANY:	COMCAST CABLEVISION
ADDRESS:	4400 WAYNE AVE PHILADELPHIA, PA 19140
CONTACT:	BOB HARVEY
EMAIL:	bob_harvey@comcast.com
COMPANY:	PECO ENERGY CO/USBC
ADDRESS:	450 S HENDERSON RD, SUITE B KING OF PHILADELPHIA, PA 19068
CONTACT:	NIKKIA SIMPSON
EMAIL:	nikkiasimpson@usbcinc.com
COMPANY:	PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS:	1101 MARKET STREET, 2ND FLOOR, ARA TOWER PHILADELPHIA, PA 19107
CONTACT:	ERIC POMERT
EMAIL:	eric.pomert@philapha.gov
COMPANY:	ZAYO BROADBAND FORMERLY PPL TELECOM LLC
ADDRESS:	1060 HARDEE DRIVE UNIT H ABETSDEN, MD 21001
CONTACT:	GEORGE HUSS
EMAIL:	george.huss@zayo.com
COMPANY:	CITY OF PHILADELPHIA
ADDRESS:	4501 G STREET PHILADELPHIA, PA 19120
CONTACT:	KEVIN MCGINLEY
EMAIL:	kevin.mcginley@philapha.gov
COMPANY:	PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS:	1401 JFK BLVD, ROOM 940 MSB PHILADELPHIA, PA 19102
CONTACT:	JOSEPH KISEL
EMAIL:	Joseph.kisel@philapha.gov
COMPANY:	PHILADELPHIA GAS WORKS
ADDRESS:	800 W MONTGOMERY AVE PHILADELPHIA, PA 19122
CONTACT:	JAMES BOCHANSKI
COMPANY:	VEOLIA ENERGY
ADDRESS:	2620 CHRISTIAN STREET PHILADELPHIA, PA 19140
CONTACT:	ERIC ELZEY
EMAIL:	eric.elzey@veolia.com
COMPANY:	VERIZON PENNSYLVANIA, LLC
ADDRESS:	1050 VIRGINIA DR FORTH WASHINGTON, PA 19034
CONTACT:	LAURA LIPPINCOTT
EMAIL:	laura.m.lippincott@one.verizon.com

OWNER OF RECORD

1120-38 FRANKFORD AVENUE
1120-38 Frankford Dris LP
1824 Spruce Street, Suite 100
Philadelphia, PA 19103
OPA #884587815 & 885039200



NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

REVISIONS			
1	12-6-2021	LAI COMMENTS	
2	12-16-2021	LAI COMMENTS	
3	1-3-2022	LAI COMMENTS	
4	2-25-2022	OPR COMMENTS	
5	3-16-2022	OPR COMMENTS	
6	7-7-2022	BUILDING PROGRAM CHANGE	

1120-38 FRANKFORD AVENUE & 1117-21 DUNTON ST FY22-FRAN-6709-01

Philadelphia, PA 19125

5TH WARD - OPA #8845878

prepared for:
U.S. Construction, Inc.
400 Market St. Suite 415
Philadelphia, PA 19106

DAVID J. PLANTE, Professional Engineer
PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3900 www.ruggieroplante.com

Plan Date:

OCTOBER 15, 2021

Scale: 1" = 20'-0"



ZONING SUBMISSION

Sheet Title:
ZONING PLAN
Sheet 1 of 1