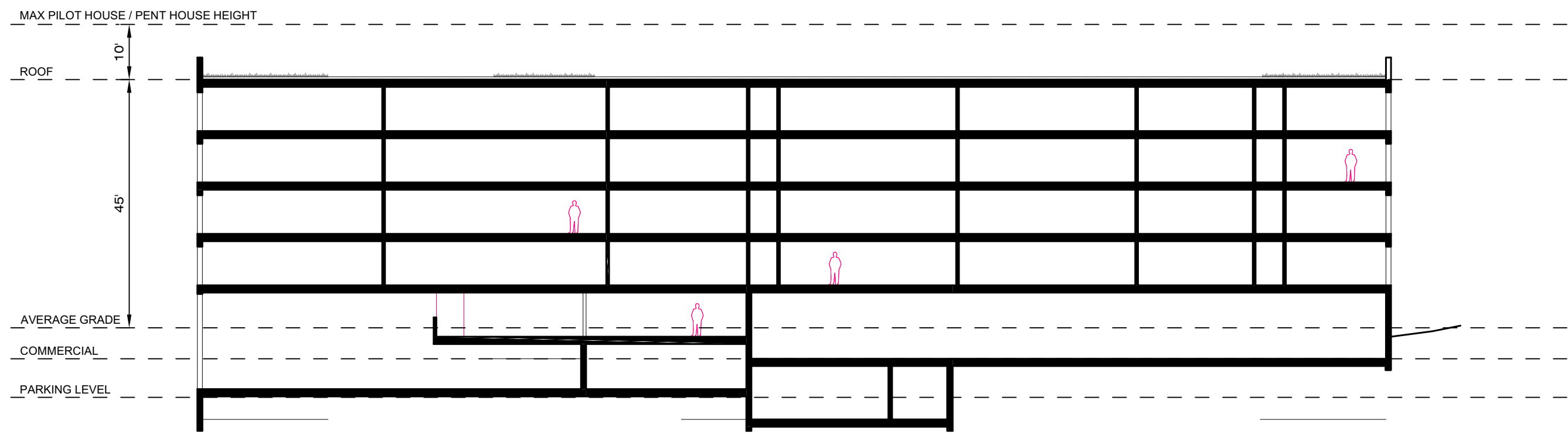
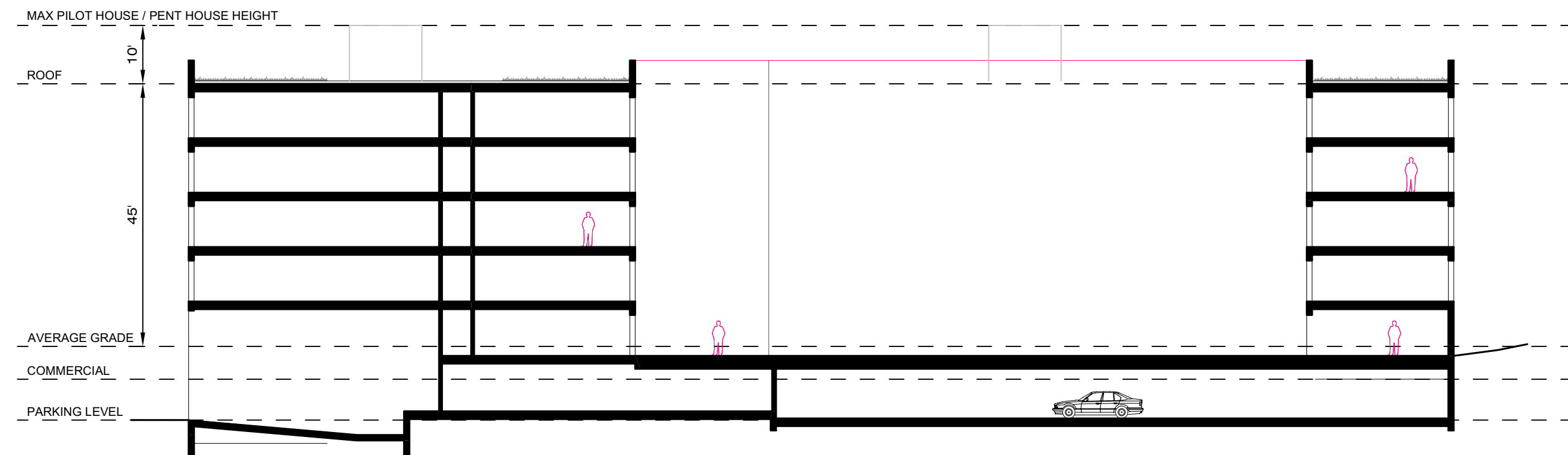
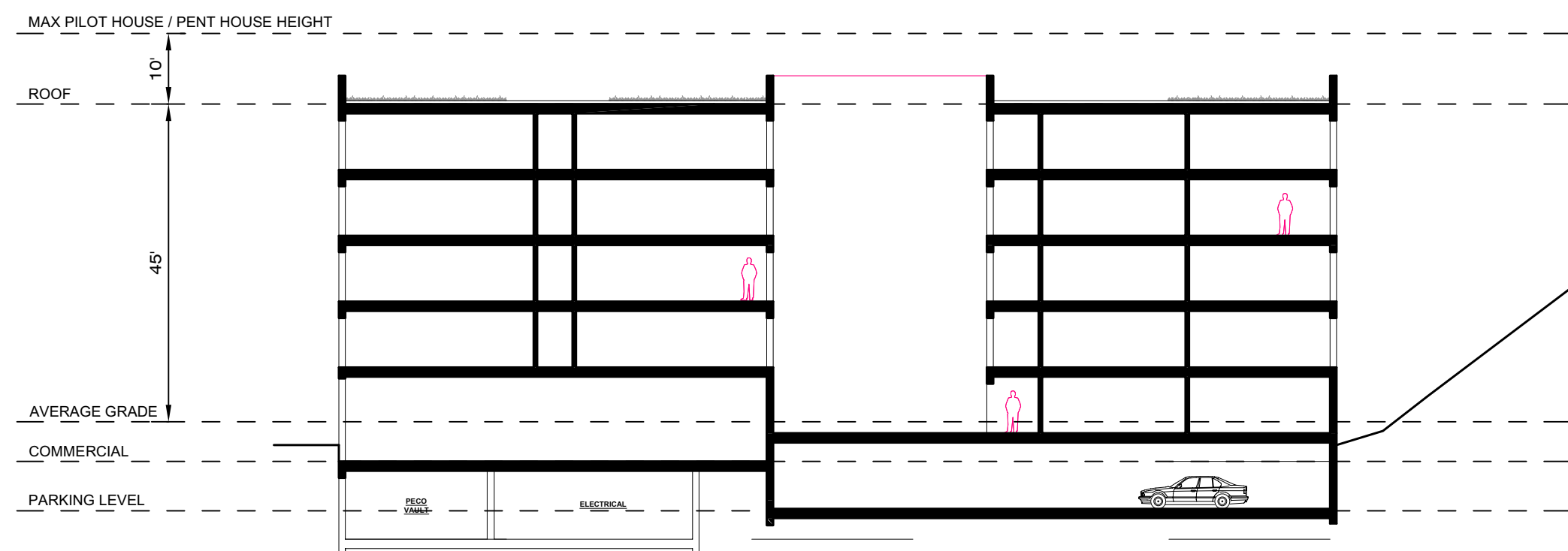




View From Woodbrook Ln



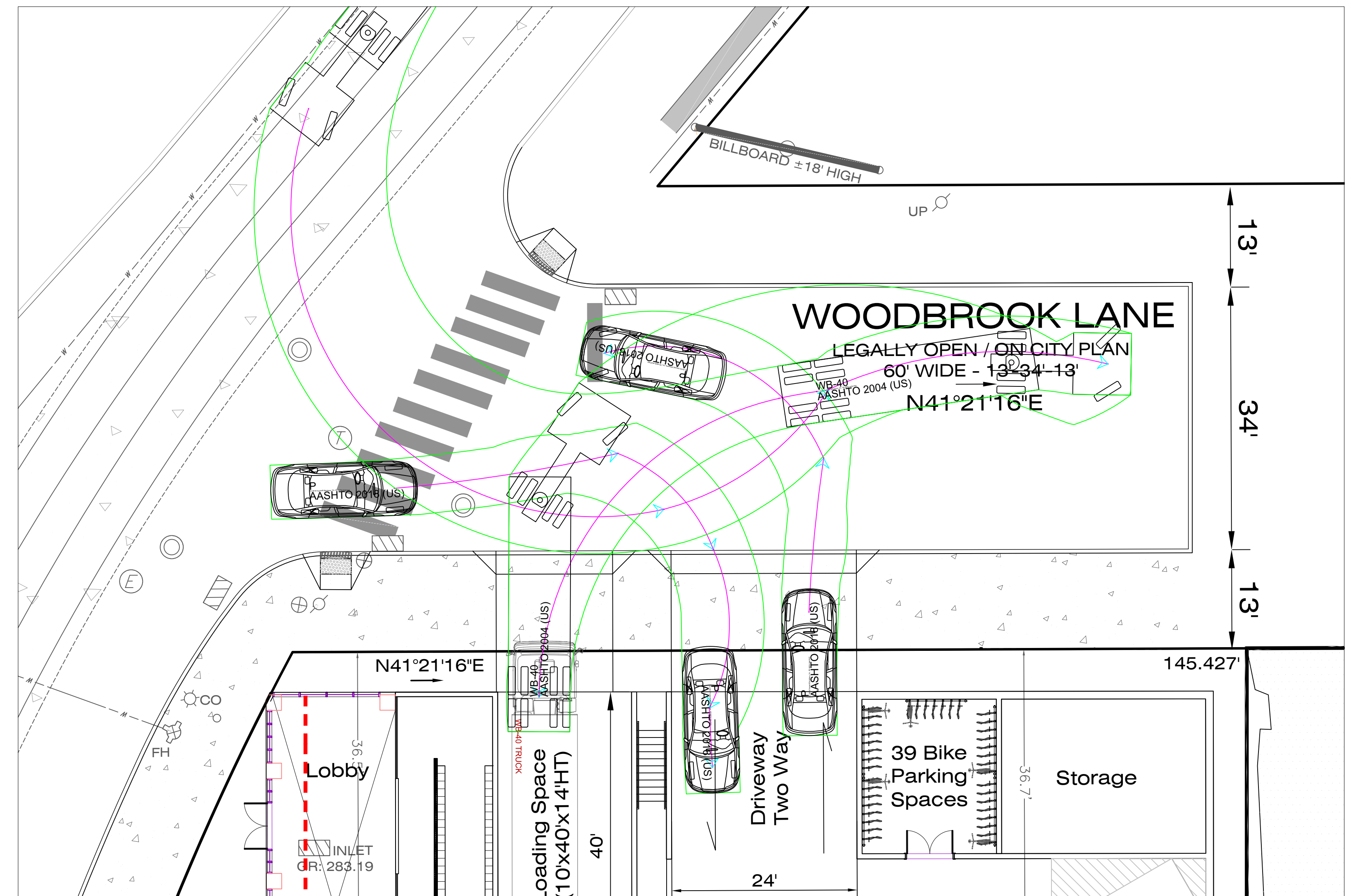
View From Germantown Ave



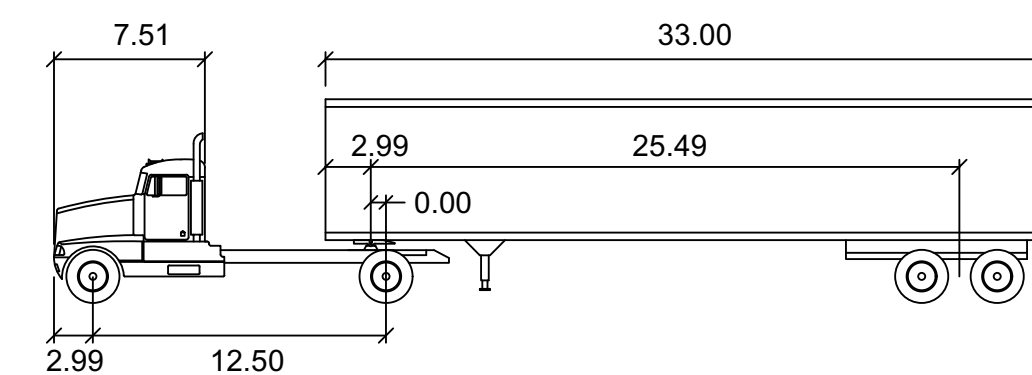
View From Southeast

APPROVED
FOR ZONING ONLY
12/8/21 1,178.44 / 4 = 294.61
WHEN FOUR PLANS CONTAIN ANY DIMENSIONS, THE DIMENSIONS ON THE ELEVATIONS SHALL CONTROL OVER THE DIMENSIONS ON THE PLANS.
APPROVED ELECTRONICALLY BY L&J USER:

Building Height
Roof Elevation: 339.61
Average Grade: 294.61
Building Height: 45'

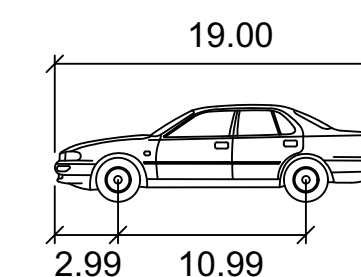


Turning Study
(10 Scale)



WB-40

	Feet		
Tractor Width	: 8.01	Lock to Lock Time	: 6.0 s
Trailer Width	: 8.01	Steering Angle	: 20.3 deg
Tractor Track	: 8.01	Articulating Angle	: 70.0 deg
Trailer Track	: 8.01		



P

	Feet
Width	: 6.99
Track	: 6.00
Lock to Lock Time	: 6.0 s
Steering Angle	: 31.6 deg

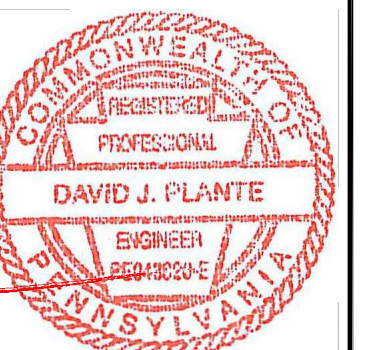


NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

REVISIONS			
1	7-8-21	STREETS COMMENTS	
2	7-12-21	ZONING COMMENTS	

7611-25 GERMANTOWN AVENUE
Philadelphia, PA 19119
9TH WARD - OPA #882041025;#885673220

prepared for:
Blake Development Corp.
10 E. Springfield Ave.
Philadelphia, PA 19118

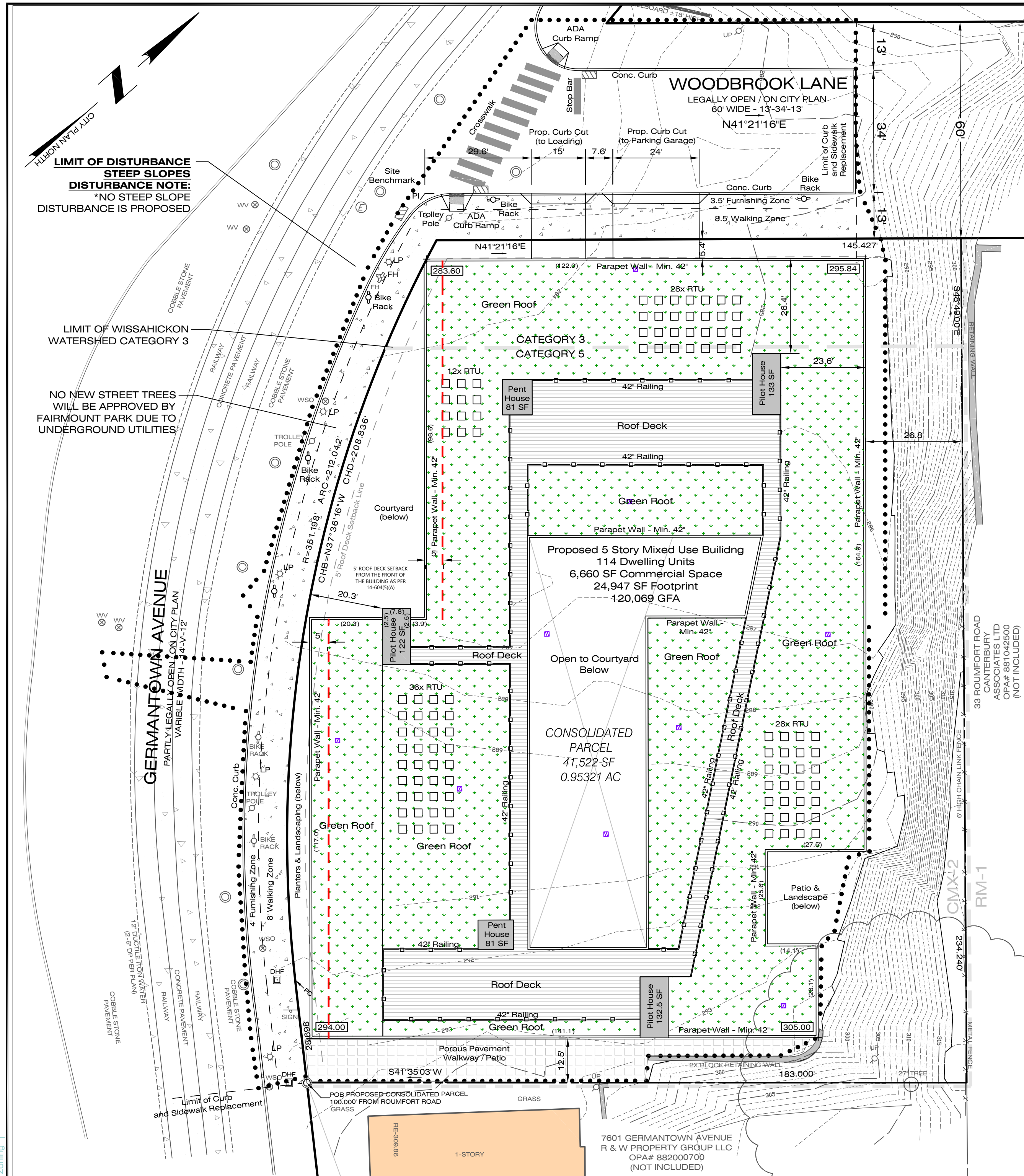


DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: JUNE 29, 2021 Scale: 1" = 20'-0"
[20'] 10' 0' [20']

ZONING SUBMISSION SET
Sheet Title:
ZONING ELEVATIONS
Sheet 2 of 2



ROOF PLAN

CMX-2 COMMERCIAL ZONING CRITERIA

DISTRICT AND LOT DIMENSIONS	Required	Provided
Max. Occupied Area	Corner: 80	60.1%
YARDS		
Min. Side Yard Width, Ea.	5' if used	12.5'
Min. Rear Yard Depth	The greater of 9' or 10% of lot depth	26.8'
HEIGHT		
Max. Height*	38'	45'
Density #+	86 Units 1,480 SF of lot (41,522 SF)	114 Units #+

*Ht. Bonus 14-702 (2.1)
#Green Roof Density Bonus 14-702 (16)(b)
+ Moderate Income Bonus 14-702 (2.2)

WISSAHICKON WATERSHED IMPERVIOUS CATEGORIES

CATEGORY 3 (35% MAX.):
3,673 SF IMPERVIOUS / 4,650 SF TOTAL SF = 79%
CATEGORY 5 (NO LIMIT):
27,884 SF IMPERVIOUS / 36,872 SF TOTAL = 75.6%

MULTI-LEVEL IMPERVIOUS COVERAGE

APPROVED FOR COMMONWEALTH OF PENNSYLVANIA
12/8/21
The proposed impervious coverage in excess of the coverage permitted by § 14-510(a)(a) (Basic Impervious Coverage), above, may be permitted by the Commission, after review and comment from the Department of Public Works and other appropriate City agencies according to the following criteria:
(1) Stormwater leaving the property shall be substantially similar in effect to that under the basic impervious coverage limitation under § 14-510(a)(a) (Basic Impervious Coverage).
(2) Stormwater management measures shall not require excessive or significant maintenance.
(3) Stormwater management measures shall not require excessive or significant maintenance.
(4) Stormwater management measures shall not require excessive or significant maintenance.
(5) Such development must not significantly diminish the infiltration capacity of the site.

UNIT CALCULATION CHART

BASE UNITS:
CMX-2: 1 unit / 480 SF of lot (41,522 SF Lot)
86 units
Green Roof Bonus: 25% Increase
(+21 units) 107 total units
Moderate Income bonus
Moderate = 25%
(+26 units) 133 total units

114 total dwelling units proposed 12 affordable units proposed

MODERATE INCOME HT BONUS CHART:

CMX-2: 7
7 USED: 38' BY CODE, 45' PROPOSED

PARKING CHART

0 Required Spaces
38 Total Spaces Provided
2 Electric Spaces
2 ADA Van Accessible Spaces

1 Loading Space Provided

BIKE PARKING CHART

Residential Component:
- 114 Dwelling Units Proposed
- 1 Bike Parking Space Per 3 Units
- 38 Required Spaces

Commercial Component:
- 6,660 SF Commercial Space
- 1 Bike Parking Space per 10,000 SF
- 1 Required Space

Total:

- 39 Bike Parking Spaces Required
- 39 Bike Parking Spaces Provided (Class 1A) on lower level of building.
- 14 Public Spaces (along sidewalk)

SHARED DRIVEWAY NOTE

RIGHTS TO DRIVEWAY SHARED BY ALL CONDOMINIUM UNIT OWNERS. (MORE THAN 3)

LIMIT OF DISTURBANCE STEEP SLOPES DISTURBANCE NOTE: *NO STEEP SLOPE DISTURBANCE IS PROPOSED

GFA CHART
Lower Level = 2,116.5 SF
1st Floor = 20,310.8 SF
2nd-5th Floor = 97,092.4 SF
Roof = 549.5 SF
Total = 120,069 GFA

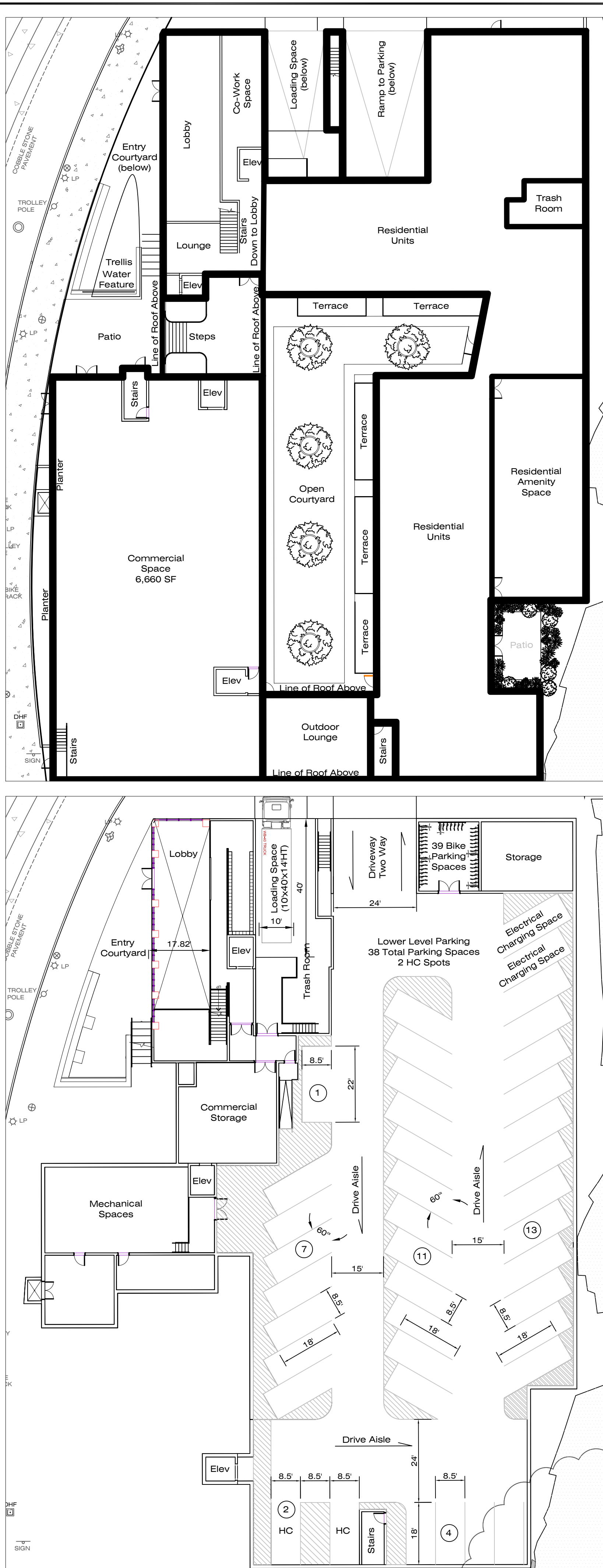
AVERAGE GRADE

283.60 + 294.00 + 295.84 + 305.00 = 1,178.44
1,178.44 / 4 = 294.61
Average Grade = 294.61

Building Height

Roof Elevation: 339.61
Average Grade: 294.61
Building Height: 45'

LOWER LEVEL PLAN



LEGEND

EXISTING FEATURES

- TELECOMMUNICATION MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- CITY INLET
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- UTILITY POLE
- SIGN
- LIGHT STANDARD
- COMBINED SEWER
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD AERIAL LINE
- FENCE LINE
- EXISTING BUILDINGS
- ZONING BOUNDARY LINE
- DEED DIMENSION

PROPOSED FEATURES

- CONCRETE
- BUILDING
- GREEN ROOF
- AMENITY DECK
- ASPHALT PAVING
- LANDSCAPING
- RTU
- ROOF TOP UNIT

Per 14-701(1)(d)(1), the City Planning Commission has determined that:

Germantown is the primary street;
Opposite of **Germantown** Street is the rear;
Street is the rear street

Applied Electronically by: MATT WYSONG

December 15, 2021

PHILADELPHIA CITY PLANNING COMMISSION

UTILITY OWNERS

DATE CONTACTED: June 26, 2019

SERIAL NUMBER: 20191773425

COMPANY: COMCAST
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: ROBERT HARVEY
EMAIL: bob_harvey@cable.comcast.com

COMPANY: POCO ENERGY c/o USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19406
NAKIA SIMPKINS
CONTACT: NAKIA SIMPKINS
EMAIL: nakiasimpkins@usinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: MAUREEN WANGARI
EMAIL: MAUREEN.WANGARI@PHILA.GOV

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: MICHAEL PARZANESE
EMAIL: michael.parzane@pgworks.com

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTVYDAS
EMAIL: dmontvydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 15 MONTGOMERY AVENUE, FLOOR2
PITTSBURG, PA, 15212
CONTACT: DEBORAH D. DELIA
EMAIL: deborah.d.delia@verizon.com

SOURCE OF TITLE

7619-25 Germantown Avenue

Deed between Robert J. Elfant and Ken Weinstein to Ken Weinstein, dated April 30, 2007, being recorded in the City of Philadelphia on May 21, 2007 as Document #ID 51697252.

7611-17 Germantown Avenue

Deed between Robert J. Elfant and Ken Weinstein to Ken Weinstein, dated April 30, 2007, being recorded in the City of Philadelphia on May 21, 2007 as Document #ID 51697251.

PLAN REFERENCES

- *PLAN OF PROPERTY*, made by John T. Campbell, S & R of 9th Survey District, dated October 3, 1947.
- *PLAN OF PROPERTY*, made by Francis X. Burns, S & R of 9th Survey District, dated March 6, 1990.
- CP #P-28-078.

In accordance with the terms and provisions of Section 14-510 of the Philadelphia Code pertaining to:

WISSAHICKON WATERSHED OVERLAY DISTRICT

APPROVED Cat. 3

Applied Electronically by: MATT WYSONG

December 15, 2021

PHILADELPHIA CITY PLANNING COMMISSION

In accordance with the terms and provisions of Section 14-704(2) of the Philadelphia Code pertaining to:

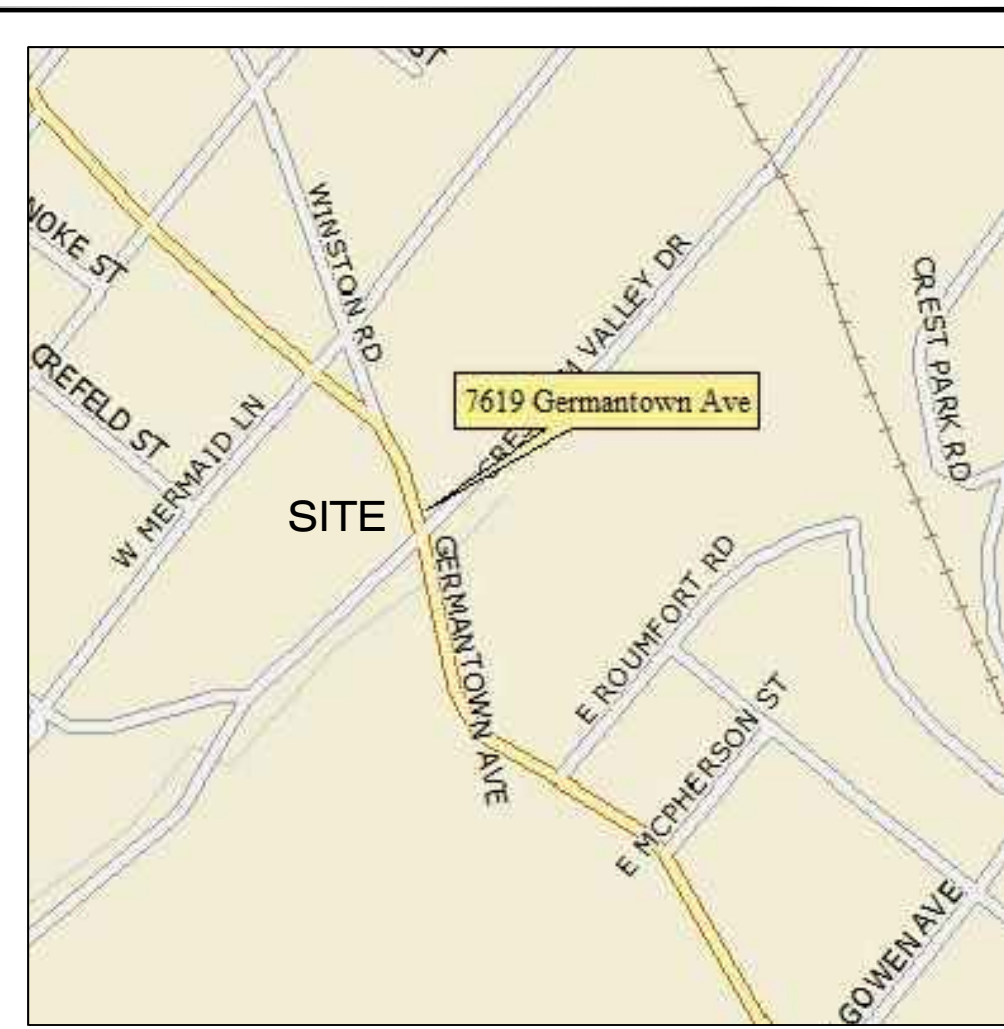
STEEP SLOPE PROTECTION:

APPROVED 0 - 24%
DISAPPROVED >= 25%

Applied Electronically by: MATT WYSONG

December 15, 2021

PHILADELPHIA CITY PLANNING COMMISSION



LOCATION MAP

The property lies within the
WISSAHICKON WATERSHED

NOTES

- Boundary and Location information is based on a field survey performed by Ruggiero Plante Land Design on July 10, 2019.
- Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet.
- The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
- The bearings shown hereon are referenced from 'Plan of Property', made by Francis X. Burns, S&R of 9th Survey District, dated March 6, 1990.
- FEMA FIRM map #4207570089G map revised January 17, 2007 not printed.
- Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
- Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
- Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within the Auto-Oriented Commercial (CA-1) Zoning District.
- A zoning plan is required for any proposed changes to lot lines, including consolidation of existing parcels.
- All elevations shown on plan are based on City Plan # 206 datum. Site benchmark is identified as sewer manhole in Germantown Avenue, with rim elevation 281.94'.



OWNER OF RECORD
7611-25 GERMANTOWN AVENUE
KEN WEINSTEIN
502 W. ALLENS LANE
PHILADELPHIA, PA 19119

NOTE:
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY
ACT 121 OF 2008 REQUIRES THAT CONTRACTORS
DETERMINE THE LOCATION OF ALL UTILITY, SEWER
AND WATER LINES BEFORE COMMENCING
CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF
LOCAL UTILITIES.

REVISIONS				
1	7-8-21	STREETS COMMENTS		
2	7-12-21	ZONING COMMENTS		
3	7-28-21	PRE CDR MEETING		
4	8-4-21	PCPC COMMENTS		
5	8-12-21	ZONING COMMENT		
6	8-30-21	ZONING COMMENT		

7611-25 GERMANTOWN AVENUE
Philadelphia, PA 19119
9TH WARD - OPA #882041025;#885673220

prepared for:
Blake Development Corp.
10 E. Springfield Ave.
Philadelphia, PA 19118

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplanteland.com

Plan Date:
JUNE 29, 2021

Scale: 1" = 20'-0"
20' 10' 0' 20'

ZONING SUBMISSION SET

Sheet Title:
ZONING PLAN
Sheet 1 of 2

Zoning Permit

Permit Number ZP-2021-016334

LOCATION OF WORK 7611-17 GERMANTOWN AVE, Philadelphia, PA 19119-1608	PERMIT FEE \$827.00	DATE ISSUED 12/21/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER TROLLEY CAR DEVELOPMENT L	1300 BETHLEHEM PK STE 21 FLOURTOWN PA 19031
--	---

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE ERECTION OF ONE(1) DETACHED STRUCTURE (45' HIGH); ROOF DECK ACCESSED BY A PILOTHOUSE WITH GREEN ROOF (COVERS MORE THAN 60% OF ROOF AREA)(USING GREEN ROOF BONUS AS PER 14-702(16) (21 UNITS) AND USING MODERATE INCOME ADDITIONAL 7' HEIGHT BUNUS AND MODERATE INCOME ADDITIONAL (12) DWELLING UNITS AS PER 14-702(6) WITH THIRTY EIGHT (38) ACCESSORY UNDER GROUND PARKING GARAGE, TWO(2) ADA VAN ACCESSIBLE SPACES, TWO(2) ELECTRIC VAN SPACES WITH THIRTY-NINE(39) 1A CLASS BICYCLE SPACES IN AN

APPROVED USE(S) Residential - Household Living - Multi-Family; Vacant
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-016334

ACCESSIBLE ROUTE AT CELLAR AND ONE(1) LOADING SPACE
SIZE AND LOCATION AS SHOWN IN THE APPLICATION.



APPROVED USE(S)

Residential - Household Living - Multi-Family; Vacant

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - **30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - **3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - **60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-016334

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

7611-17 GERMANTOWN AVE, Philadelphia, PA 19119-1608

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A VACANT COMMERCIAL SPACE AT FIRST FLOOR FRONT (in cmx-2 zoning district; buildings must contain a use along one hundred percent (100%) of the ground floor frontage and within the first 30 ft. of building depth, measured from the front building line) AT FIRST FLOOR WITH MULTI-FAMILY HOUSEHOLD LIVING(114 DWELLING UNITS) (USING GREEN ROOF BONUS AND USING MODERATE HOUSING INCOME BONUS) .

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.