

Zoning Permit

Permit Number ZP-2021-016353

LOCATION OF WORK 2025 N 29TH ST, Philadelphia, PA 19121-5210	PERMIT FEE \$1,311.00	DATE ISSUED 12/17/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER 2023 N 29TH ST LLC	2025 N 29TH ST PHILADELPHIA, PA 19121-
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT **Amendment dated 11/4/2024 to remove parking, reduce height to 42 feet, and to reduce size of roof deck, as per revised plan.** FOR THE ERECTION OF ONE (1) DETACHED STRUCTURE WITH CELLAR AND AN ACCESSORY ROOF DECK (FOR RESIDENTIAL USE ONLY) WITH ROOF ACCESS STRUCTURE. (LOW INCOME BONUS APPLIED: AN ADDITIONAL 7 FT HEIGHT BONUS APPLIED TO THIS PERMIT (14-702(7)(b)(.6) AND (c)); AND GREEN ROOF BONUS APPLIED (THE APPLICANT MUST EXECUTE
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APPROVED USE(S) Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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AND RECORD A DEED RESTRICTION PRIOR TO ISSUE CERTIFICATE OF OCCUPANCY IN FAVOR OF THE CITY, APPROVED AS TO FORM BY THE LAW DEPARTMENT, WHICH REQUIRES THE GREEN ROOF TO BE CONSTRUCTED AND MAINTAINED, AT A MINIMUM, IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES, WHERE APPLICABLE, AND WITH WATER DEPARTMENT STANDARDS, FOR THE LIFE OF THE BUILDING; AND WHICH ALLOWS THE CITY TO INSPECT THE GREEN ROOF FOR, OR DEMAND PROOF OF, CONTINUED COMPLIANCE WITH THOSE REQUIREMENTS). SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLAN.



APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



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- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2025 N 29TH ST, Philadelphia, PA 19121-5210

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

****Amendment dated 11/4/2024 to remove parking, reduce height to 42 feet, and to reduce size of roof deck, as per revised plan.**FOR MULTI-FAMILY HOUSEHOLD LIVING TOTAL NINETY-FOUR (94) DWELLING UNITS (GREEN ROOF BONUS ADDITIONAL 15 UNITS APPLIED AND LOW INCOME BONUS ADDITIONAL 18 UNITS APPLIED TO THIS PERMIT (14-702(7)(B) (.6) AND (C); INCLUDING ALL BONUSES TOTAL 94 UNITS) AND ACCESSORY OFF STREET INTERIOR PARKING TWENTY-EIGHT (28) SPACES INCLUDING TWO (2) ACCESSIBLE SPACES (INCLUDING 1 VAN ACCESSIBLE SPACE), ONE (1) ELECTRIC PARKING SPACES AND THIRTY-TWO (32) OFF STREET BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE.**

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

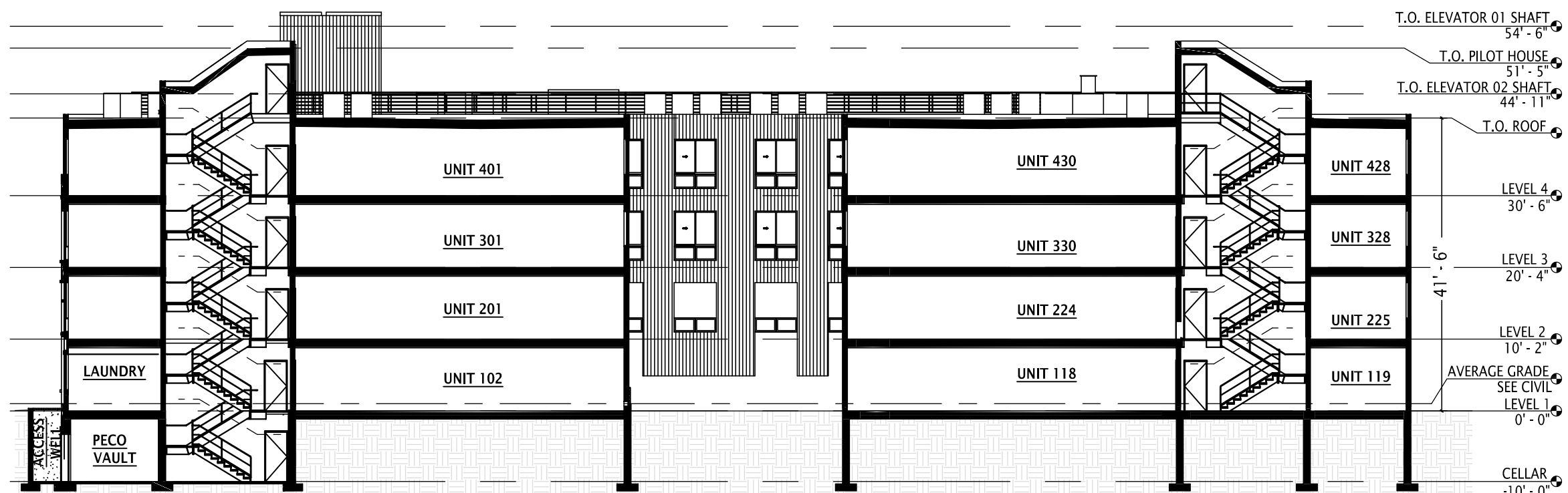
GENERAL NOTES:

1. THIS PLAN REFERENCES A SURVEY BY: CORNERSTONE CONSULTING ENGINEERING & DESIGN SERVICES, INC. 213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19446 PLAN ENTITLED: "BOUNDARY/LOCATION & TOPOGRAPHIC SURVEY" PLAN DATED: 1/23/2019
2. OWNER/APPLICANT: 2023 N 29TH ST LLC 1516 N 5TH ST, SUITE 507, PHILADELPHIA PA 19122
3. PROJECT LOCATION INFORMATION: 2025 N 29TH STREET, OPA #88-1000217 CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PENNSYLVANIA 19121
4. ZONING INFORMATION: ZONING DISTRICT: RM-1, RESIDENTIAL MULTI FAMILY-1 EXISTING USE: VACANT LOT PROPOSED USE: MULTI-FAMILY (94 UNITS)
- SECTION 14-602(3)(a)(1): IN THE RM-1 DISTRICT, THE MINIMUM LOT AREA REQUIRED PER DWELLING UNIT IS AS FOLLOWS,
(A) A MINIMUM 360 SQ. FT. OF LOT AREA IS REQUIRED PER DWELLING UNIT FOR THE FIRST 1,440 SQ. FT. OF LOT AREA.
(B) A MINIMUM OF 480 SQ. FT. OF LOT AREA IS REQUIRED PER DWELLING UNIT FOR THE LOT AREA IN EXCESS OF 1,440 SQ. FT.
- PERMITTED # OF UNITS:
28,800 SF LOT AREA, 1,440 SF / 360 SF = 4 UNITS + (28,800-1,440 SF) / 480 SF = 57 UNITS
TOTAL PERMITTED UNITS = 61 UNITS
PER SECTION 14-702(1)(6), A GREEN ROOF IS PROPOSED FOR A 25% GREATER NUMBER OF DWELLING UNITS
PERMITTED ADDITIONAL UNITS = 61 * 1.25 = 76.25 UNITS
PER SECTION 14-702(7), 10% OF THE UNITS ARE PROPOSED TO BE MODERATE INCOME UNITS
PERMITTED ADDITIONAL UNITS = 76.25 * 1.25 = 95.31 UNITS = 95 UNITS PERMITTED
PER THE MIXED INCOME HOUSING ZONING BONUS APPLICANT ACKNOWLEDGMENT FORM:
(2)(c). PROJECT TO RECEIVE BUILDING HEIGHT, ADDITIONAL BUILDING HEIGHT = 7 FT EARNED; 7 FT USED
DWELLING UNIT DENSITY, ADDITIONAL UNITS = 19 EARNED; 18 USED
(2)(c). PROJECT TO PROVIDE AFFORDABLE HOUSING, TOTAL DWELLING UNITS = 94 (INCLUDING 10 AFFORDABLE DWELLING UNITS)
5. ZONING BULK AND AREA REQUIREMENTS:
RM-1 ZONING DISTRICT:
- | REQUIRED | PROPOSED |
|--------------------------|-------------------|
| MIN. LOT WIDTH: | 16 FT |
| MIN. LOT AREA: | 1,440 SF [1] |
| MAX. OCCUPIED AREA: | 74.9% (21,580 SF) |
| MIN. FRONT YARD SETBACK: | [5][6] 0 FT |
| MIN. SIDE YARD DEPTH: | 2/5 FT EACH |
| MULTIFAMILY DETACHED: | 8.8/5.0 FT |
| MIN. REAR YARD DEPTH: | 9 FT [9] |
| MIN. REAR YARD AREA: | 144 FT [9] |
| MAX. BUILDING HEIGHT: | 38 FT [5] |

*PER SECTION 14-702(7) 10% OF UNITS ARE PROPOSED TO BE MODERATE INCOME = 7' BLDG HEIGHT BONUS (38' + 7' = 45' PERMITTED)

- [1] IN THE RM-1 DISTRICT, A LOT CONTAINING AT LEAST 1,920 SQ. FT. OF LAND MAY BE DIVIDED INTO LOTS WITH A MINIMUM LOT SIZE OF 960 SQ. FT., PROVIDED THAT:
(a) AT LEAST 75% OF LOTS ADJACENT TO THE LOT TO BE DIVIDED ARE 1,000 SQ. FT. OR LESS; AND
(b) EACH OF THE LOTS CREATED MEETS THE MINIMUM LOT WIDTH REQUIREMENT OF THE ZONING DISTRICT.
- [2] IN THE RM-1 DISTRICT, BUILDINGS ON LOTS LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MAXIMUM OCCUPIED AREA REQUIREMENT.
- [5] IF ABUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORES OF ENCLOSED AREA, STORES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT. FROM THE MINIMUM DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE DESCRIBED IN § 14-701(2)(B)(6) BELOW, EXCEPT THIS REQUIREMENT SHALL NOT APPLY TO CORNER LOTS.
- [6] IN THE RM-1 DISTRICT, FRONT FACADES SHALL COMPLY WITH THE FOLLOWING:
(a) ON ANY GIVEN STREET, THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE NO GREATER THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE GREATER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE; AND SHALL BE NO LESS THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE LESSER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE.
(b) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL MATCH THE DISTANCE BETWEEN THE FRONT FACADE ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE ZERO.
(c) IF THE PROPERTY IS BOUNDED BY TWO OR MORE STREETS, ONLY THE PRIMARY FRONTAGES AS DESIGNATED IN § 14-701(1)(D)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT FACADE REQUIREMENTS OF (A) AND (B) ABOVE.
- [9] IN THE RM-1 DISTRICT, LOTS LESS THAN 45 FT. IN DEPTH SHALL BE EXEMPT FROM REAR YARD AREA REQUIREMENTS BUT SHALL PROVIDE A MINIMUM REAR YARD DEPTH OF 7 FT
6. PARKING REQUIREMENTS:
REQUIRED: 0 PARKING SPACES FOR MULTI-FAMILY IN THE RM-1 ZONING DISTRICT
PROPOSED: 0 PARKING SPACES
7. BICYCLE PARKING REQUIREMENTS:
1 BICYCLE SPACE FOR EVERY 3 UNITS = 94 UNITS / 3 = 32 BICYCLE SPACE REQUIRED; 32 PROPOSED.
"ALL BICYCLE SPACES ARE CLASS 1A, PROVIDED ALONG AN ACCESSIBLE ROUTE, AND BIKE RACKS SHALL BE PROVIDED SO TO SECURE BICYCLES SEPARATELY (SEC. 14-804(2) & (3) COMPLIANCE)
8. THIS PLAN IS TO BE USED FOR GRAPHICAL REPRESENTATION OF THE PHYSICAL FEATURES OF THE PROPERTY AND NOT TO BE USED FOR CONSTRUCTION. THE BUILDING FOOTPRINT IS CONCEPTUAL ONLY AND ESTABLISHES A BUILDING ENVELOPE IN WHICH THE FINAL BUILDING FOOTPRINT WILL BE GENERALLY LOCATED. THE FINAL BUILDING FOOTPRINT SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT ISSUANCE AND SHALL BE GENERALLY AS CONFIGURED ON THE PLAN WITH AN OVERALL SQUARE FOOTAGE NOT TO EXCEED THE TOTAL SHOWN ON THE APPROVED PLAN.
9. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
10. THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION OR COLOR SEAL ARE NOT VALID.
11. BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD. MAP ENTITLED, "FIRM, FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA(ALL JURISDICTIONS)," PANEL 181 OF 230, MAP NUMBER 4207570181G, REVISED JANUARY 17, 2007.
12. THE APPLICANT IS PROPOSING TO CONSTRUCT A 4-STORIED BUILDING CONSISTING OF 94 APARTMENT UNITS WITH SITE IMPROVEMENTS.
13. THE WATERSHED FOR THE SITE IS THE SCHUYLKILL RIVER.
14. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS SUPPLIED THROUGH THE PA ONE CALL SYSTEM WHICH WERE AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
15. THE ENTIRE SITE CONTAINS U - URBAN LAND SOIL (PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY).
16. THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT, AS LISTED IN THE RIGHT OF WAY IMPROVEMENT STANDARD, CHAPTER 1. STANDARD NOTES PER THE CITY STREETS DEPARTMENT FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

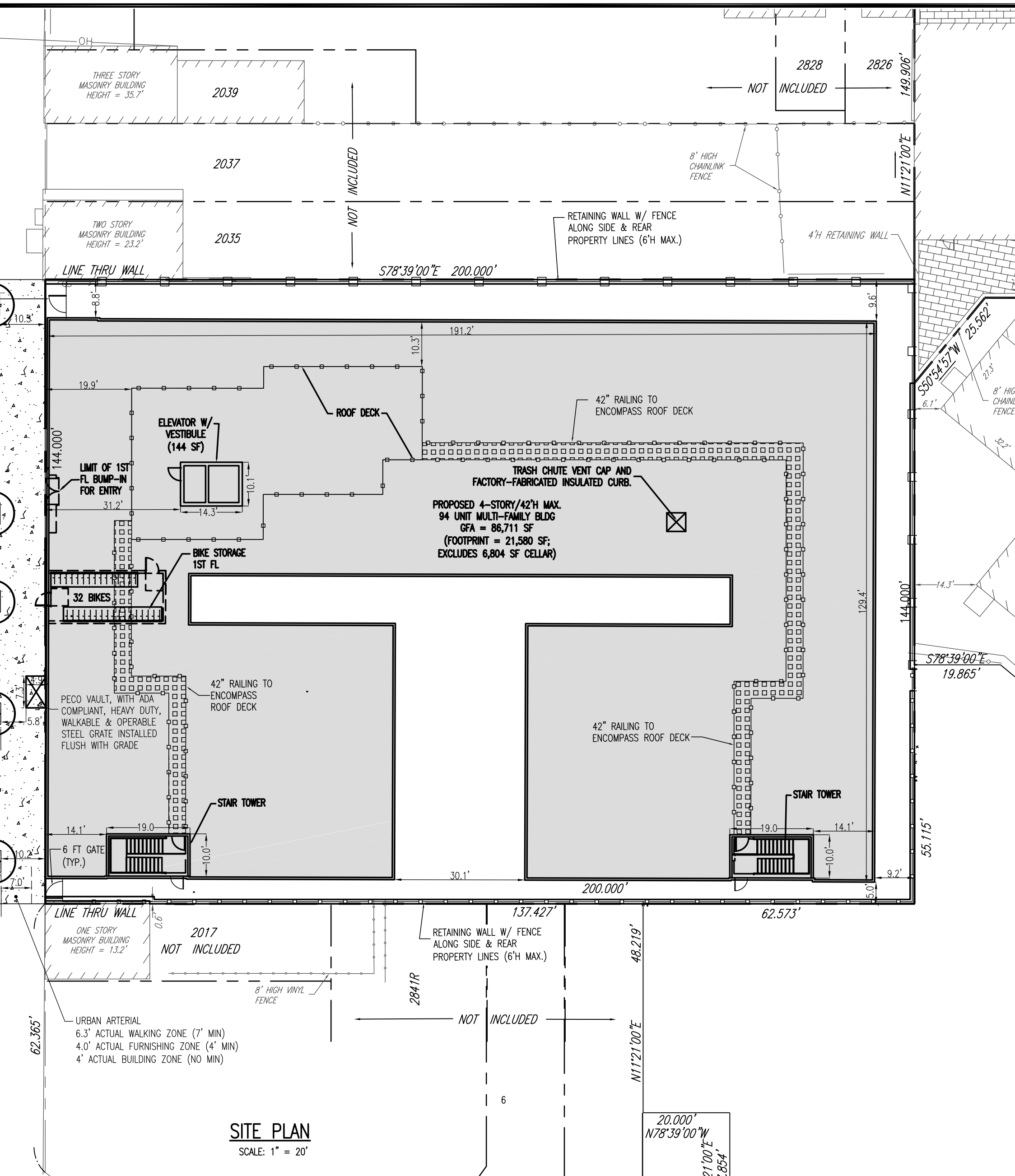
- A. ALL PROPOSED CURB AND FOOTWAY CONSTRUCTION AND ROADWAY RESTORATION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL NO. SD0101.
B. ALL PROPOSED BICYCLE RACKS WITHIN THE RIGHT-OF-WAY SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAILS FZ0101A, FZ0101B AND FZ0101C.
C. ADDITIONALLY, THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT ARE THE FOLLOWING:
- CONSTRUCTION ITEMS: PENNDOT PUB. 408 CONSTRUCTION SPECIFICATIONS (MOST CURRENT EDITION)
- STREET LIGHTING: PHILADELPHIA STREETS DEPARTMENT, STREET LIGHTING AND TRAFFIC DIVISION SPECIFICATIONS.
- TRAFFIC SIGNALS: PHILADELPHIA STREETS DEPARTMENT, STREET LIGHTING AND TRAFFIC DIVISION SPECIFICATIONS.
- SPECIAL PROVISIONS: SPECIAL PROVISIONS, NOT INCLUDED WITHIN THE PENNDOT PUBLICATION 408, WILL BE DEVELOPED AND MAINTAINED BY THE STREETS DEPARTMENT'S DESIGN UNIT.
- STANDARD DETAILS: PHILADELPHIA STREETS DEPARTMENT STANDARD DETAILS WILL BE THE STANDARD FOR ALL ROADWAY CONSTRUCTION IN THE CITY OF PHILADELPHIA. WHERE NO CURRENT STANDARD EXISTS, THE MOST RECENT EDITION OF THE PENNDOT ROADWAY CONSTRUCTION STANDARDS AND DESIGN MANUALS WILL APPLY. A LIST OF ALL CURRENT STREETS DEPARTMENT STANDARD DETAILS IS AVAILABLE AT: <https://www.philadelphistreets.com/customer-service/downloads-and-links/>



BUILDING SECTION SOUTH VIEW

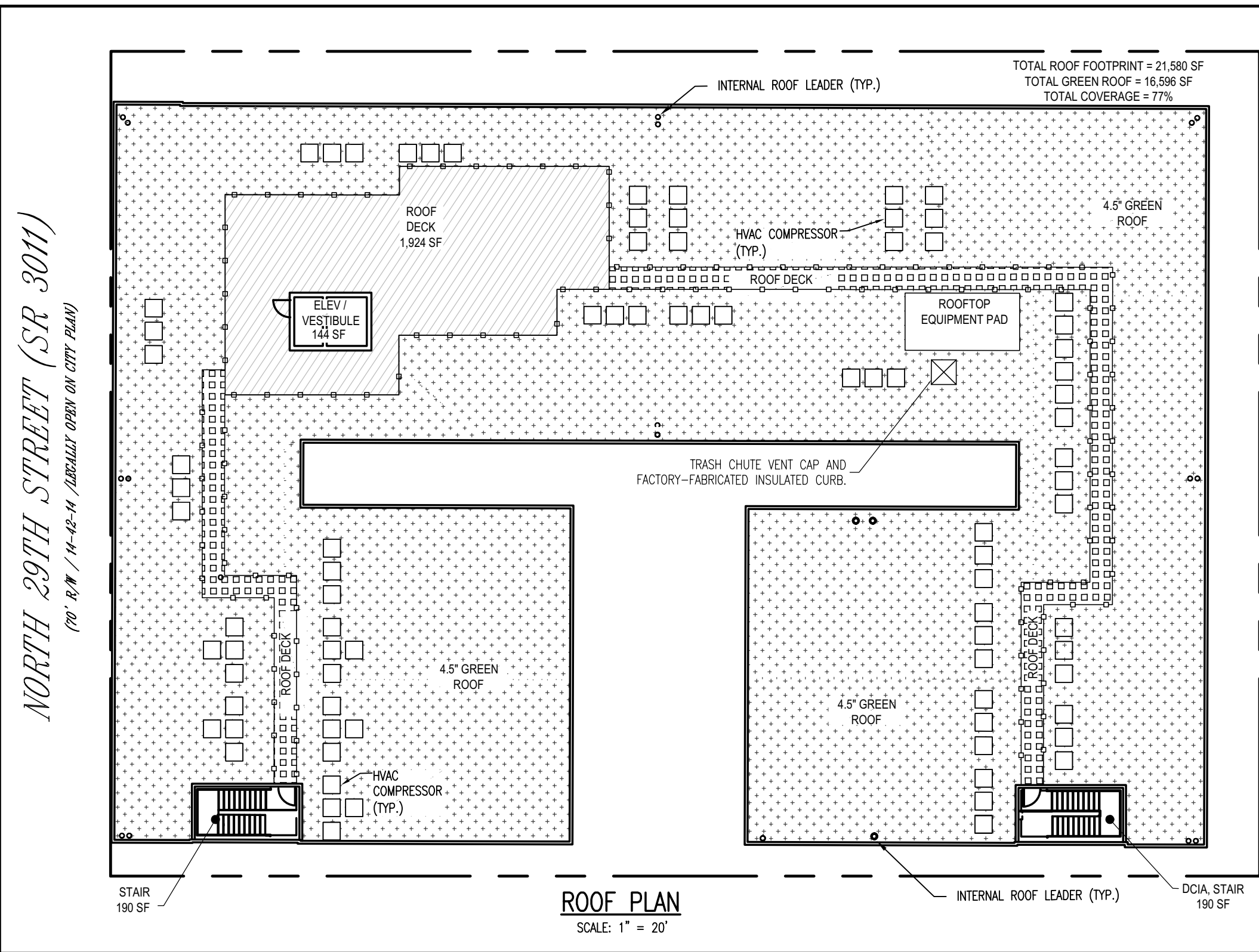
NORTH 29TH STREET (SR 3011)

RIDGE AVENUE (R.R. 15-42-14, ADJACENT OPEN ON CITY PLAN)



SITE PLAN

SCALE: 1" = 20'

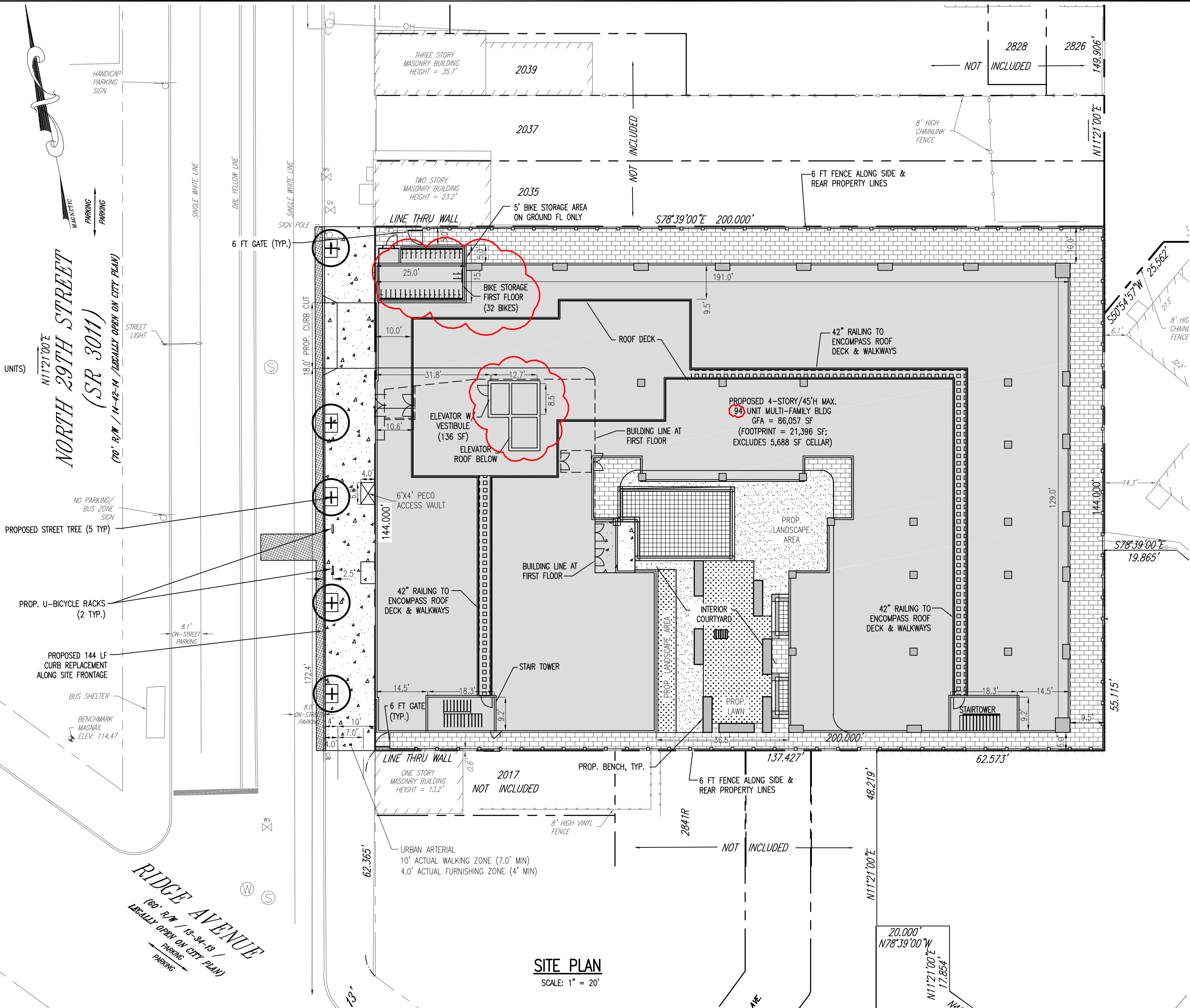


GENERAL NOTES:

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- OWNER/APPLICANT: 2023 N 29TH ST LLC PO BOX 15169 PHILADELPHIA PA 19130
- PROJECT LOCATION INFORMATION: 2019 N. 29TH STREET, OPA #88-1299289* 2027 N. 29TH STREET, OPA #88-1299287* CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PENNSYLVANIA 19121 *PROPOSED LOT CONSOLIDATION.
- ZONING INFORMATION: ZONING DISTRICT: RM-1, RESIDENTIAL FAMILY-1 EXISTING USE: VACANT LOT PROPOSED USE: MULTI-FAMILY (94 UNITS) SECTION 14-602(3)(a)(1): IN THE RM-1 DISTRICT, THE MINIMUM LOT AREA REQUIRED PER DWELLING UNIT IS AS FOLLOWS: (A) A MINIMUM 360 SQ. FT. OF LOT AREA IS REQUIRED PER DWELLING UNIT FOR THE FIRST 1,440 SQ. FT. OF LOT AREA (B) A MINIMUM OF 480 SQ. FT. OF LOT AREA IS REQUIRED PER DWELLING UNIT FOR THE LOT AREA IN EXCESS OF 1,440 SQ. FT. PERMITTED # OF UNITS: 28,800 SQ. LOT AREA, 1,440 SF / 360 SF = 4 UNITS + (28,800-1,440 SF) / 480 SF = 57 UNITS TOTAL PERMITTED UNITS = 61 UNITS PER SECTION 14-702(1)(b), A GREEN ROOF IS PROPOSED FOR A 25% GREATER NUMBER OF DWELLING UNITS PERMITTED ADDITIONAL UNITS = 61 * 1.25 = 76.25 UNITS PER SECTION 14-702(7), 10% OF THE UNITS ARE PROPOSED TO BE MODERATE INCOME UNITS PERMITTED ADDITIONAL UNITS = 76.25 * 1.25 = 95.31 UNITS = 95 UNITS PERMITTED PER THE MIXED INCOME HOUSING ZONING BONUS APPLICANT ACKNOWLEDGEMENT FORM: 2(c). PROJECT TO RECEIVE BUILDING HEIGHT, ADDITIONAL BUILDING HEIGHT = 7 FT EARNED; 7 FT USED DWELLING UNIT DENSITY, ADDITIONAL UNITS = 19 EARNED, 18 USED 2(c). PROJECT TO PROVIDE AFFORDABLE HOUSING, TOTAL DWELLING UNITS = 94 (INCLUDING 10 AFFORDABLE DWELLING UNITS)
- ZONING BULK AND AREA REQUIREMENTS: RM-1 ZONING DISTRICT: REQUIRED RM-1 PROPOSED MIN. LOT WIDTH: 16 FT 144 FT MIN. LOT AREA: 1,440 SF [1] 28,800 SF MAX. OCCUPIED AREA: 75% INTERMEDIATE LOT 74% (21,285 SF) MIN. FRONT YARD SETBACK: [5] 6 0 FT MIN. SIDE YARD DEPTH: 2/5 EACH 2/5 EACH MULTIFAMILY DETACHED: 9 FT [9] 9.5 FT MIN. REAR YARD DEPTH: 144 FT [9] 1368 SF MIN. REAR YARD AREA: 38 FT [5] 45 FT* *PER SECTION 14-702(7) 10% OF UNITS ARE PROPOSED TO BE MODERATE INCOME = 7' BLDG HEIGHT BONUS (38' + 7' = 45' PERMITTED)

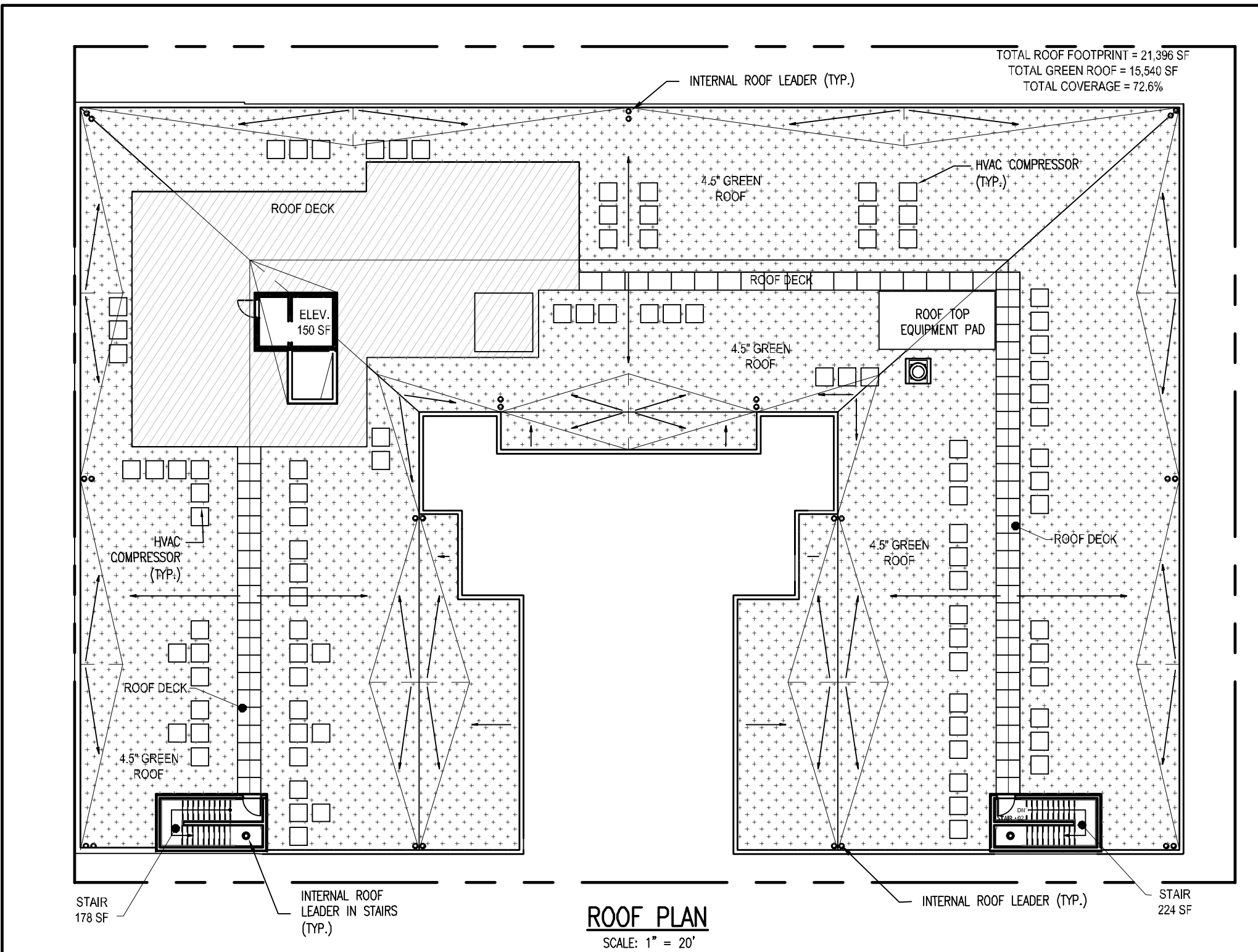
- IN THE RM-1 DISTRICT, A LOT CONTAINING AT LEAST 1,920 SQ. FT. OF LAND MAY BE DIVIDED INTO LOTS WITH A MINIMUM LOT SIZE OF 960 SQ. FT., PROVIDED THAT: (a) AT LEAST 75% OF LOTS ADJACENT TO THE LOT TO BE DIVIDED ARE 1,000 SQ. FT. OR LESS; AND (b) EACH OF THE LOTS CREATED MEETS THE MINIMUM LOT WIDTH REQUIREMENT OF THE ZONING DISTRICT.
- IN THE RM-1 DISTRICT, BUILDINGS ON LOTS LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT.
- IF ABUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORES OF ENCLOSED AREA, STORES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT. FROM THE MINIMUM SETBACK SHOWN IN THIS TABLE EXCEPT THIS REQUIREMENT SHALL NOT APPLY TO CORNER LOTS.
- IN THE RM-1 DISTRICT, FRONT SETBACKS SHALL COMPLY WITH THE FOLLOWING: (a) ON ANY GIVEN STREET, THE FRONT SETBACK SHALL BE NO DEEPER THAN THE FRONT SETBACK OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE DEEPEST FRONT SETBACK; AND SHALL BE NO SHALLOWER THAN THE FRONT SETBACK OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE SHALLOWEST FRONT SETBACK (b) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE FRONT SETBACK SHALL MATCH THE FRONT SETBACK OF THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM FRONT SETBACK SHALL BE ZERO. (c) IF THE PROPERTY IS BOUNDED BY TWO OR MORE STREETS, ONLY THE PRIMARY FRONTAGES AS DESIGNATED IN § 14-701(1)(d)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT SETBACK REQUIREMENTS OF (A) AND (B) ABOVE
- IN THE RM-1 DISTRICT, LOTS LESS THAN 45 FT. IN DEPTH SHALL BE EXEMPT FROM REAR YARD AREA REQUIREMENTS BUT SHALL PROVIDE A MINIMUM REAR YARD DEPTH OF 7 FT
- PARKING REQUIREMENTS: REQUIRED: 0 PARKING SPACES FOR MULTI-FAMILY IN THE RM-1 ZONING DISTRICT PROPOSED: 28 PARKING SPACES, INCLUDING 2 HANDICAP SPACES AND 1 ELECTRIC CAR SPACE
- BICYCLE PARKING REQUIREMENTS: 1 BICYCLE SPACE FOR EVERY 3 UNITS = 94 UNITS / 3 = 32 BICYCLE SPACE REQUIRED; 32 PROVIDED. *ALL BICYCLE SPACES ARE CLASS 1A, PROVIDED ALONG AN ACCESSIBLE ROUTE, AND BIKE RACKS SHALL BE PROVIDED SO TO SECURE BICYCLES SEPARATELY (SEC. 14-804(2) & (3) COMPLIANCE)
- THIS PLAN IS TO BE USED FOR GRAPHICAL REPRESENTATION OF THE PHYSICAL FEATURES OF THE PROPERTY AND NOT TO BE USED FOR CONSTRUCTION. THE BUILDING FOOTPRINT IS CONCEPTUAL ONLY AND ESTABLISHES A BUILDING ENVELOPE IN WHICH THE FINAL BUILDING FOOTPRINT WILL BE GENERALLY LOCATED. THE FINAL BUILDING FOOTPRINT SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT ISSUANCE AND SHALL BE GENERALLY AS CONFIGURED ON THE PLAN WITH AN OVERALL SQUARE FOOTAGE NOT TO EXCEED THE TOTAL SHOWN ON THE APPROVED PLAN.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION OR COLOR SEAL ARE NOT VALID.
- BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD. MAP ENTITLED: "FIRM, FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA(ALL JURISDICTIONS)", PANEL 181 OF 230, MAP NUMBER 4207570181G, REVISED JANUARY 17, 2007.
- THE APPLICANT IS PROPOSING TO CONSTRUCT A 4-STORY BUILDING CONSISTING OF 90 APARTMENT UNITS WITH SITE IMPROVEMENTS.
- THE WATERSHED FOR THE SITE IS THE SCHUAKILL RIVER.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS SUPPLIED THROUGH THE PA ONE CALL SYSTEM WHICH WERE AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THE ENTIRE SITE CONTAINS UG - URBAN LAND SOIL (PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY).
- THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT, AS LISTED IN THE RIGHT OF WAY IMPROVEMENT STANDARD, CHAPTER 1. STANDARD NOTES PER THE CITY STREETS DEPARTMENT FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

- ALL PROPOSED CURB AND FOOTWAY CONSTRUCTION AND ROADWAY RESTORATION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL NO. S20101.
- ALL PROPOSED BICYCLE RACKS WITHIN THE RIGHT-OF-WAY SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAILS F20101A, F20101B AND F20101C.
- ADDITIONALLY, THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT ARE THE FOLLOWING:
 - CONSTRUCTION ITEMS: PENNDOT PUB. 408 CONSTRUCTION SPECIFICATIONS (MOST CURRENT EDITION)
 - STREET LIGHTING: PHILADELPHIA STREETS DEPARTMENT, STREET LIGHTING AND TRAFFIC DIVISION SPECIFICATIONS.
 - TRAFFIC SIGNALS: PHILADELPHIA STREETS DEPARTMENT, STREET LIGHTING AND TRAFFIC DIVISION SPECIFICATIONS.
 - SPECIAL PROVISIONS: SPECIAL PROVISIONS, NOT INCLUDED WITHIN THE PENNDOT PUBLICATION 408, WILL BE DEVELOPED AND MAINTAINED BY THE STREETS DEPARTMENT'S DESIGN UNIT.
 - STANDARD DETAILS: PHILADELPHIA STREETS DEPARTMENT STANDARD DETAILS WILL BE THE STANDARD FOR ALL ROADWAY CONSTRUCTION IN THE CITY OF PHILADELPHIA. WHERE NO CURRENT STANDARD EXISTS, THE MOST RECENT EDITION OF THE PENNDOT ROADWAY CONSTRUCTION STANDARDS AND DESIGN MANUALS WILL APPLY. A LIST OF ALL CURRENT STREETS DEPARTMENT STANDARD DETAILS IS AVAILABLE AT: <https://www.philadelphiasstreets.com/customer-service/downloads-and-uns/>



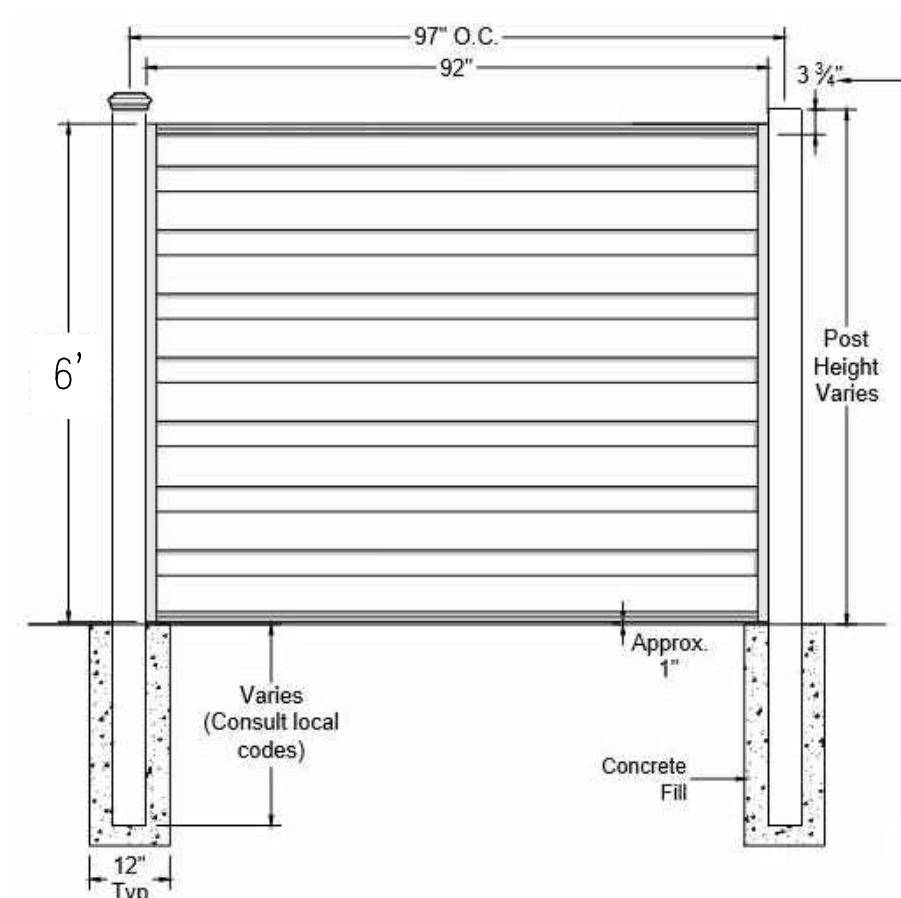
SITE PLAN

SCALE: 1" = 20'



ROOF PLAN

SCALE: 1" = 20'



FENCE DETAIL FOR PARKING LOT
SCREEN TO RESIDENTIAL DISTRICT

PROPOSED HORIZONTAL WOOD FENCING WITH A MINIMUM 75% OPACITY. THE SIDE OF THE FENCE PRESENTING A MORE FINISHED APPEARANCE, OR THE SIDE WITHOUT BRACING SUPPORTS, SHALL FACE THE NEIGHBORING PROPERTIES.

LANDSCAPE ZONING CODE COMPLIANCE CHART

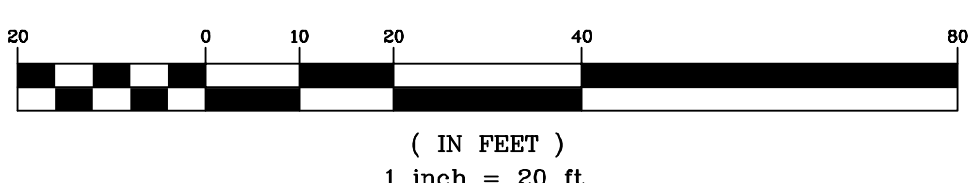
	REQUIRED	PROVIDED
1. SECTION 14-705(2) - STREET TREES		
1 TREE / 35 LINEAR FEET OF FRONTAGE		
PARCEL A: N. 29TH STREET, STREET TREES (2" CAL): 144 LF* / 35 = 4.1	4.1	5

*STREET TREES SHALL BE ON THE APPROVED STREET TREE LIST PUBLISHED BY PARKS & RECREATION DEPT.

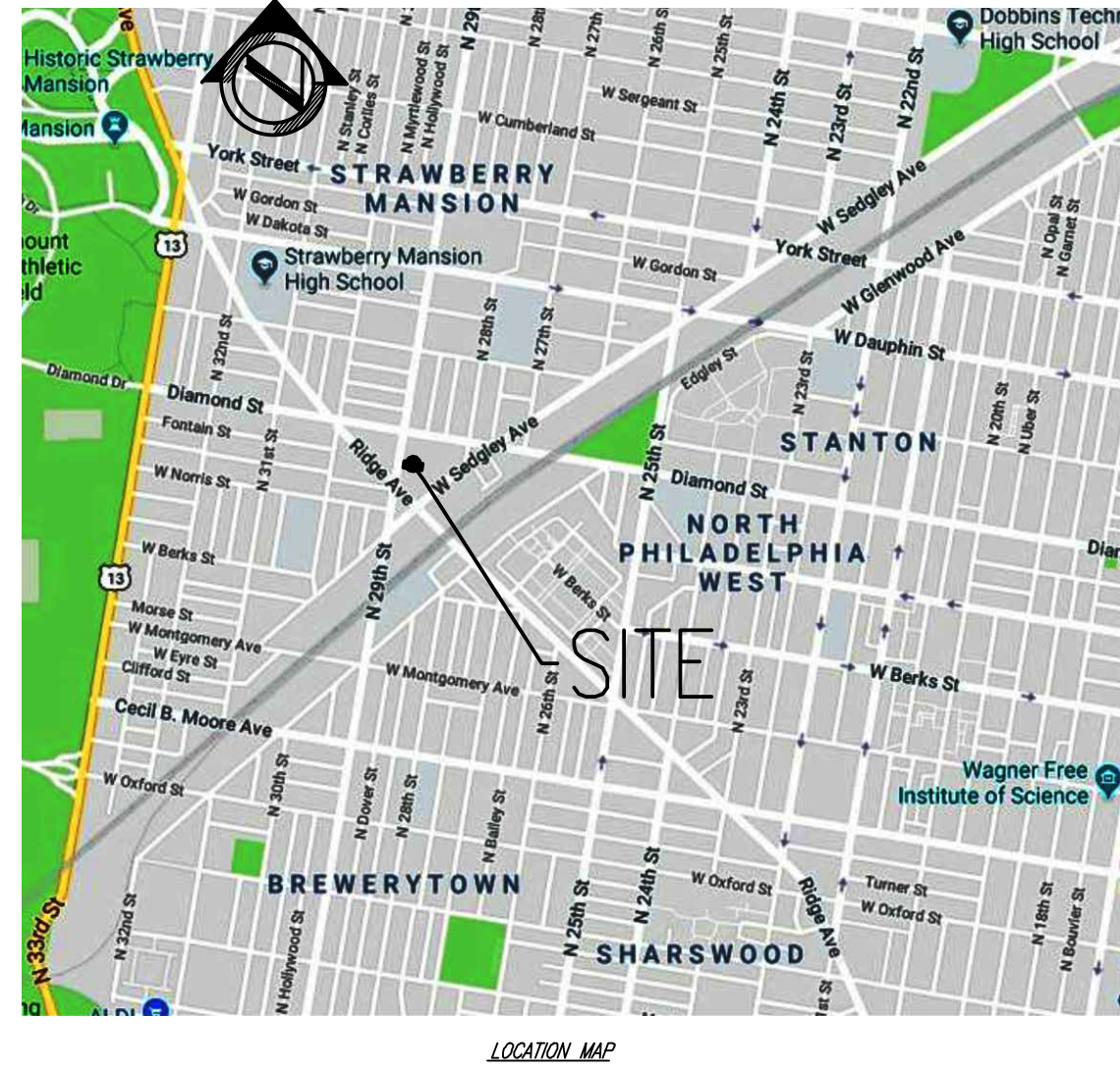
LEGEND & ABBREVIATIONS

- PROPERTY BOUNDARY
- ADJACENT BOUNDARY
- BUILDING SETBACK LINE
- EXISTING FENCE
- OH
- EXISTING OVERHEAD WIRE
- EXISTING SIGN
- EXISTING UTILITY POLE (UP)
- SEWER MANHOLE
- COMMUNICATION MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- STORM INLET
- UTILITY VALVE
- PROP. BUILDING AREA
- PROP. 4.5" GREEN ROOF AREA
- PROP. ROOF DECK PAVEMENT AREA
- PROP. PERVIOUS PAVEMENT AREA
- PROP. CONCRETE AREA
- PROP. ROOF DECK AREA
- STREET TREES

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.

213 West Main Street, Lansdale, PA 19446
Phone: 610-820-8200
WWW.CORNERSTONE1.COM

Pocono Region
570-839-1770

Philadelphia Region
215-362-2600

NO	BY	DESCRIPTION	DATE
1	DB	REVIEW PER L&S REVIEW	6/10/2021
2	DB	REVIEW PER CDR REVIEW	10/1/2021
3	DB	REVIEW PER ARCHITECTURAL UPDATE	10/26/2021

PENNSYLVANIA

ONE CALL SYSTEM, INC.

925 Twin Run Road
West Mifflin, Pennsylvania
15122-1079

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR REMEDIATE

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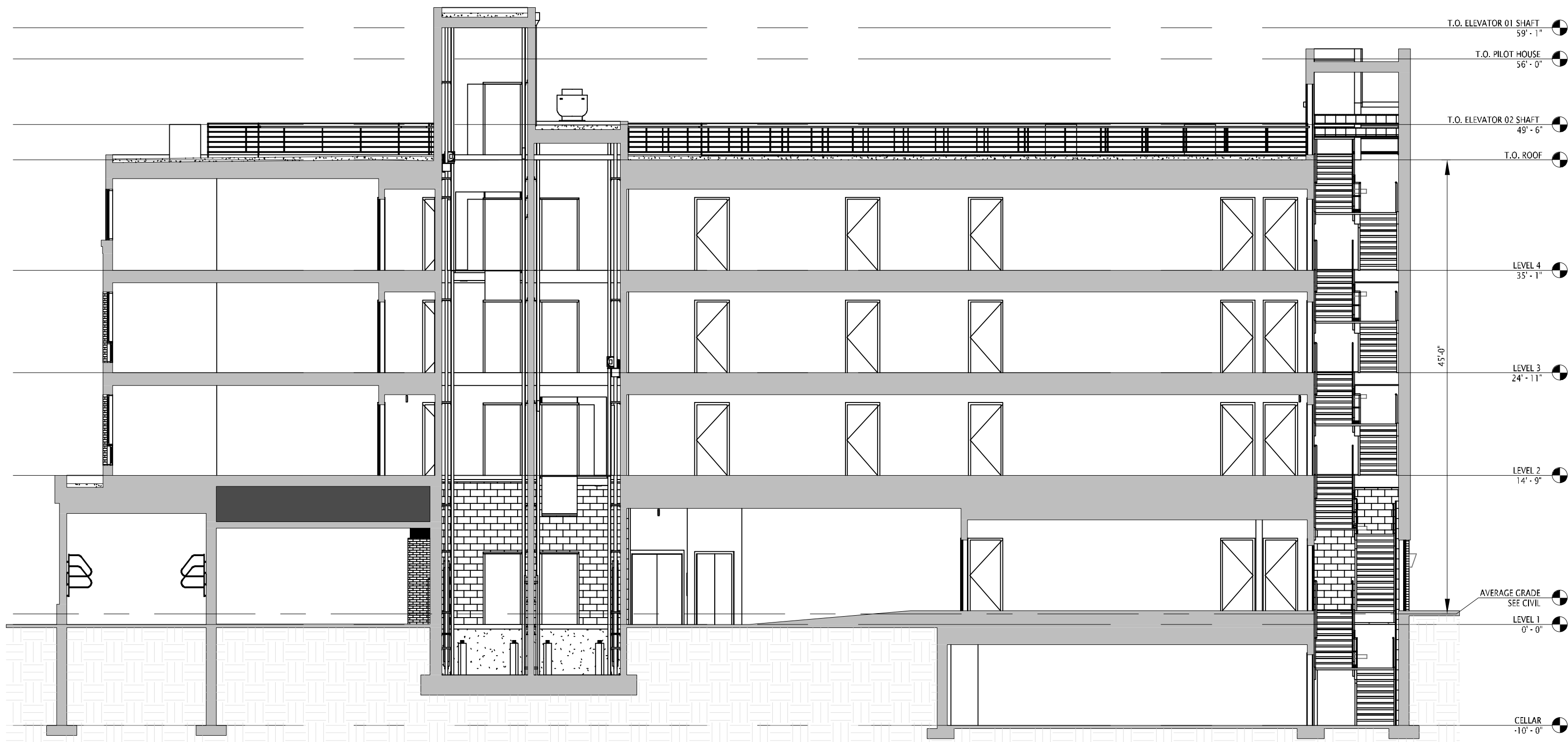
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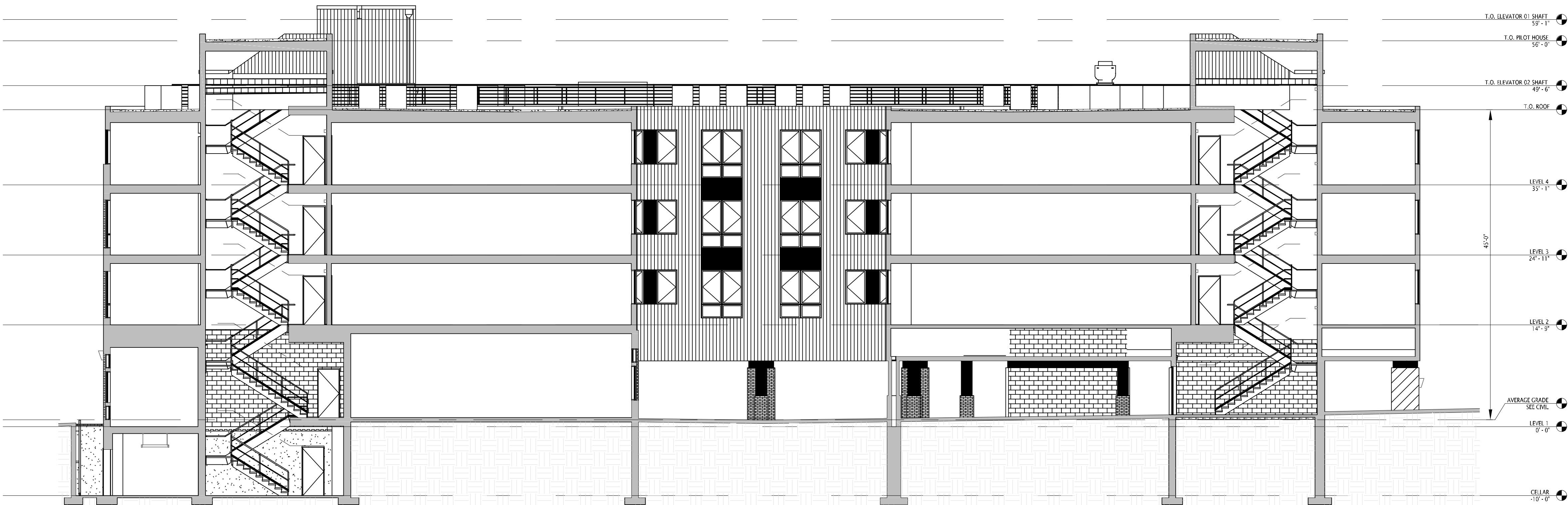
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ELEVATION DRAWINGS PROVIDED BY JKRP ARCHITECTS

BUILDING SECTION 29TH STREET VIEW

NOT TO SCALE



BUILDING SECTION SOUTH VIEW

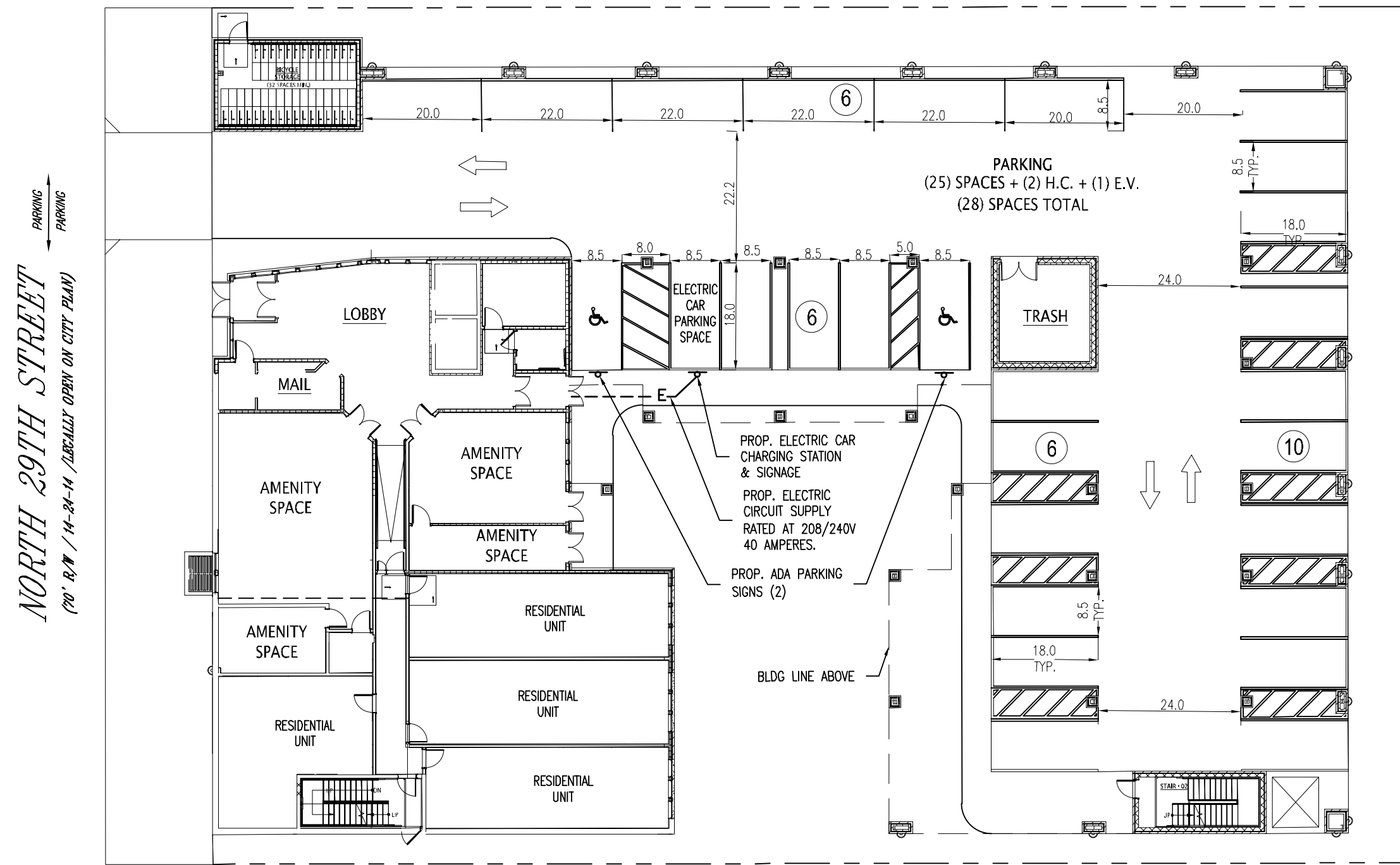
NOT TO SCALE

APPROVED
FOR ZONING ONLY
12/17/21

MAKING YOUR PLANS COMPLY WITH ALL ORDINANCES
BEFORE OR AFTER THE CITY OF PHILADELPHIA HAS APPROVED
THE PLANS. PLEASE CONTACT THE CITY OF PHILADELPHIA
DEPARTMENT OF LICENSING & INSPECTIONS.

Applied Electronically by L&I User:

ELEVATION DRAWINGS PROVIDED BY JKRP ARCHITECTS



PARKING LAYOUT

SCALE: 1"=20'

CLIENT DATA

cornerstone
Consulting Engineers & Architectural, Inc.

213 West Main Street, Lansdale, PA 19446
Phone: 215-362-2600 Fax: 215-362-8400
WWW.CORNERSTONEET.COM

Lehigh Valley Region
610-820-8200

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REVISIONS			DATE
NO.	BY	DESCRIPTION	DATE
1	DB	REVISED PER L&I REVIEW	6/10/2021
2	DB	REVISED PER COR REVIEW	10/7/2021
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DRILL, BLAST OR DEMOLISH

J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 165536
MARYLAND LICENSE No. 2913 NEW
ILLINOIS LICENSE No. 0424204
VIRGINIA LICENSE No. 0082 045725

PROJECT LOCATION
ZONING PLAN SUBMISSION
FOR
"2019-2027 N. 29TH STREET"
2019 & 2027 N. 29TH STREET
CITY OF PHILADELPHIA,
PENNSYLVANIA, 19121
PREPARED FOR:
2023 N. 29TH ST, LLC

TITLE
ELEVATIONS &
PARKING LAYOUT

PROJ. #	18-0320	DATE	5/24/2021
CAD ID	18-0320	DRN BY	LAC
SCALE	AS NOTED	CHK BY	JBA

SHEET 2 OF 2
REVISION 3