

STRUCTURAL ENGINEER:
BEVAN E. LAWSON, P.E.
2200 ARCH STREET, UNIT 107
PHILADELPHIA, PA 19103
TEL: (215) 988-9321

OFFICE: 267-800-3540
CIVIL ENGINEER:
BOHLER ENGINEERING
 1515 MARKET STREET, SUITE 92
 PHILADELPHIA, PA 19102
 TEL: (267) 402-3400

**REISSUE FOR
ZONING BOARD
REVIEW**

9-29-21

310 W. GIRARD
RESIDENTIAL COMPLEX
310-30 WEST GIRARD AVENUE
PHILADELPHIA, PA 19123

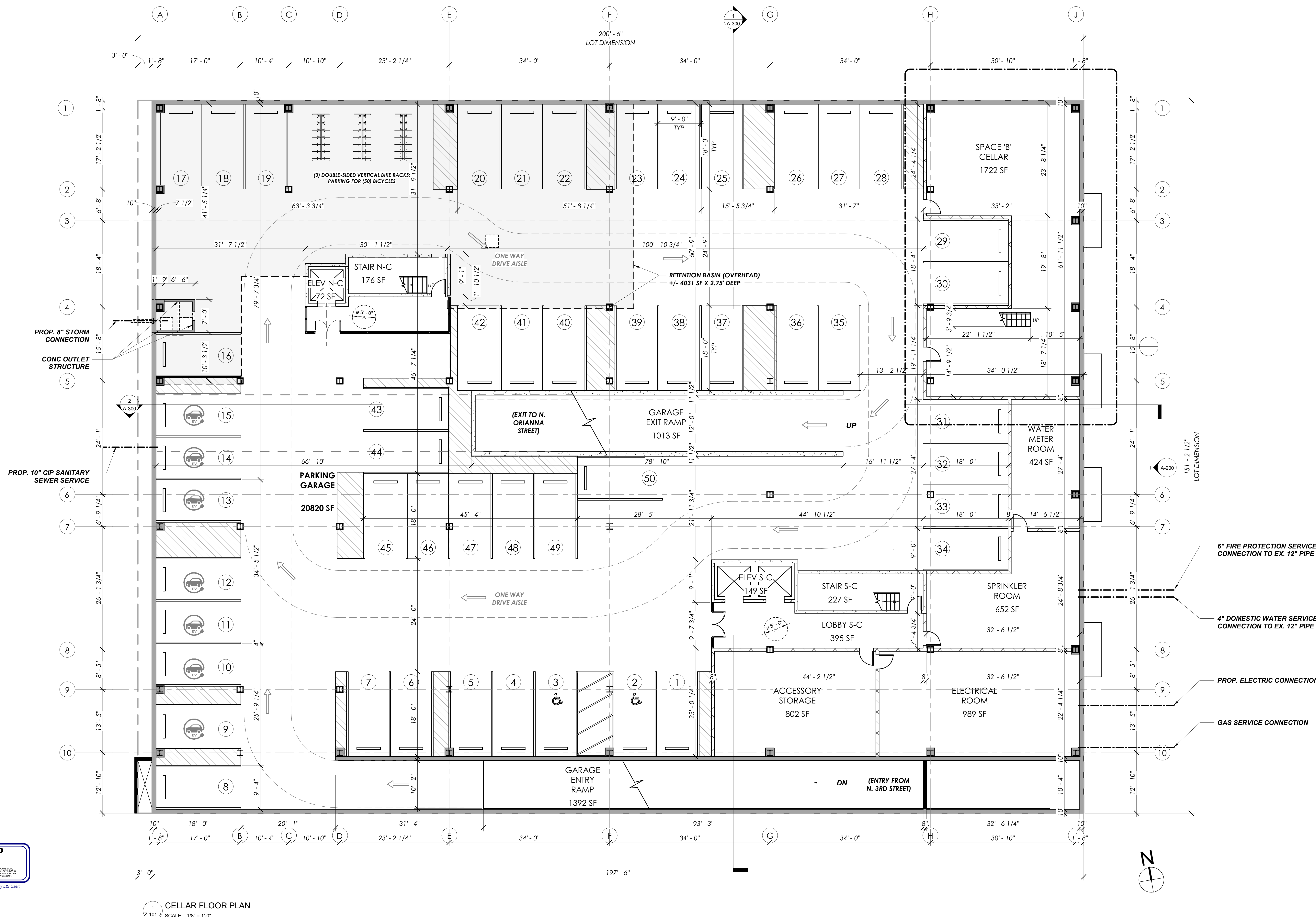
TITLE: PROPOSED CELLAR PLAN

DWG. NO. Z-101.2

DRAWN BY: APPROVED BY: SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

1. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL & COLUMN DESIGN
2. REFER TO SHORING DRAWINGS FOR EXCAVATION AND SHORING DESIGN.
3. REFER TO MEP DRAWINGS FOR UTILITIES DESIGN.
4. ALL PARTITIONS INTERIOR TO UNITS OR NOT OTHERWISE NOTED TO BE PARTITION TYPE 3.
5. SEE SHEET A100.4 FOR BICYCLMVE PARKING DETAILS.



IMAGES- EXISTING ADA CURB RAMPS



IMAGE #7: ADA RAMP - ORIANNA & GIRARD



IMAGE #8: ADA RAMP 3RD & GIRARD SE CORNER EAST SIDE FACING 3RD ST



IMAGE #9: ADA RAMP 3RD & GIRARD SE CORNER EAST SIDE FACING GIRARD



IMAGE #10: ADA RAMP 3RD & GIRARD SW CORNER WEST SIDE

IMAGES- 3RD & GIRARD AVENUE



IMAGE #7: 3RD ST LOOKING STRAIGHT



IMAGE #8: GIRARD LOOKING EAST



IMAGE #9: GIRARD LOOKING STRAIGHT



IMAGE #9: GIRARD LOOKING WEST

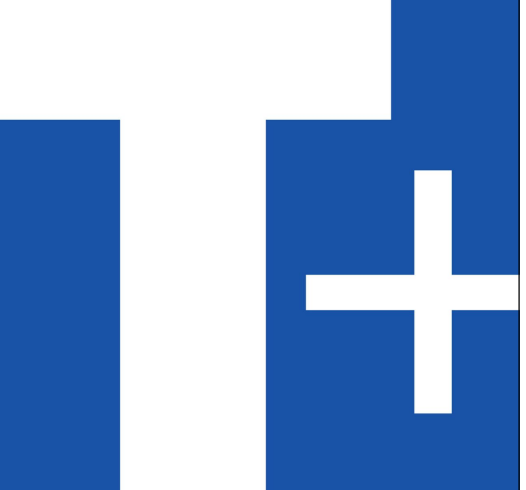
IMAGES- ORIANNA STREET



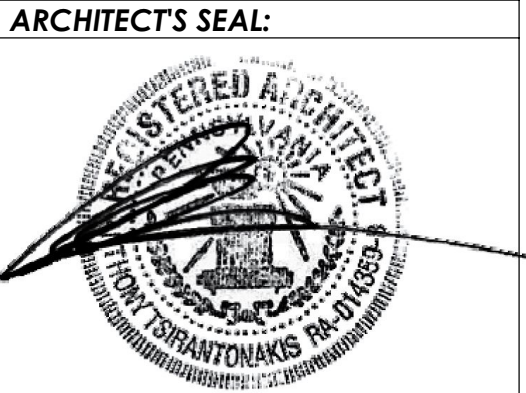
APPROVED
FOR ZONING ONLY
12/14/21
Applied Electronically by L&L User:

APPROVED

Revised plans, 6 pages, approved by ZBA 9/29/21.
Sharon Suleta
Sharon Suleta, Esq.



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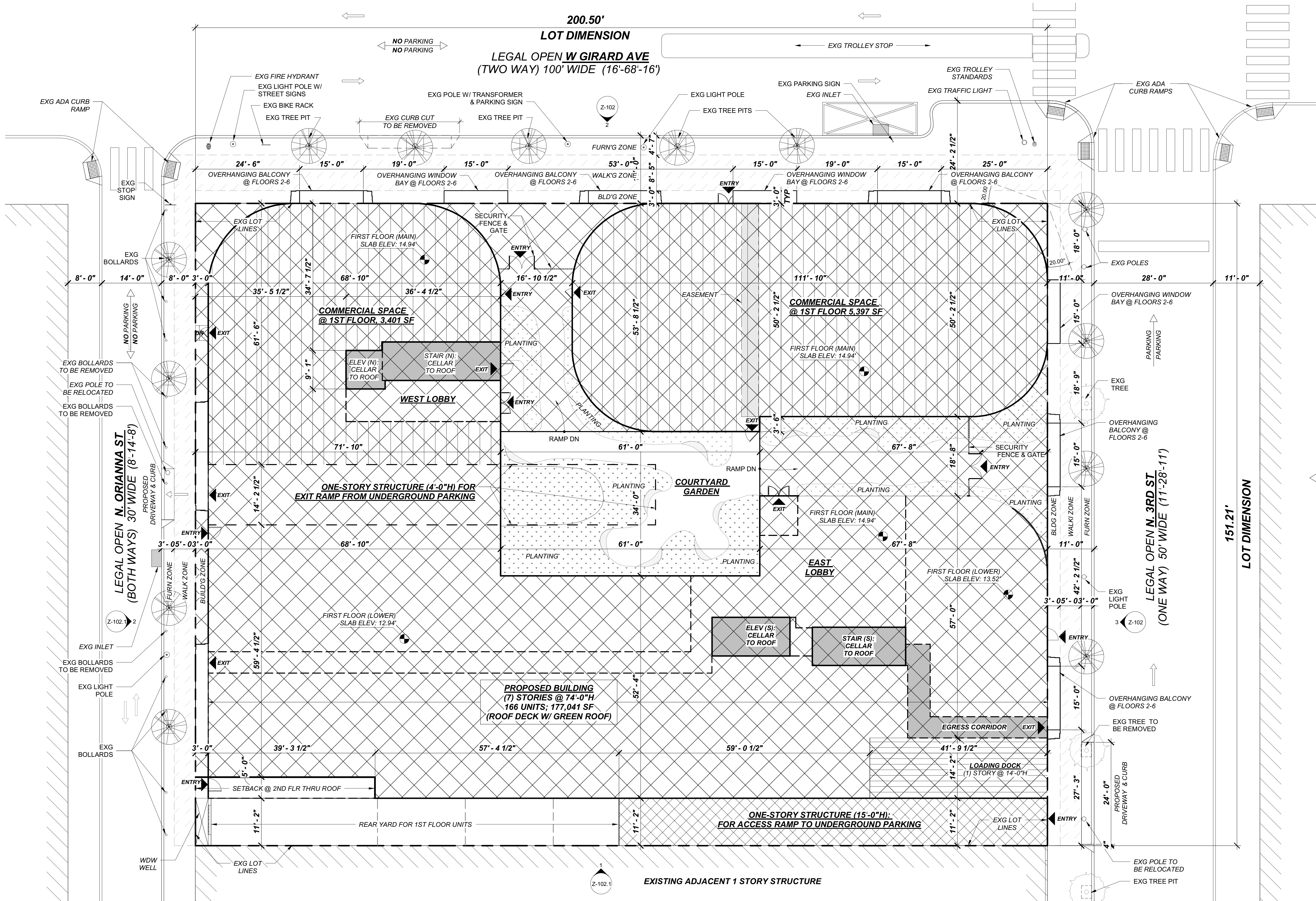
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PHILADELPHIA, PA 19123

TITLE:
ADDITIONAL SITE PHOTOS
DWG. NO.
Z-100.1
DRAWN BY: PG
APPROVED BY: AT
SCALE:
JOB#: 2103-003



1 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

SITE PLAN LEGEND

- PROPOSED 7 STORY BUILDING
- PROPOSED 7 STORY BUILDING ABOVE 2ND FLOOR
- PROPOSED 1 STORY LOADING AREA
- PROPOSED COMMERCIAL SPACE
- STAIR/ELEVATOR SHAFT ENCLOSURE
- EGRESS CORRIDOR TO PUBLIC WAY
- COURTYARD AREA W/ LANDSCAPE PLANTING BED
- EXISTING UNDERGROUND EASEMENT
- ADJACENT PROPERTY
- PROPOSED STREET TREE W/ PIT
- EXISTING STREET TREE W/ PIT
- BUILDING ENTRY/EXIT

ALL PROPERTY LINES (LOT DIMENSIONS) ARE IN DISTRICT STANDARD.

APPROVED

Revised plans, 6 pages, approved by
ZBA 9/29/21.
Sharon Suleta
Sharon Suleta, Esq.

ZONING ANALYSIS: 310 WEST GIRARD AVE. PHILADELPHIA, PA 19134				
DISTRICT:	ICMX			
USE:	INDUSTRIAL COMMERCIAL MIXED-USE	VACANT LOT	MULTI- UNIT DWELLINGS WITH 1ST FLOOR RETAIL	NO
SITE DESCRIPTION:	A CORNER LOT BOUNDED BY (3) PUBLIC STREETS: GIRARD AVE., N. 3RD ST., & N. ORIANNA ST. FRONTAGE ON GIRARD AVE.			
LOT WIDTH:	---	200' - 6" X 151' - 2.5"	NO CHANGE	YES
LOT AREA:	---	30,318.00 SF	NO CHANGE	YES
LOT COVERAGE:	100%	0 %	86% (25,989.46 SF)	YES
REAR YARD:	8 FT	---	11' - 2"	YES
FLOOR AREA:	---	0 SF	177,041 SF	---
F.A.R:	500 % MAX.	0 %	584 %	NO
HEIGHT/STORIES:	60 FT MAX.	---	74' - 0" / 7 STORIES	NO
# OF UNITS:	---	---	166 RESIDENTIAL UNITS	---
PARKING SPACES:	49	---	50	YES
ACCESSIBLE PARKING SPACES:	2	---	2	YES
EVP PARKING SPACES:	3	---	6	YES
BICYCLE PARKING:	50	---	50	YES
AREA OF GREEN ROOF:	---	---	7,006 SF	---

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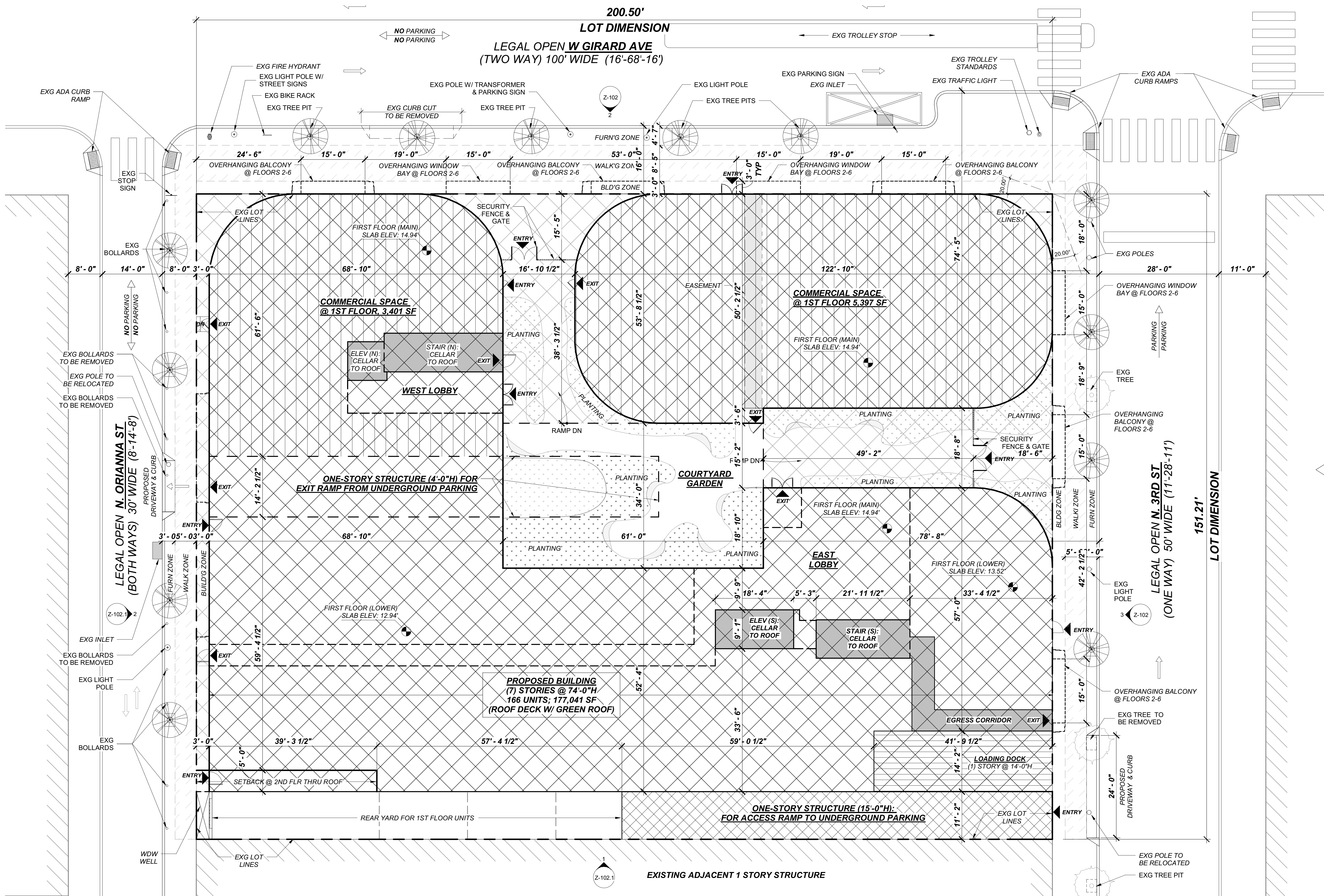
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RESIDENTIAL COMPLEX
310-30 WEST GIRARD AVENUE
PHILADELPHIA, PA 19123

TITLE:
PROPOSED SITE PLAN
DWG. NO.
Z-101

DRAWN BY: PG
APPROVED BY: AT
SCALE: As Indicated
JOB#: 2103-003



1 PROPOSED SITE PLAN AT GRADE
Z-101.1 SCALE: 1" = 10'-0"

ZONING ANALYSIS: 310 WEST GIRARD AVE. PHILADELPHIA, PA 19134

DISTRICT:	ICMX			
USE:	INDUSTRIAL COMMERCIAL MIXED-USE	VACANT LOT	MULTI- UNIT DWELLINGS WITH 1ST FLOOR RETAIL	NO
SITE DESCRIPTION:	A CORNER LOT BOUNDED BY (3) PUBLIC STREETS: GIRARD AVE., N. 3RD ST., & N. ORIANNA ST. FRONTAGE ON GIRARD AVE.			
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LOT COVERAGE:	100%	0 %	86% (25,989.46 SF)	YES
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FLOOR AREA:	---	0 SF	177,041 SF	---
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BICYCLE PARKING:	50	---	50	YES
AREA OF GREEN ROOF:	---	---	7,006 SF	---

SITE PLAN LEGEND

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- PROPOSED 7 STORY BUILDING ABOVE 2ND FLOOR
- PROPOSED 1 STORY LOADING AREA
- PROPOSED COMMERCIAL SPACE
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TITLE: PROPOSED SITE PLAN AT GRADE
DWG. NO. Z-101.1

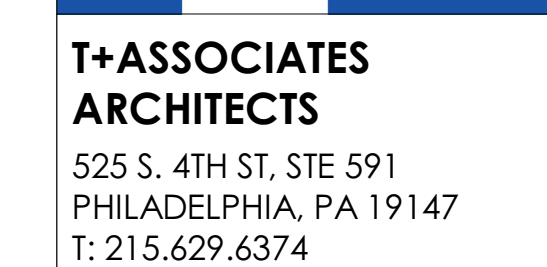
DRAWN BY: PG
APPROVED BY: AT
SCALE: As Indicated
JOB#: 2103-003

APPROVED

Revised plans, 6 pages, approved by
ZBA 9/29/21. Sharon Suleta
Sharon Suleta, Esq.

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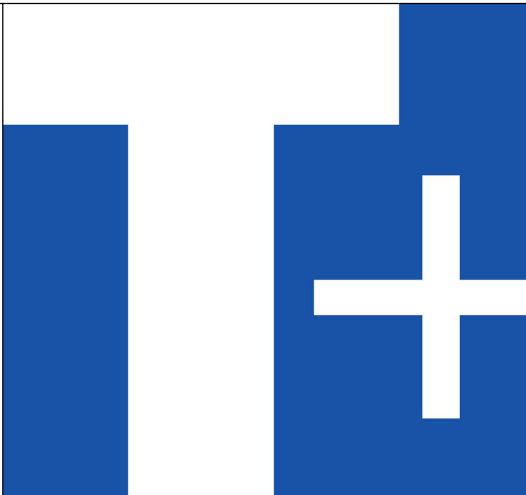
TITLE: ZONING ELEVATIONS

DWG. NO. Z-102

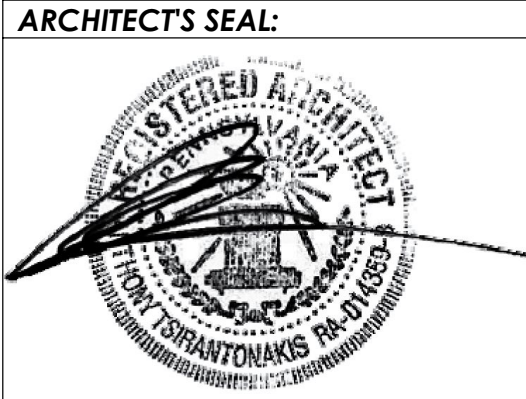


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310-30 WEST GIRARD AVENUE
PHILADELPHIA, PA 19123

TITLE:
ZONING ELEVATIONS
DWG. NO.
Z-102.1

DRAWN BY: PG
APPROVED BY: AT
SCALE: 1"=10'-0"
JOB#: 2103-003



1 SOUTH ELEVATION
Z-102.1 SCALE: 1"=10'-0"



2 WEST ELEVATION (N. ORIANNA ST.)
Z-102.1 SCALE: 1"=10'-0"



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Sharon Suleta
Sharon Suleta, Esq.

Zoning Permit

Permit Number ZP-2021-016188

LOCATION OF WORK 310 W GIRARD AVE, Philadelphia, PA 19123-1505	PERMIT FEE \$1,072.00	DATE ISSUED 9/29/2021
	ZBA CALENDAR	ZBA DECISION DATE 9/29/2021
	ZONING DISTRICTS ICMX	

PERMIT HOLDER 310 GIRARD LLC	1477 PACIFIC STREET SUITE 1 B BROOKLYN NY 11213
---------------------------------	---

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR ERECTION OF DETTACHED STRUCTURE WITH UNDERGROUND PARKING GARAGE AND GREEN ROOF WITH ROOF ACCESS STRUCTURES (THE APPLICANT MUST EXECUTE AND RECORD A DEED RESTRICTION PRIOR TO ISSUE CERTIFICATE OF OCCUPANCY IN FAVOR OF THE CITY, APPROVED AS TO FORM BY THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA) Revised plans, six pages, approved today. (MI-2021-002314)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-016188

GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND WHICH ALLOWS THE CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS). SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLAN.



APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)

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Zoning Permit

Permit Number ZP-2021-016188

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

310 W GIRARD AVE, Philadelphia, PA 19123-1505

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

EXTENSION OF ZONING PERMIT ZP-2021-016188 FOR 1-YEAR FROM THE EXPIRATION DATE (UNTIL 12/14/25) IN ACCORDANCE WITH SECTION 14-303(10)(d) OF THE PHILADELPHIA ZONING CODE. NO CHANGES TO PERMIT LANGUAGE.FOR VACANT COMMERCIAL SPACES ON FIRST FLOOR (USES AS PERMITTED IN ICMX, USE REGISTRATION PERMIT IS REQUIRED PRIOR TO OCCUPANCY) AND FOR MULTI-FAMILY HOUSEHOLD LIVING ONE HUNDRED SIXTY-SIX (166) DWELLING UNITS, AND ACCESSORY OFF STREET INTERIOR PARKING FIFTY (50) SPACES INCLUDING TWO (2) ACCESSIBLE SPACES (INCLUDING VAN ACCESSIBLE SPACE), SEVEN (7) ELECTRIC PARKING SPACES AND FIFTY (50) CLASS 1A BICYCLE PARKING SPACES ON AN ACCESSIBLE ROUTE AND ONE (1) OFF STREET LOADING SPACE. SIZE AND LOCATION AS SHOWN IN THE APPLICATION /PLAN.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.