

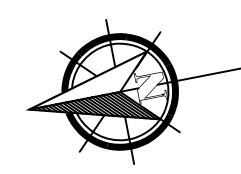
115-17 N. 63rd St.			
CURRENT USE	TWO VACANT LOTS		
PROPOSED USE	PROPERTY CONSOLIDATION AND PROPOSED FIFTEEN FAMILY DWELLING (UTILIZING GREEN ROOF DENSITY BONUS)		
SITE BUILDING DATA			
ZONING DESIGNATION: RM-1			
	115 N. 63rd St. (PARCEL A)	117 N. 63rd St. (PARCEL B)	PROPOSED PARCEL C
LOT DIMENSIONS	25'-0" x 112'-6"	25'-0" x 112'-6"	50'-0" x 112'-6"
LOT AREA	2,812.50 SQ. FT.	2,812.50 SQ. FT.	5,625 SQ. FT.
BUILDING COVERAGE	0'-0" x 0'-0"	0'-0" x 0'-0"	50'-0" x 90'-6" (IRREGULAR SHAPE)
BUILDING COVERAGE	0 SQ. FT. (0%)	0 SQ. FT. (0%)	4,002.33 SQ. FT. (71.15%)
OPEN AREA	2,812.50 SQ. FT. (100%)	2,812.50 SQ. FT. (100%)	1,622.67 SQ. FT. (28.85%)
REAR YARD AREA	N/A	N/A	449,820 SQ. FT.
REAR YARD DEPTH	N/A	N/A	9'-0"
AVG. ROOF HEIGHT	N/A	N/A	36'-10"
FRONT PILOT HOUSE HEIGHT	N/A	N/A	10'-0" (MAX.)
ABOVE MAIN ROOF	N/A	N/A	124 SQ. FT.
FRONT PILOT HOUSE AREA	N/A	N/A	10'-0" (MAX.)
REAR PILOT HOUSE HEIGHT	N/A	N/A	125 SQ. FT.
ABOVE MAIN ROOF	N/A	N/A	
REAR PILOT HOUSE AREA	N/A	N/A	
GREEN ROOF AREA	N/A	N/A	2,905 SQ. FT. (72.53% OF ROOF AREA)
BICYCLE PARKING SPACES	N/A	N/A	5

AVERAGE ROOF HEIGHT CALCULATION:
OVERALL TOP OF ROOF ELEVATION 144.00'
ELEVATION AT 4 CORNERS OF PROPOSED BUILDING:
105.16', 106.49', 108.90', AND 108.26'
AVERAGE GRADE ELEVATION: 107.20'
ROOF ELEVATION (144.00') - AVG. GRADE ELEVATION (107.20') = 36.80'

AVERAGE FIRST FLOOR ABOVE GRADE CALCULATION:
PROPOSED FIRST FLOOR ELEVATION: 111.17'
ELEVATION AT 4 CORNERS OF PROPOSED BUILDING:
105.16', 106.49', 108.90', AND 108.26'
AVERAGE GRADE ELEVATION: 107.20'
FIRST FLOOR ELEVATION (111.17') - AVG. GRADE ELEVATION (107.20') = 3.97'

NUMBER OF DWELLING UNITS:
PROPOSED LOT AREA: 5,625 SQ. FT.
4) DWELLING UNITS FOR FIRST 1,440 SQ. FT. OF LOT AREA
5,625 SQ. FT. - 1,440 SQ. FT. = 4,185 SQ. FT. OF LOT AREA REMAINING
4,185 SQ. FT. / 480 SQ. FT. PER UNIT = 8 ADDITIONAL UNITS
12 TOTAL DWELLING UNITS ALLOWED BEFORE APPLIED DENSITY BONUS
GREEN ROOF DENSITY BONUS ALLOWS A 25% INCREASE IN THE NUMBER OF DWELLING UNITS (12 UNITS)
FOR A TOTAL OF 15 DWELLING UNITS

STOP. CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES WORKING
DAYS NOTICE FOR CONSTRUCTION PHASE
AND 48 WORKING DAYS NOTICE IN
DESIGN STAGE
PA ONLINE SYSTEM LINK:
1-800-242-1775
SERIAL #20213273651

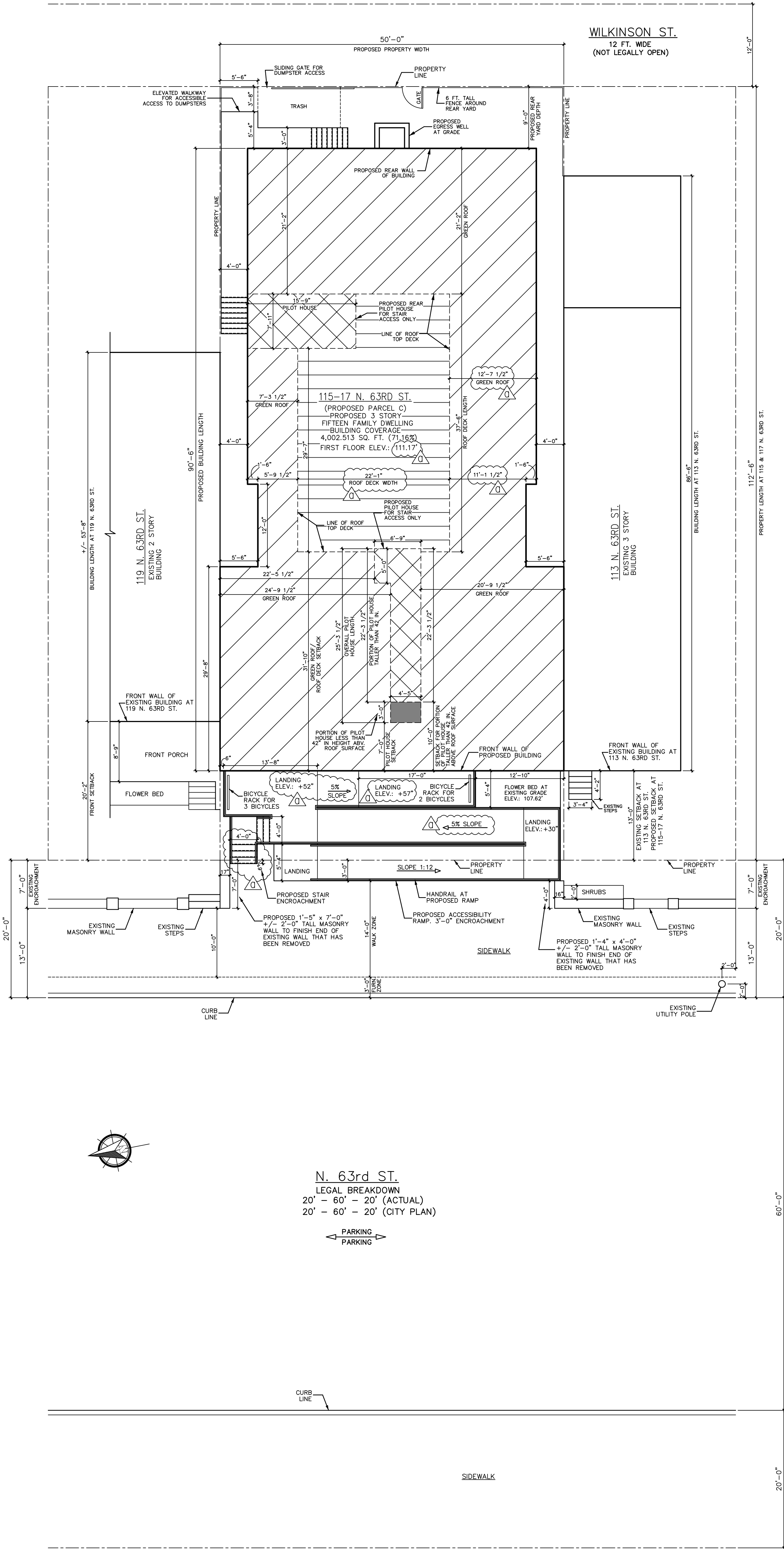
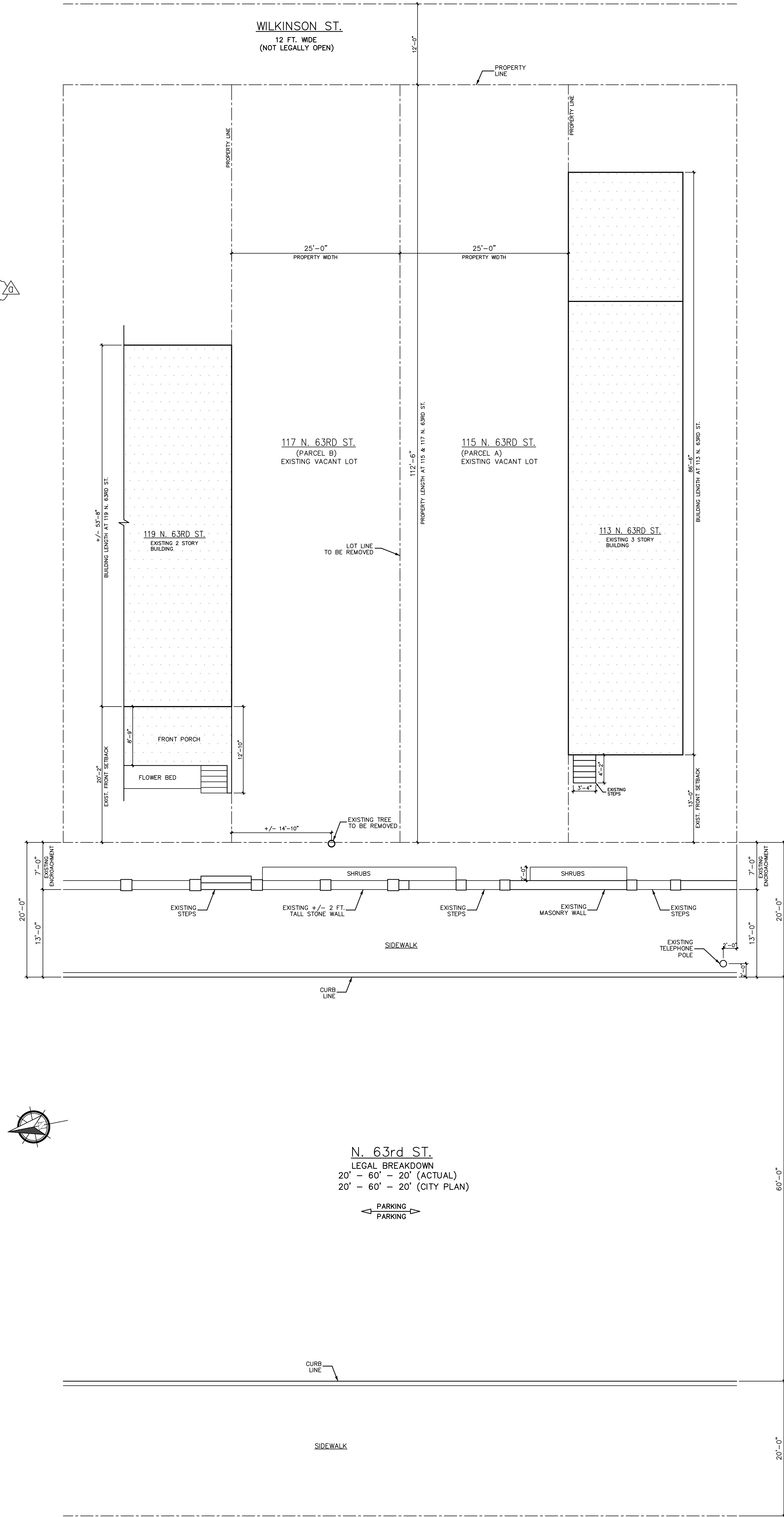


N. 63rd St.
LEGAL BREAKDOWN
20' - 60' - 20' (ACTUAL)
20' - 60' - 20' (CITY PLAN)



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

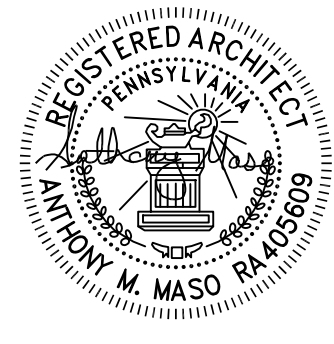


Applied Electronically by L&L User

DRAWING DATE:
02/05/2022

DRAWING ISSUED FOR:
ZONING PERMIT
APPLICATION
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REVISION & DATE:
04/13/2022



ANTHONY MASO
PA LIC. RA 405609

ANTHONY MASO
ARCHITECTURE & DESIGN, LLC
491 SCHOOL RD., BLUE BELT, PA 19422
PH. 215-740-1955 EMAIL: amarchitect@yahoo.com

OWNER:
SNB INVESTMENT GROUP, LLC
115 SYCAMORE CT.
COLLEGEVILLE, PA 19426

PROJECT:
PROPOSED PROPERTY CONSOLIDATION - TWO PROPERTIES
CONSOLIDATED INTO ONE PROPERTY w/
PROPOSED THREE STORY, FIFTEEN FAMILY DWELLING
ADDRESS:
115-17 N 63RD ST.
PHILADELPHIA, PA 19139

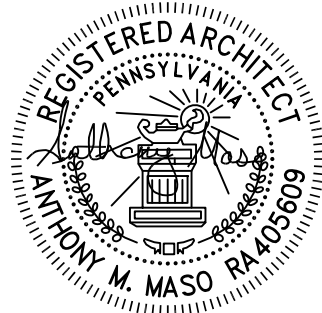
SHEET No.:

Z-1

DRAWING DATE:
02/05/2022

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491 SCHOOL RD., BLUE BELT, PA 19422
PH. 215-740-1955 E-MAIL: amarchitect@yahoo.com



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PHILADELPHIA, PA 19133

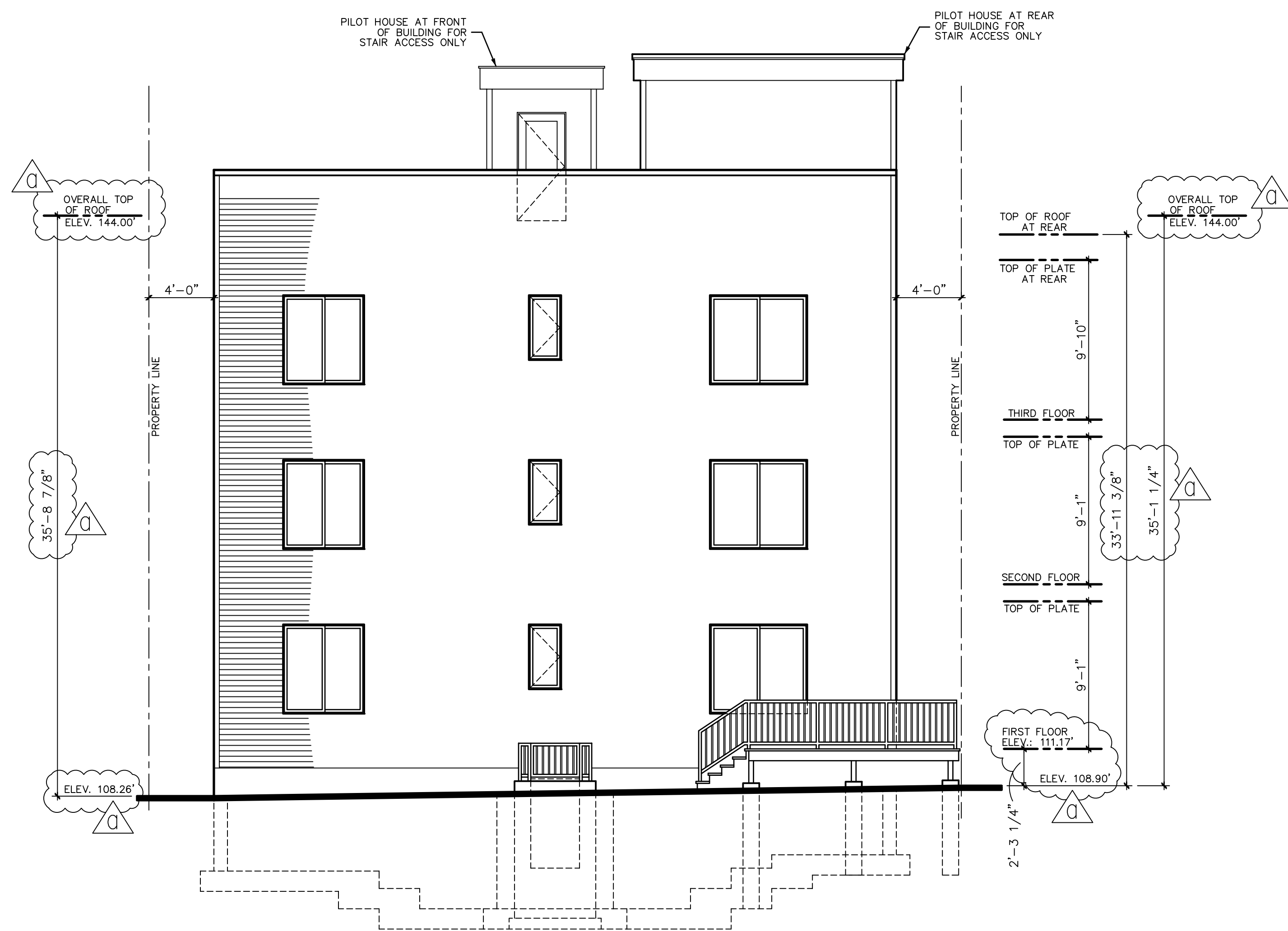
DRAWING No.:

Z-2



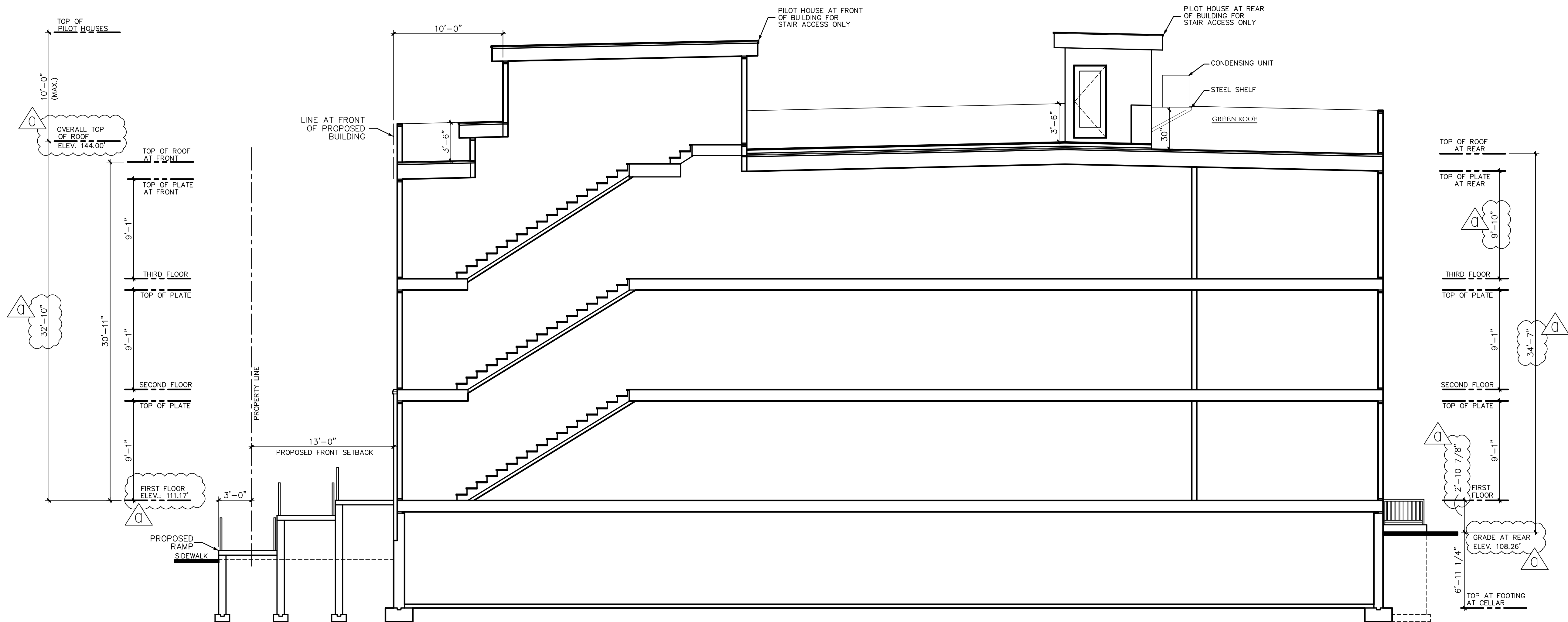
FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"



BUILDING SECTION

SCALE: 3/16" = 1'-0"



Applied Electronically by L&J User:

Zoning Permit

Permit Number ZP-2022-005858

LOCATION OF WORK 115 N 63RD ST, Philadelphia, PA 19139-2202	PERMIT FEE \$829.00	DATE ISSUED 5/25/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1, RM1	

PERMIT HOLDER MAKADA ANAM	115 N 63RD ST PHILADELPHIA, PA 19139-
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH A CELLAR, A ROOF DECK WITH ROOF ACCESS STRUCTURE AND A GREEN ROOF. SIZE AND LOCATION AS SHOWN ON PLANS.**AMEND EXTEND A FOR A PERIOD OF ONE YEAR PER SECTION 14-303(10)(d) OF THE PHILADELPHIA ZONING CODE. A BUILDING PERMIT MUST BE OBTAINED BY 5/20/26.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-005858

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

115 N 63RD ST Philadelphia, PA 19139-2202

117 N 63RD ST Philadelphia, PA 19139-2202

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR MULTI-FAMILY HOUSEHOLD LIVING (FIFTEEN (15) FAMILIES) UTILIZING GREEN ROOF DENSITY BONUS.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.