

Zoning Permit

Permit Number ZP-2021-016145

LOCATION OF WORK 1937 N MARSHALL ST, Philadelphia, PA 19122-2110	PERMIT FEE \$1,654.00	DATE ISSUED 12/14/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER LASFUND LLC	1847 N 2ND STREET PHILADELPHIA PA 19122-2110
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT AMENDMENT APPROVED OF 02/07/2025: EXTENSION OF ZONING PERMIT ZP-2021-016145 FOR 1-YEAR FROM THE EXPIRATION DATE (UNTIL 12/14/2025) IN ACCORDANCE WITH SECTION 14-303(10)(d) OF THE PHILADELPHIA ZONING CODE. NO CHANGES TO PLANS OR PERMIT LANGUAGE.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-016145

07/12/2024 TO REMOVE THE PREVIOUSLY APPROVED ROOF DECK, ROOF DECK ACCESS STRUCTURE AND REAR STAIR ACCESS FROM THE FOURTH FLOOR FOR THE ROOF DECK. SIZE AND LOCATION AS SHOWN ON AMENDED PLANS.

03/15/2024 FOR REVISION OF ORIGINAL APPROVAL TO CHANGE THE LOCATION OF THE COURTYARD, RELOCATION OF THE ROOF DECK ACCESS STRUCTURE, ERECTION OF REAR INTERIOR STAIRWAYS FROM FOURTH FLOOR FOR THE ROOF DECK ACCESS, AND ERECTION OF REAR DECK AT FIRST FLOOR. SIZE AND LOCATION AS SHOWN ON AMENDED PLANS.

12/28/2021 FOR REVISION OF ORIGINAL APPROVAL TO REMOVE THE ROOF DECK AND TWO (2) ROOF DECK ACCESS STRUCTURES (SIZE AND LOCATION AS SHOWN ON AMENDED PLANS).

AMENDMENT APPROVED AS OF 12/27/2021:

TO REMOVE ROOF DECK AND ONE (1) ROOF DECK ACCESS STRUCTURE; USE OF ROOF ACCESS STRUCTURE (NOT TO EXCEED 125 SQ. FT. AND 10 FT. IN HEIGHT) FOR MECHANICAL AND ROOF MAINTENANCE ONLY (SIZE AND LOCATION AS SHOWN ON AMENDED PLANS).

FOR THE COMPLETE DEMOLITION OF EXISTING BUILDING AND FOR THE ERECTION OF AN ATTACHED BUILDING WITH A ROOF DECK AND TWO (2) ROOF DECK ACCESS STRUCTURES (NOT TO EXCEED 125 SQ. FT. AND 10 FT. IN HEIGHT) (SIZE AND LOCATION AS SHOWN ON PLANS).

APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



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 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
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Zoning Permit

Permit Number ZP-2021-016145

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

1939 N MARSHALL ST, Philadelphia, PA 19122-2110

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS MULTI-FAMILY (9 UNITS) HOUSEHOLD LIVING UTILIZING LOW INCOME HOUSING BONUS.

This permit is subject to the following specific conditions.

CONDITIONS

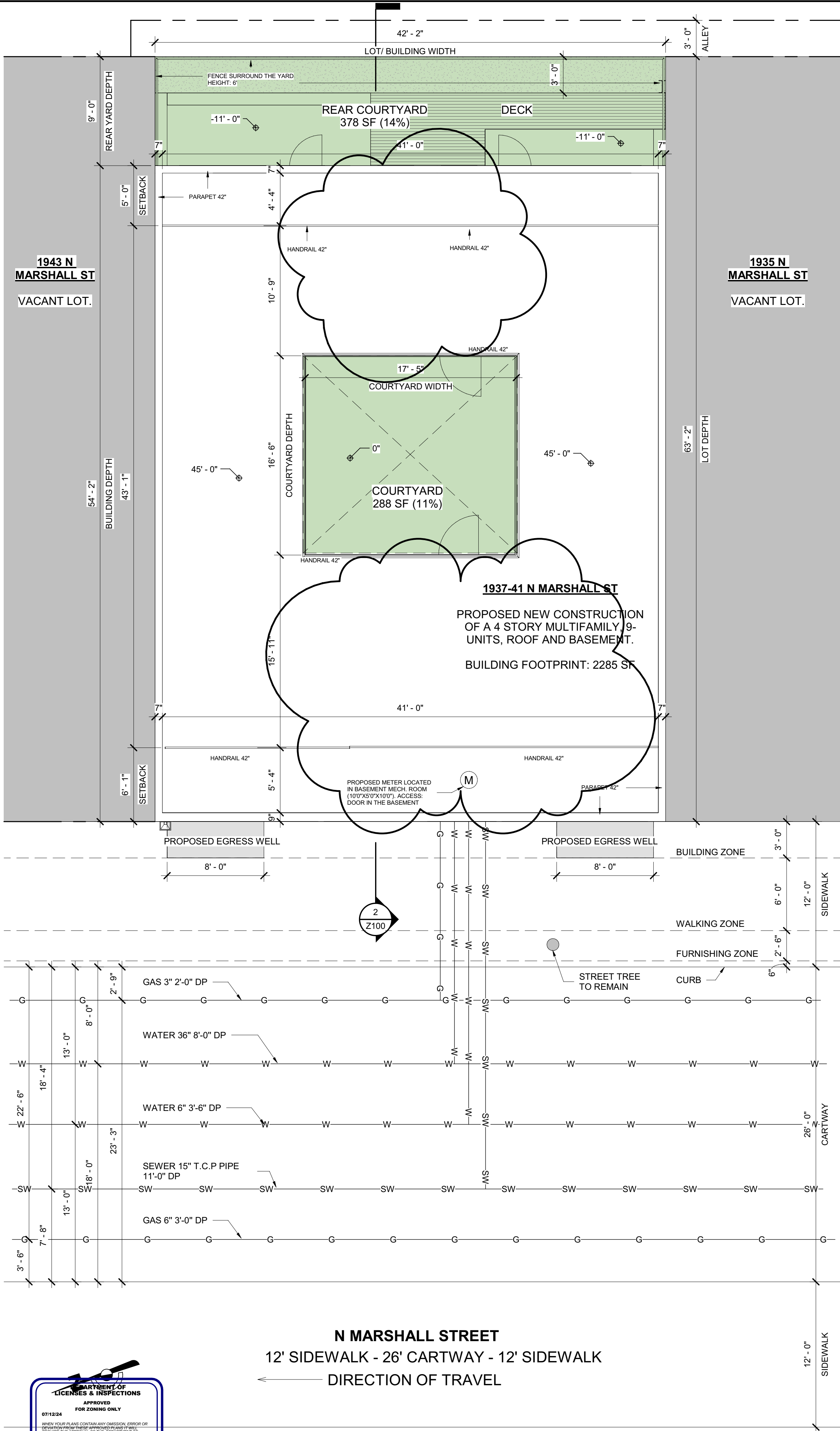
This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

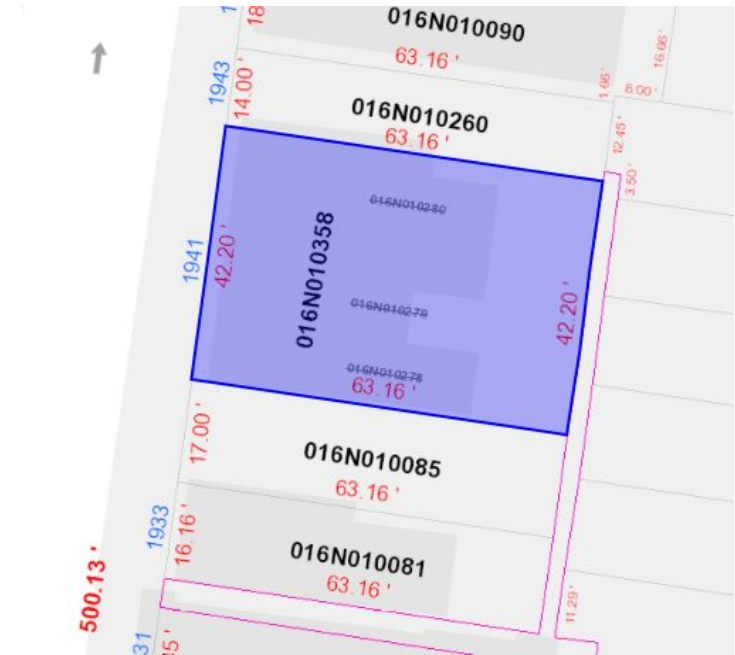
See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



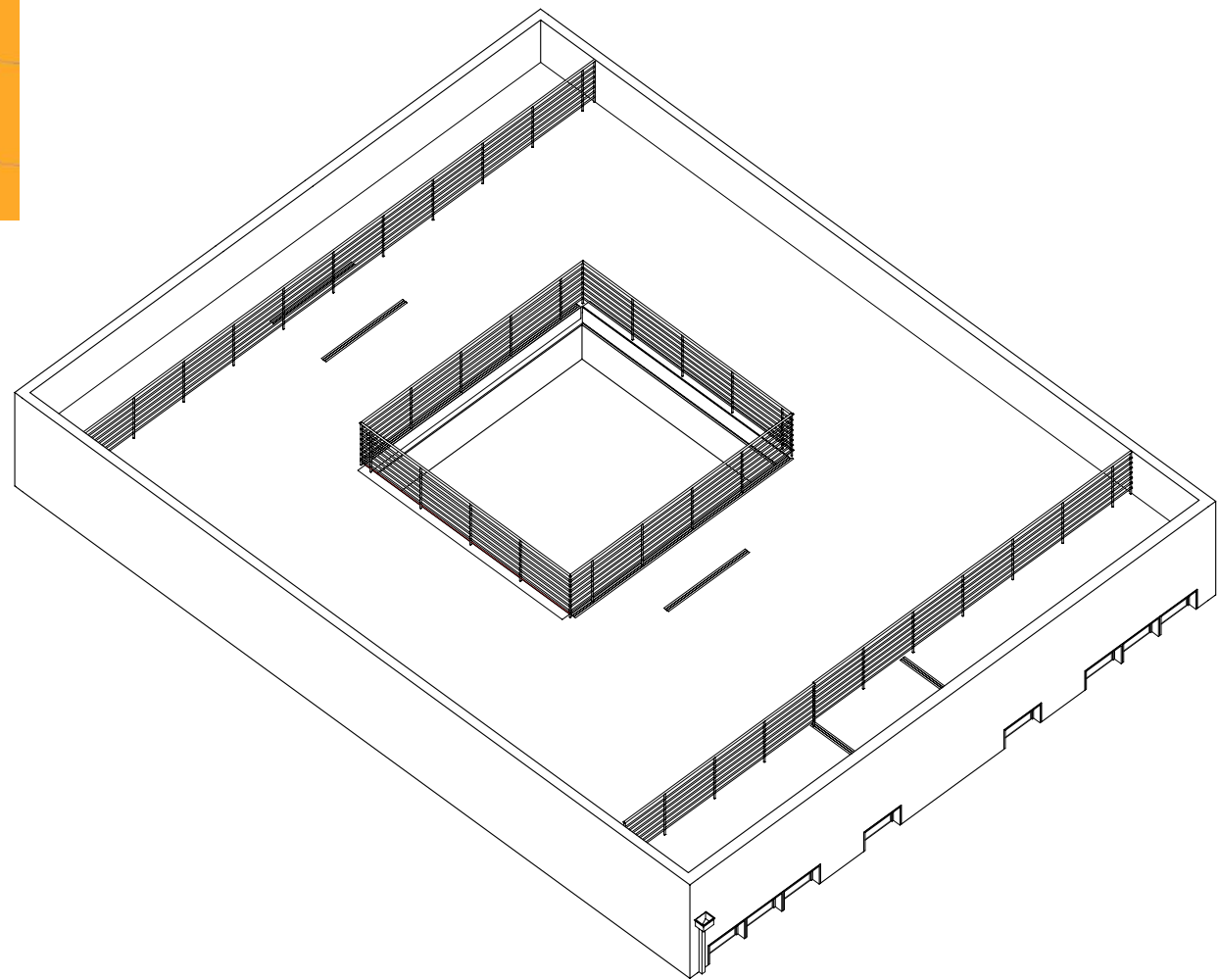
AERIAL VIEW



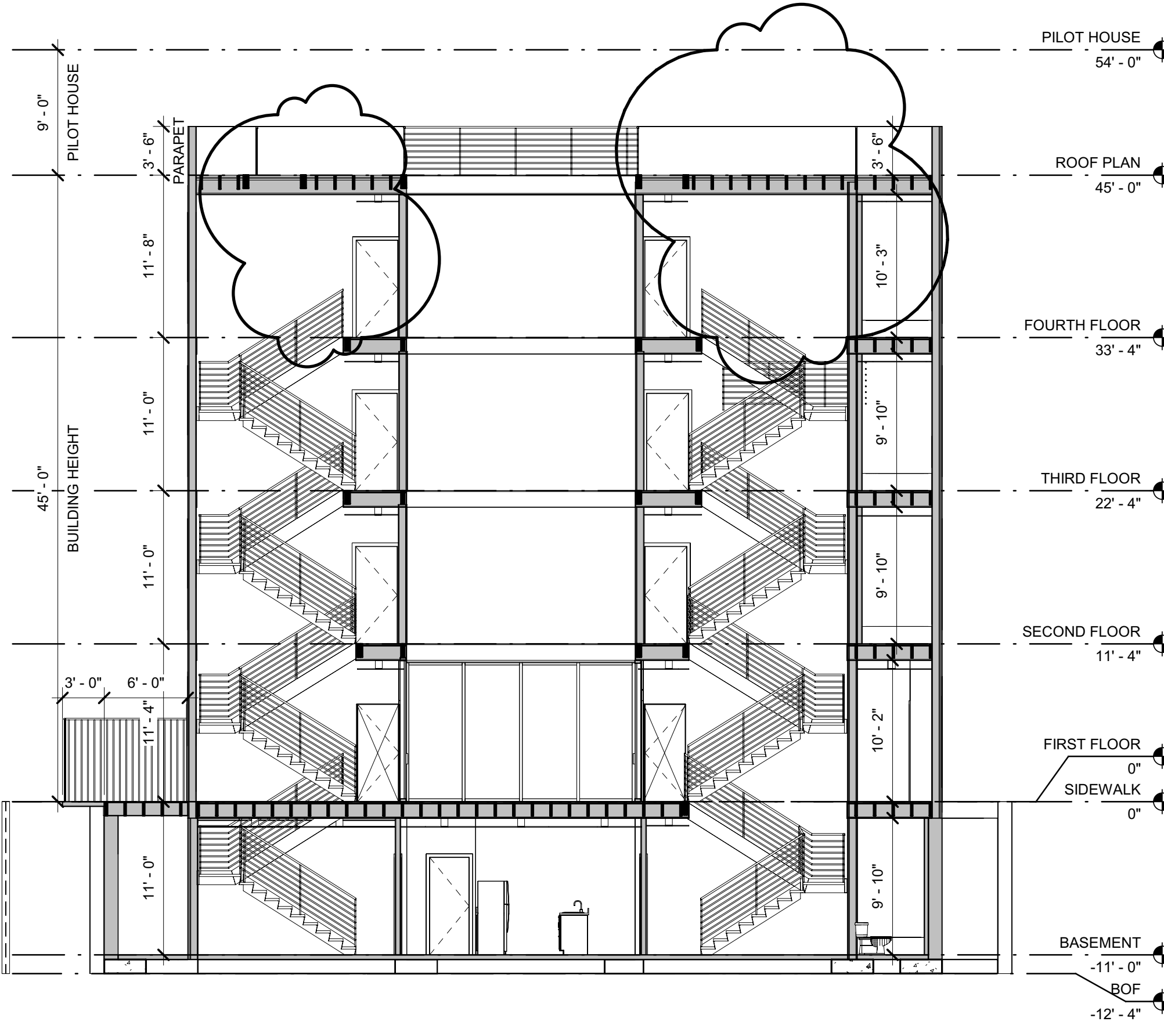
ZONING VIEW



STREET VIEW



3D ROOF SCALE: 3/16" = 1'-0"



Property Schedule		
Parcel No.	Address	Area
881000216	1937-41 N MARSHALL STREET	2665 SF
RM-1 PREVIOUS DISTRICT NAME - R8/9/10/10B/18/19		1937-41 N MARSHALL STREET
PERMITTED BUILDING TYPE DETACHED; SEMI-DETACHED; ATTACHED		
USES PERMITTED AS OF RIGHT: SINGLE-FAMILY; TWO-FAMILY; PASSIVE RECREATION; FAMILY DAY CARE, RELIGIOUS ASSEMBLY; SAFETY SERVICES; TRANSIT STATION; COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM		
	REQUIRED	PROPOSED
LOT DIMENSIONS		
MIN. LOT WIDTH (FT)	16 FT	42.2 FT
MIN. LOT AREA (SQ FT)	1440 SQ FT	2665 SQ FT
MIN. OPEN AREA (% OF LOT)	INTERMEDIATE: 25%; CORNER 20%	25% (665 SF)
FRONT SETBACK		
MINIMUM (FT)	BASED ON SETBACK OF ABUTTING LOTS	
MINIMUM SIDE YARD WIDTH (6), PERMITTED RESIDENTIAL USES AS SET FORTH IN 14-701		
DETACHED, INTERMEDIATE (FT)	2/5 EACH	
SINGLE- OR TWO-FAMILY DETACHED, CORNER (FT)	5 FT	
MULTI-FAMILY DETACHED, CORNER (FT)	8 FT	
SINGLE- OR TWO-FAMILY SEMI- DETACHED (FT)	5 FT	
MULTI-FAMILY SEMI- DETACHED (FT)	12 FT	
ATTACHED (FT)		
MINIMUM SIDE YARD WIDTH (6) PERMITTED NONRESIDENTIAL USES AS SET FRONT IN 14-701		
INTERMEDIATE (FT)	2/12 EACH	
CORNER (FT)	12 FT	
REAR YARD		
MIN. DEPTH (FT)	9 FT	9 FT
HEIGHT		
MAXIMUM (FT)	38 FT + 7 FT = 45 FT	45 FT
OPEN SPACE SQUARE FOOTAGE		
REAR YARD (SQ FT)	144 SQ FT	378 SQ FT
COURTYARD (SQ FT)		287 SQ FT
FRONT YARD (SQ FT)		
BUILDING FOOTPRINT (SQ FT)		2285 SQ FT
BUILDING USE		
		RESIDENTIAL

STREETS DEPARTMENT	
RIGHT OF WAY	1937-41 N MARSHALL STREET
STREET BREAK-DOWN: N MARSHALL STREET	

12' SIDEWALK - 26' CARTWAY - 12' SIDEWALK = 50 FT WIDE

	ENCROACHMENT TYPE	DIMENSION
PROPOSED / EXISTING		ENCROACHMENT
STAIRS / STEPS		
WINDOW WELL	PROPOSED	3' - 0"
BAY WINDOW		
MAXIMUM ENCROACHMENT ALLOWED: 4'-6"		

ZONING APPROVAL STAMP

BUILDING APPROVAL STAMP

PLATO STUDIO
PLATO MARINAKOS, JR. ARCHITECT, LLC

www.plato-studio.com

1617 JFK BLVD
20th Floor
Philadelphia, PA 19103
888-312-5369 OFFICE
267-866-0931 DIRECT
plato@plato-studio.com



ARCHITECT SEAL MUST BE IN RED INK

OWNER

PRESTIGE DESIGN

ONE CALL #: 20233541929



SITE SAFETY

It is the responsibility of the general contractor and/or the contractor listed as the licensed entity on the building permit per the municipality to ensure all site safety requirements are in place and followed, prior to, during, and after the commencement of the construction process until they are 100% complete and have received a building certificate of occupancy by governing agencies. They are also responsible for any unsafe conditions caused by or related to their sub-contractors' work. Plato Marinakos, Architect LLC, and their professional consultants (associated with these documents) are not responsible for means and methods of construction, and/or site safety; including, but not limited to, OSHA construction safety requirements, standard construction, job-site safety, job-site safety training of workers, safe work site organization, safety direction and/or safety engineering of required safety elements. It is the sole responsibility of the licensed contractor to ensure that all site safety measures are in accordance with the governing authorities. Please refer to OSHA website (www.osha.gov) for additional training and information requirements for site safety compliance.

REV	DATE	DESCRIPTION
03-01-24	Zoning review	
4-5-24	Excavation Review	
7-3-24	Amendment	

APPROVAL STAMP

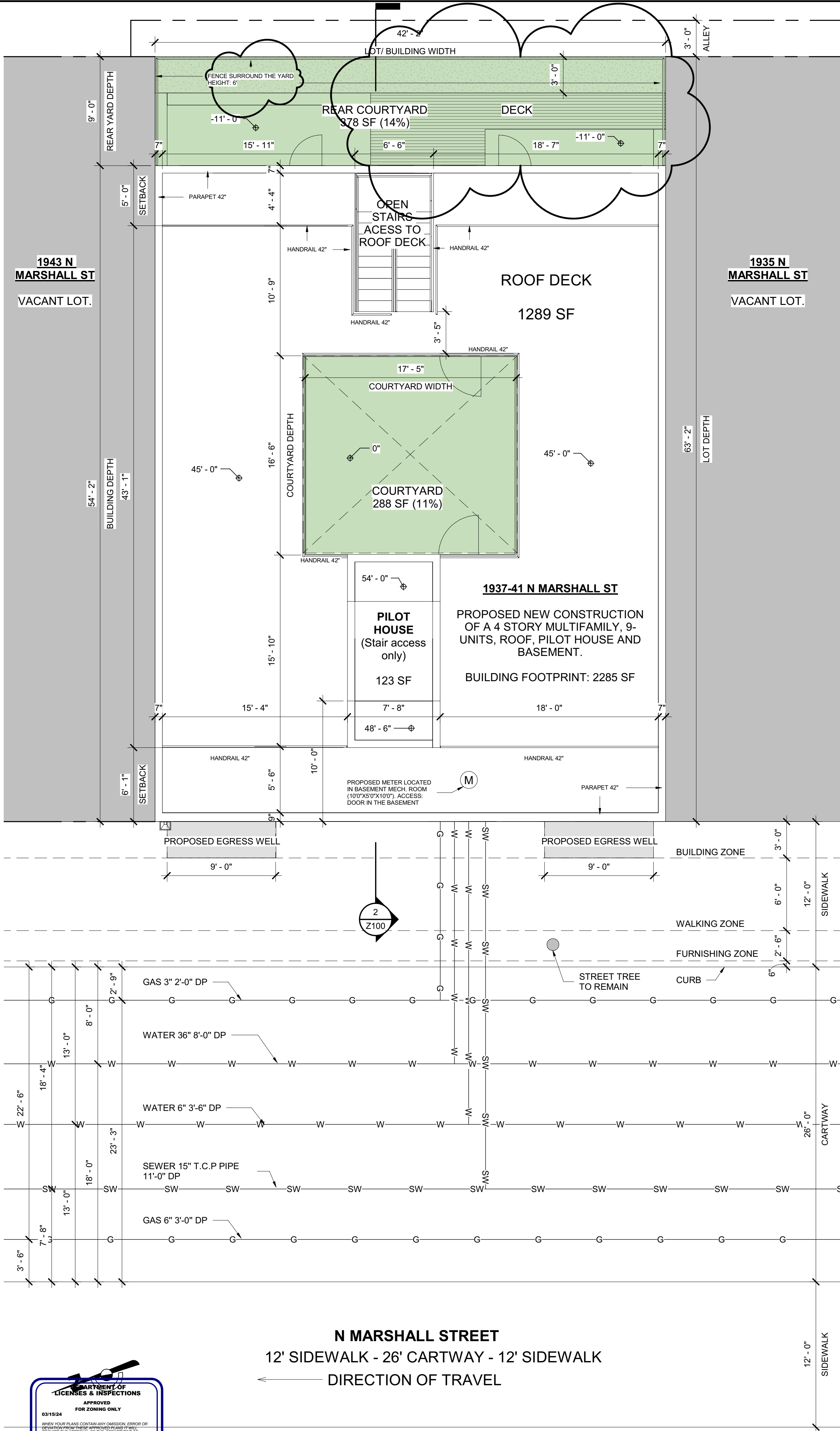
1937-41 N MARSHALL ST
Philadelphia, PA. 19122

ZONING PLAN

Project number	NA
Date	07-11-22
Drawn by	Justine Velasquez
Checked by	Checker

Z100

Scale As indicated



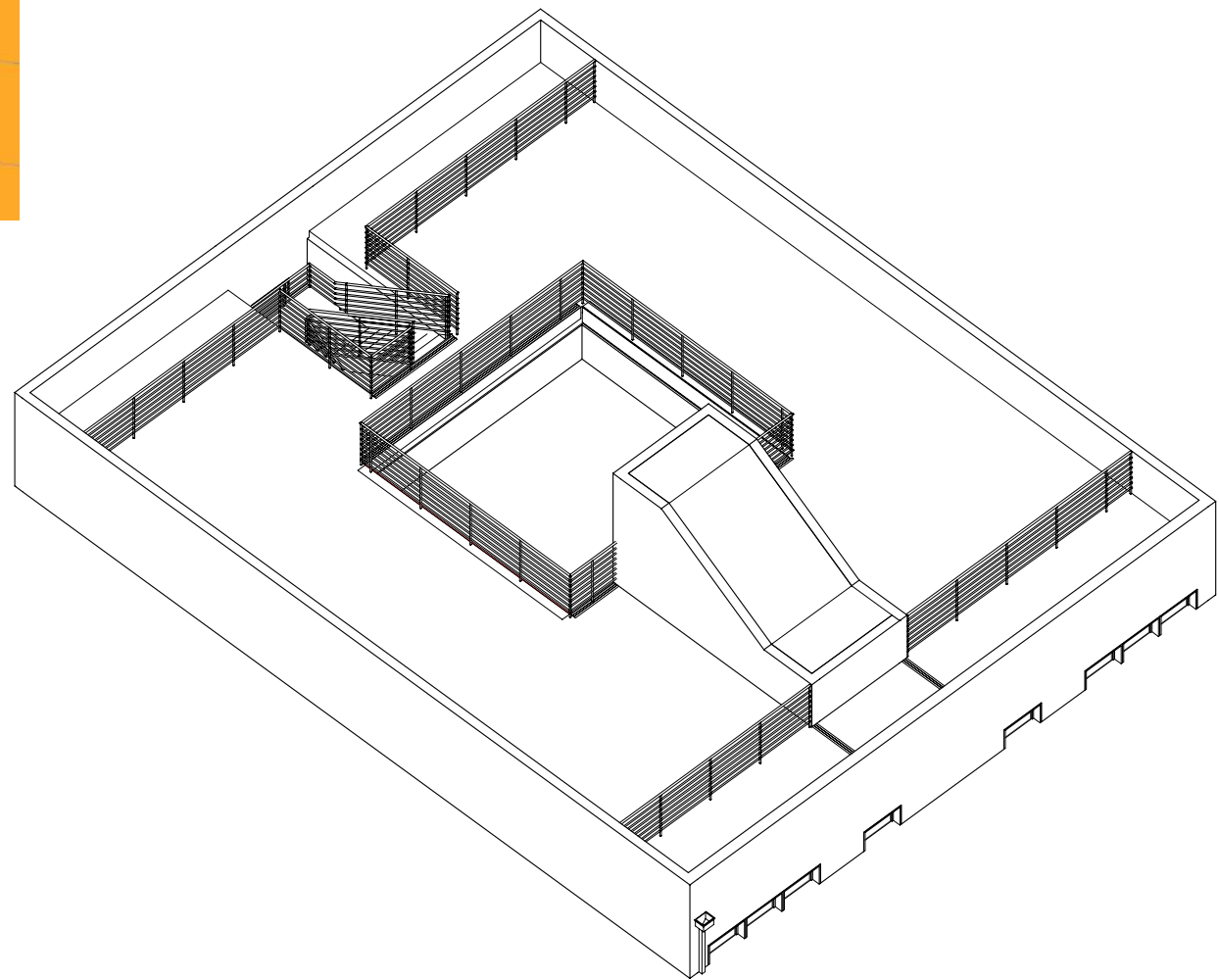
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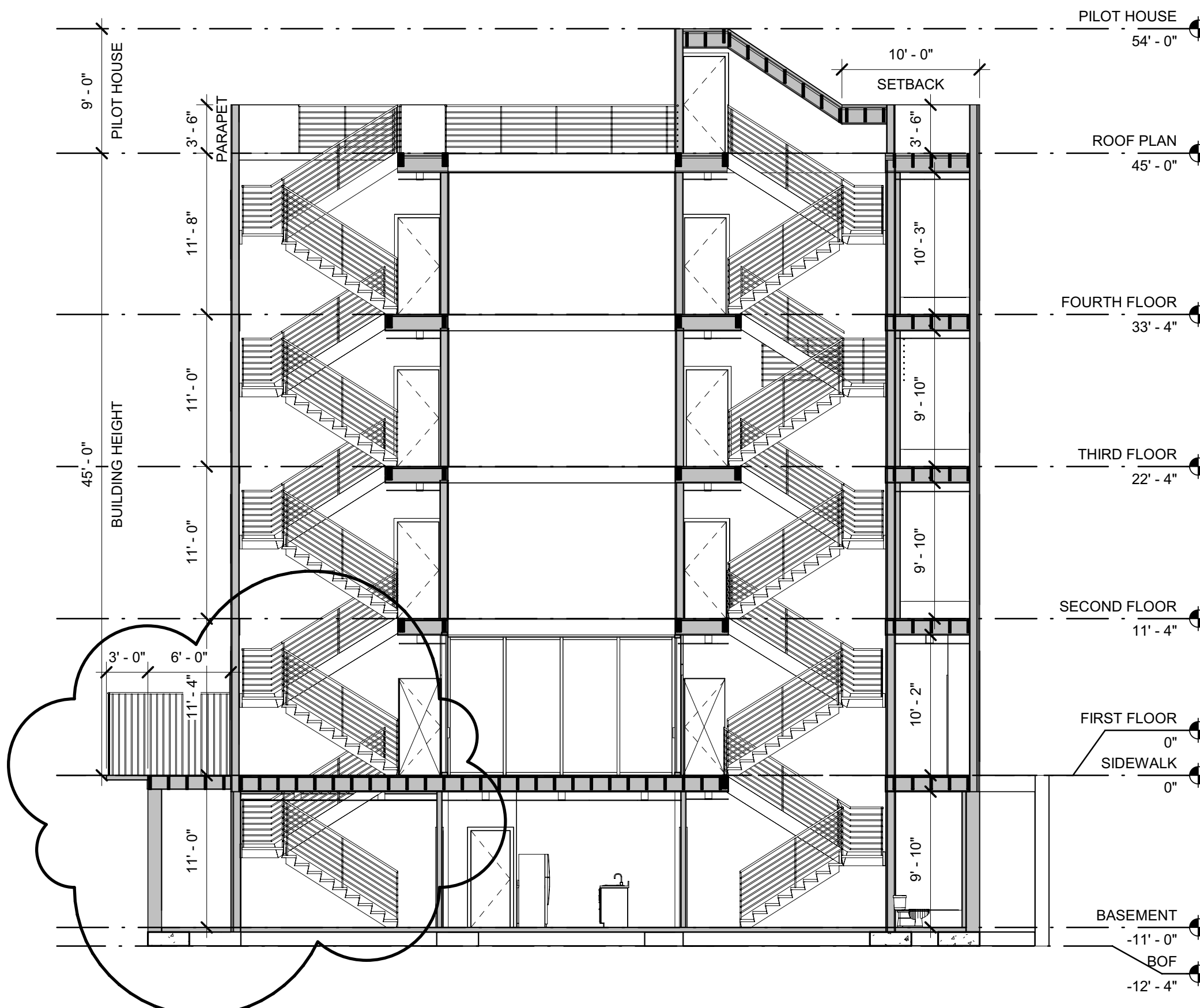
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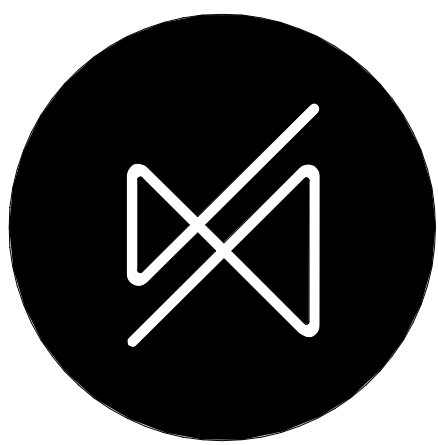
1937-41 N MARSHALL ST
Philadelphia, PA. 19122

ZONING PLAN

Project number NA
Date 07-11-22
Drawn by Justine Velasquez
Checked by Checker

Z100

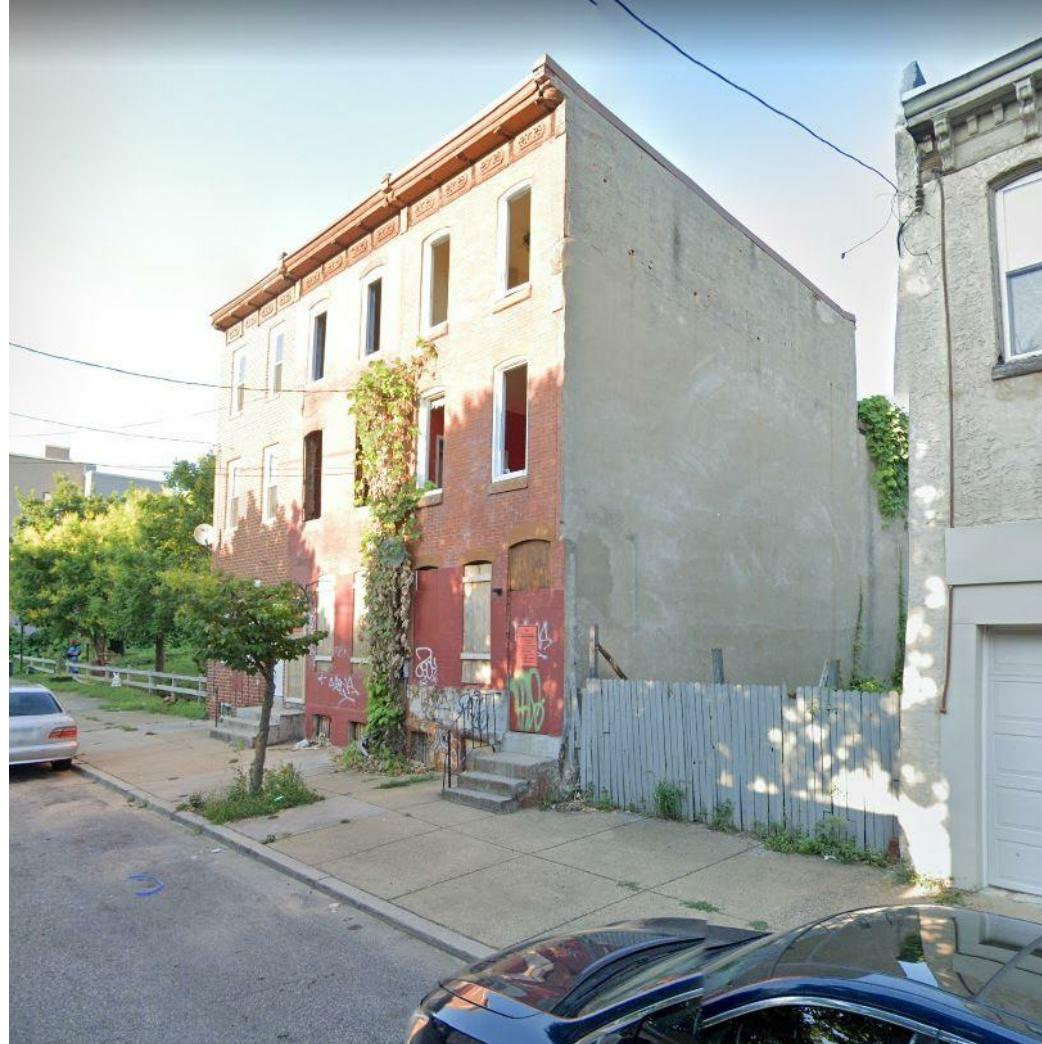
Scale As indicated



KARBON ARCHITECTS LLC
2530 E. LEHIGH AVE
PHILADELPHIA, PA 19125
www.karbonarchitects.com



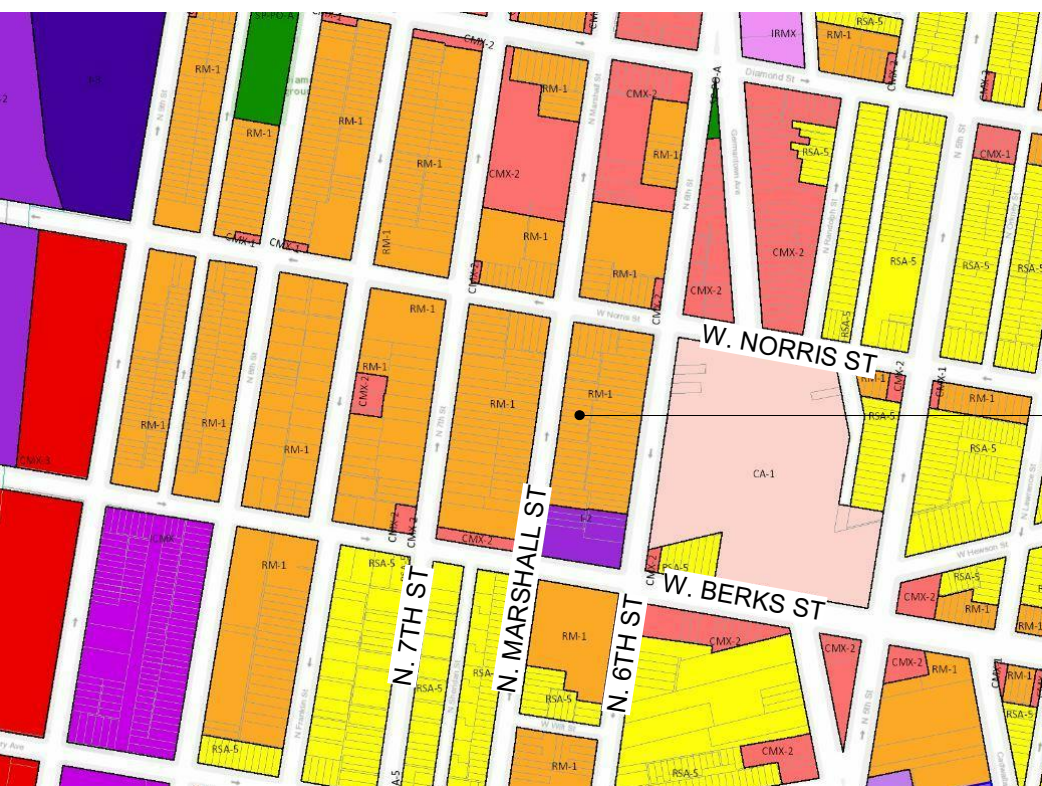
SITE PHOTO: LOOKING EAST



SITE PHOTO: LOOKING NORTH EAST

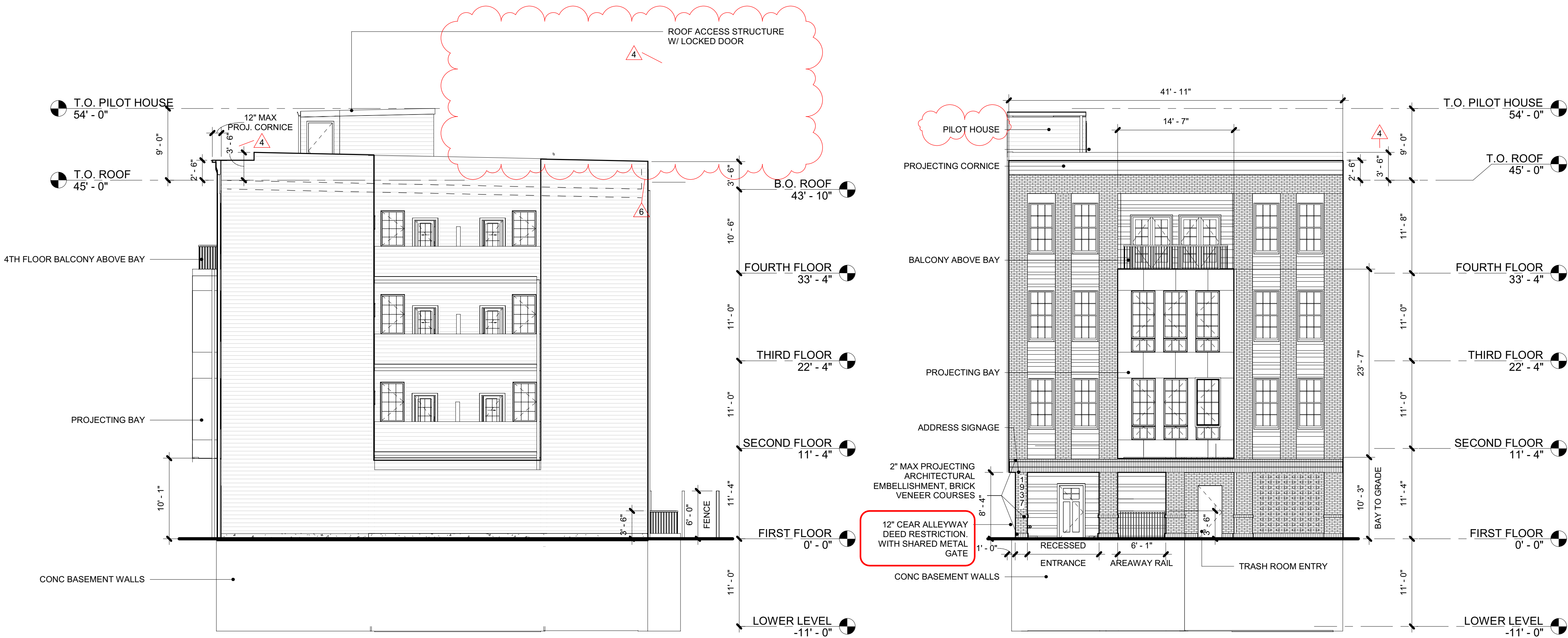


SITE PHOTO: LOOKING SOUTH EAST



SITE PLAN: CONTEXT

SITE



3 ZONING ELEVATION - SOUTH

1/8" = 1'-0"

2 ZONING ELEVATION - WEST

1/8" = 1'-0"

ZONING COMPLIANCE INFORMATION

PROPERTY ADDRESS:	1937, 1939, 1941 N. MARSHALL ST PHILADELPHIA, PA 19122
OPA NUMBERS:	201133601, 201133701, 201133801
BASE DISTRICT:	RM-1
ADJACENT DISTRICT:	RM-1
OVERLAY DISTRICT:	NONE
LOT AREA:	2,666 SF
USAGE:	(9) APARTMENT DWELLING UNITS
UNITS PERMITTED BY RIGHT:	6 360 SF * 4 = 1,440 SF / 4 UNITS 2,666 SF - 1,440 SF = 1,226 SF REMAINING 1,226 SF / 480 SF = 2 UNITS
LOW INCOME DENSITY BONUS:	+50% UNITS & 7'-0" HEIGHT 6+3 = 9 UNITS TOTAL
TOTAL UNITS PROPOSED:	6+3 = 9 UNITS TOTAL
LOW INCOME DENSITY PAYMENT:	\$90,000 THE GREATER OF: \$24 PER LOT SF: 24 x 2,666 = \$63,984 \$30,000 PER UNIT: 30,000 x 3 = \$90,000
ALLOWED / REQUIRED	PROPOSED
OPEN AREA:	665 SF (25% MIN)
OCCUPIED AREA:	2,001 SF (75% MAX)
FRONT YARD SETBACK:	0'-0" (FROM ADJACENT)
REAR YARD SETBACK:	9'-0" MIN
SIDE YARD SETBACK:	0'-0" (ATTACHED)
HEIGHT:	38'-0" + 7'-0" = 45'-0"
PARKING:	0 REQUIRED
RIGHT OF WAY FURNISHING ZONE:	4'-0"
PEDESTRIAN ZONE:	6'-0"
BUILDING ZONE:	0'-0" REQ'D

GENERAL ZONING NOTES

1. SITE CONSISTS OF CONSOLIDATED LOT OF PREVIOUS PROPERTIES: 1937, 1939, & 1941 N. MARSHALL ST., PHILADELPHIA, PA 19122.
2. BACK OF LOT INACCESSIBLE AT TIME OF SURVEY. ASSUMED HIGH POINT SHALL BE +53.08' AT NORTHWEST CORNER OF LOT. ZONING MAX OF 45'-0" SHALL BE MAINTAINED AT FINAL GRADING. PILOT HOUSES SHALL CONTAIN STAIRS & LANDINGS ONLY.
3. NOT USED.
4. PILOT HOUSE SHALL BE SET BACK 10'-0" MIN FROM RIGHT OF WAY & 5'-0" MIN FROM REAR OF BUILDING.
5. 6'-0" HIGH WOODEN FENCE PROPOSED AT REAR OF PROPERTY. NO CURB CUTS PROPOSED.
6. AREAWAYS SHALL BE PROTECTED BY A RAILING NOT LESS THAN 42" TALL ON ALL OPEN SIDES.
7. NO IMMEDIATE ADJACENT PROPERTIES. CLOSEST PROPERTY TO SOUTH ON SAME BLOCKFACE IS TWO STORIES. CLOSEST PROPERTY TO NORTH ON SAME BLOCKFACE IS THREE STORIES. NO THIRD FLOOR SETBACK REQUIRED.
8. ELEVATIONS SHOWN ARE DIAGRAMMATIC & ONLY TO BE USED FOR THE PURPOSES OF ZONING. FINAL ELEVATIONS MAY VARY, EXCEPT FOR SUCH ELEMENTS GOVERNED BY THE ZONING & STREETS CODES OF PHILADELPHIA, SECTION 14 & 11.
9. THE PROPERTY WAS DETERMINED BY PENNONI ASSOCIATES INC TO BE IN ZONE X BY GRAPHICAL ANALYSIS. ZONE X IS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN. NO FIELD SURVEYING WAS COMPLETED VERIFYING THIS DETERMINATION. ALL PARKING IS EXISTING. NO BICYCLE PARKING PROPOSED.
10. NO EXISTING OR PROPOSED CURB CUTS AT LOT LOCATION.
11. EXISTING STRUCTURES ON SITE SHALL BE DEMOLISHED IN FULL.
12. LOW-INCOME HOUSING DENSITY BONUS
13. PROJECT SHALL PAY INTO HOUSING TRUST FUND FOR LOW-INCOME HOUSING BONUS. HOUSING BONUS SHALL PROVIDE 50% MORE UNITS (+3 UNITS IN ADDITION TO THE 6 BASE UNITS PERMITTED BY RIGHT) IN ADDITION TO 7'-0" ADDITIONAL HEIGHT (38'-0" + 7'-0" FOR A TOTAL OF 45'-0").
14. STREETS DEPARTMENT NOTES

1. WORK SHALL BE DONE IN ACCORDANCE WITH ALL STANDARDS, SPECIFICATIONS, DRAWINGS, AND REGULATIONS OF THE PHILADELPHIA DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA GAS WORKS, & PHILADELPHIA PARKS & RECREATION DEPARTMENT.
2. RIGHT OF WAY COMPONENTS SHALL BE MAINTAINED PER THE COMPLETE STREETS POLICY IN CHAPTER 11-900 OF THE PHILADELPHIA CODE.
3. GENERAL CONTRACTOR SHALL CALL PA-1 CALL A MINIMUM OF (3) DAYS BEFORE DIGGING.

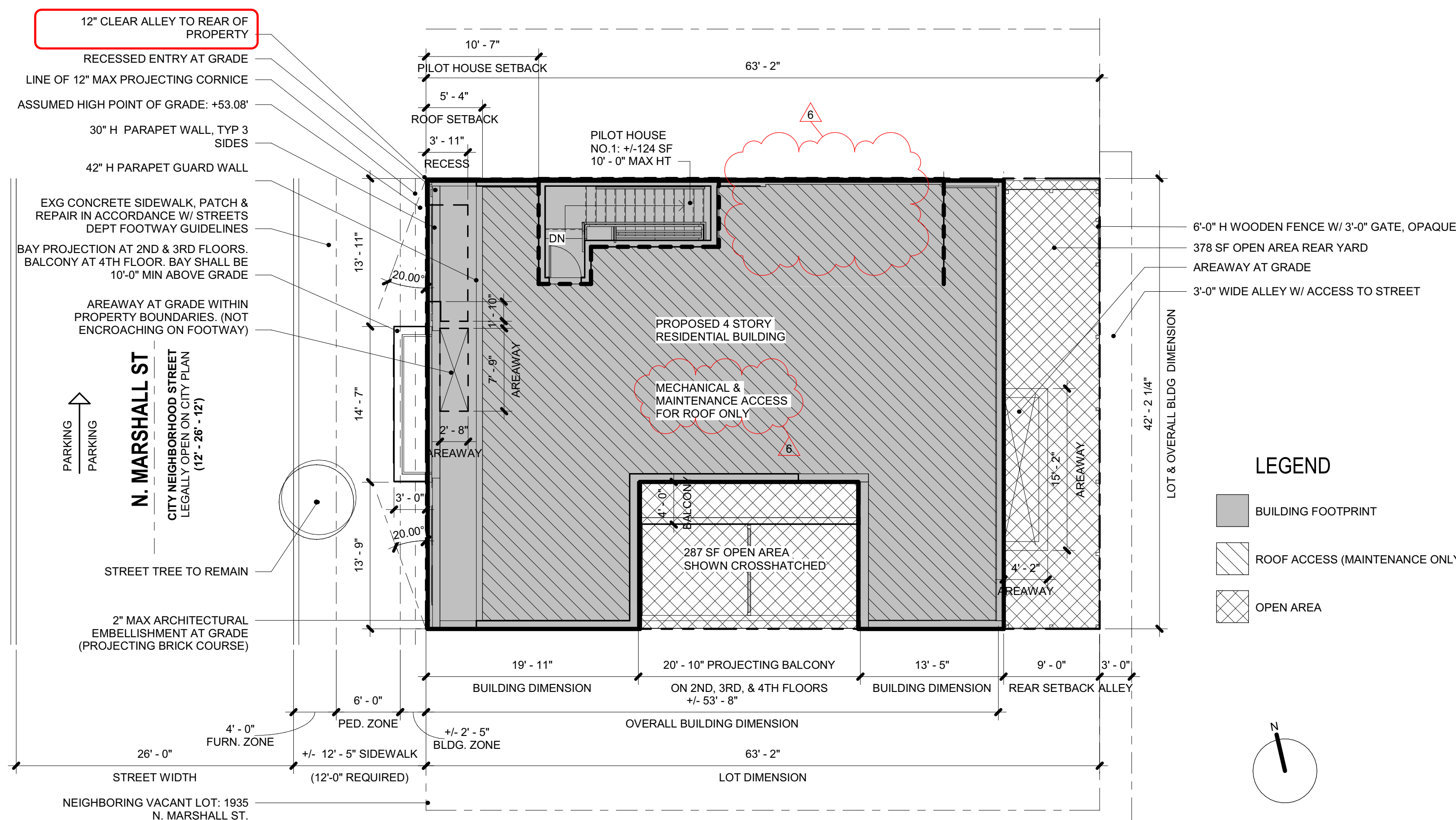
METES & BOUNDS

BEGINNING, AT A POINT IN THE EASTERLY LINE OF MARSHALL STREET (50 FOOT WIDE - LEGALLY OPEN - ON CITY PLAN), SAID POINT BEING 284.865 FEET FROM THE INTERSECTION OF THE NORTHERLY LINE OF BERKS STREET (50 FOOT WIDE - LEGALLY OPEN - ON CITY PLAN), AND THE EASTERLY LINE OF MARSHALL STREET (50 FOOT WIDE - LEGALLY OPEN - ON CITY PLAN), TO WIT:

FOR SAID PARCEL 4 THE FOLLOWING FOUR (4) COURSES, TO WIT:

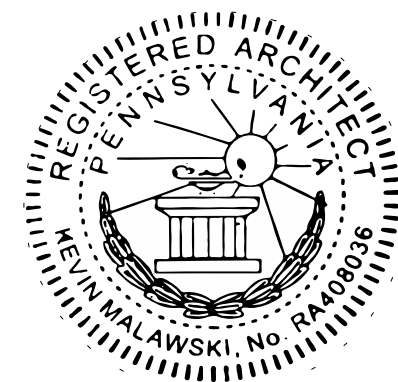
1. ALONG THE SAID LINE OF MARSHALL STREET, NORTH 09 DEGREES 59 MINUTES 16 SECONDS EAST, A DISTANCE OF 42.199 FEET, TO A POINT, THENCE;
2. HEADING ALONG A LINE AT RIGHT ANGLES TO MARSHALL STREET, ALONG THE MIDDLE LINE OF A CERTAIN COVERED ALLEY BETWEEN BUILDINGS, WITH A BEARING OF NORTH 80 DEGREES 00 MINUTES 44 SECONDS EAST, A DISTANCE OF 63.167 FEET TO A POINT ON THE WESTERLY LINE OF A 3-FOOT-WIDE ALLEY, THENCE;
3. ALONG THE WESTERLY LINE OF AN EXISTING 3-FOOT-WIDE ALLEY WITH A BEARING OF SOUTH 09 DEGREES 59 MINUTES 16 SECONDS WEST, AND A DISTANCE OF 42.199 FEET TO A POINT, THENCE;
4. ALONG A BEARING OF SOUTH 80 DEGREES 00 MINUTES 44 SECONDS WEST, A DISTANCE OF 63.167 FEET TO A POINT, SAID POINT BEING THE POINT AND PLACE OF BEGINNING.

CONTAINING WITHIN THE METES AND BOUNDS 2,666 SQUARE FEET OR 0.06120 ACRES, MORE OR LESS.



1 ZONING PLAN

1/8" = 1'-0"



Digitally signed by
Kevin Malawski

REVISIONS

1	ZONING COMMENTS	12.21.2020
2	ZONING COMMENTS	1.25.2021
3	ALLEY REVISION	8.24.2021
4	ZONING COMMENTS	9.10.2021
6	ZONING REVISION	12.17.2021

FIRST ISSUE: 12/1/2020

DWN: KM
CHK:

MARSHALL FLATS

20070

1937-41 N. MARSHALL ST.
PHILADELPHIA, PA 19122

ZONING PLANS

As indicated

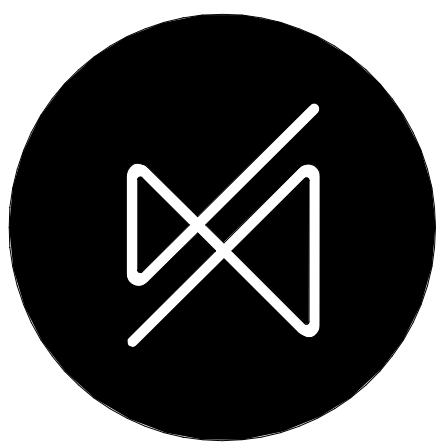
PERMIT DOCUMENTS

A0.4

APPROVED
FOR ZONING ONLY
12/27/21

SEAL OF THE PHILADELPHIA DEPARTMENT OF STREETS
OFFICE OF THE CITY ENGINEER
OFFICE OF THE CITY ENGINEER
OFFICE OF THE CITY ENGINEER

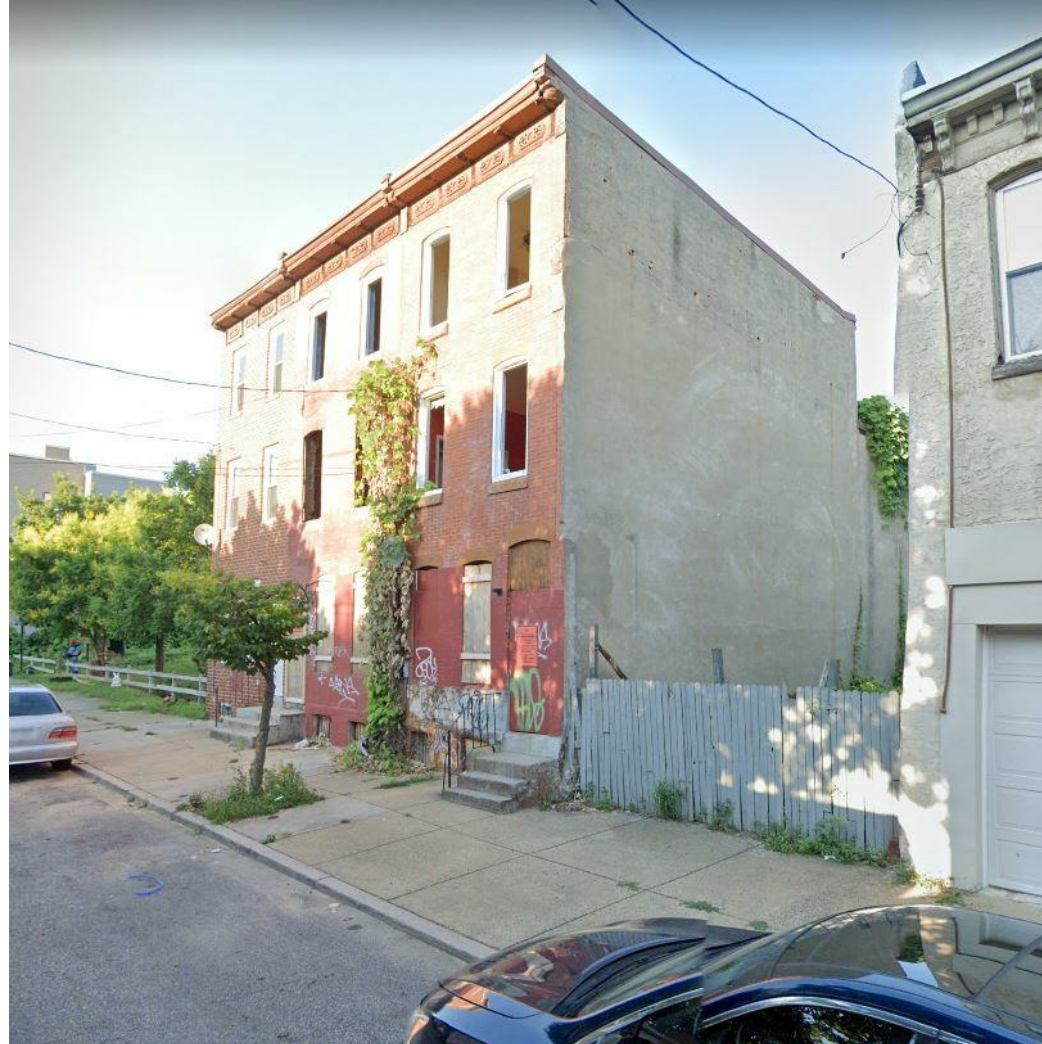
Applied Electronically by L&L User:



KARBON ARCHITECTS LLC
2530 E. LEHIGH AVE
PHILADELPHIA, PA 19125
www.karbonarchitects.com



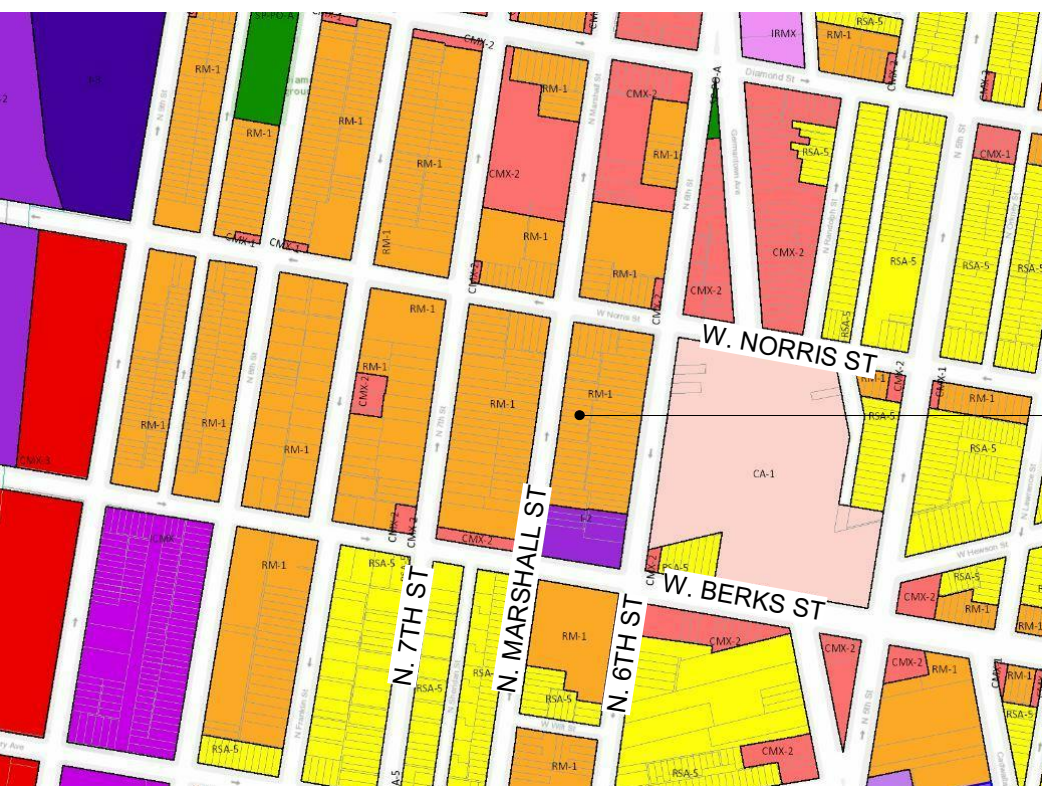
SITE PHOTO: LOOKING EAST



SITE PHOTO: LOOKING NORTH EAST

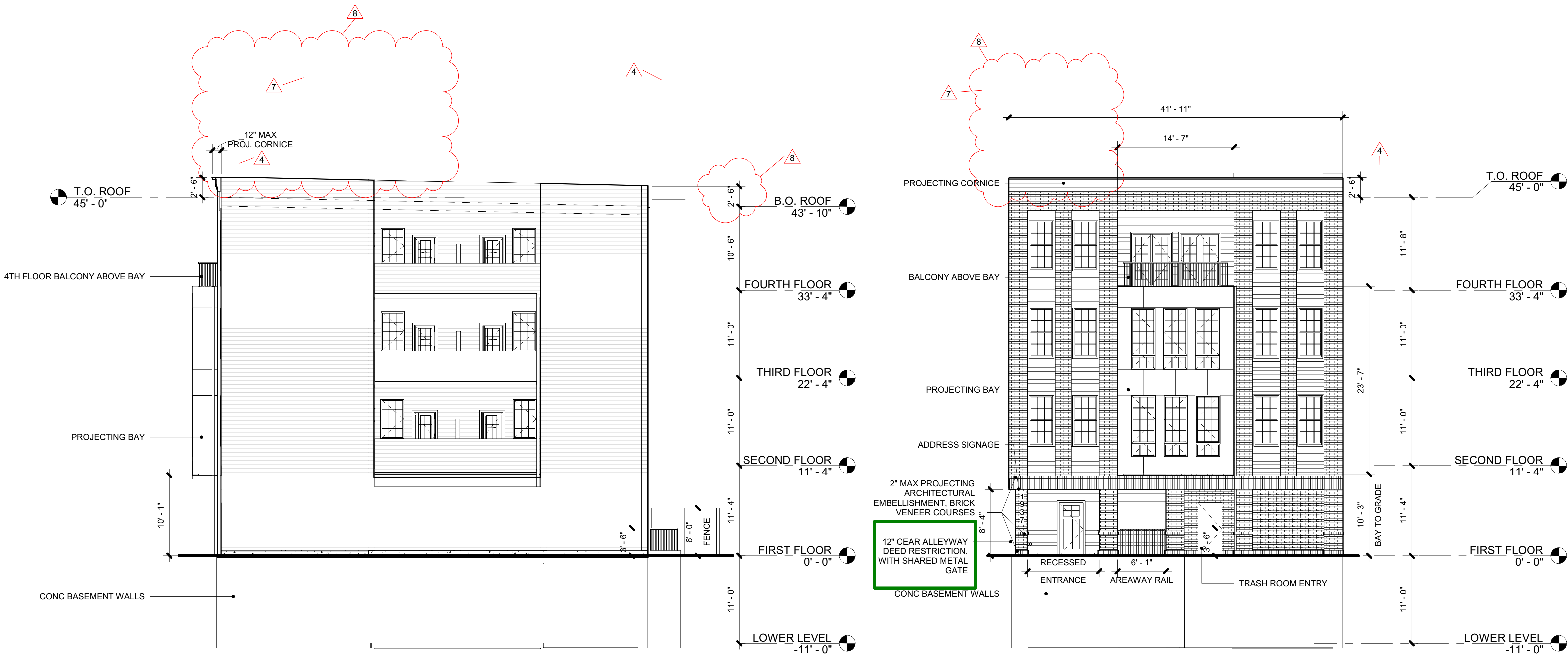


SITE PHOTO: LOOKING SOUTH EAST



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2 ZONING ELEVATION - WEST

1/8" = 1'-0"

ZONING COMPLIANCE INFORMATION

PROPERTY ADDRESS:	1937, 1939, 1941 N. MARSHALL ST PHILADELPHIA, PA 19122
OPA NUMBERS:	201133601, 201133701, 201133801
BASE DISTRICT:	RM-1
ADJACENT DISTRICT:	RM-1
OVERLAY DISTRICT:	NONE
LOT AREA:	2,666 SF
USAGE:	(9) APARTMENT DWELLING UNITS
UNITS PERMITTED BY RIGHT:	6 960 SF * 4 = 1,440 SF; 4 UNITS 2,666 SF - 1,440 SF = 1,226 SF REMAINING 1,226 SF / 480 SF = 2 UNITS
LOW INCOME DENSITY BONUS:	+50% UNITS & 7'-0" HEIGHT 6+3 = 9 UNITS TOTAL
TOTAL UNITS PROPOSED:	9
LOW INCOME DENSITY PAYMENT:	\$90,000 THE GREATER OF: \$24 PER LOT SF: 24 x 2,666 = \$63,984 \$30,000 PER UNIT: 30,000 x 3 = \$90,000
ALLOWED / REQUIRED	PROPOSED
OPEN AREA:	665 SF (25% MIN)
OCCUPIED AREA:	2,001 SF (75% MAX)
FRONT YARD SETBACK:	0'-0" (FROM ADJACENT)
REAR YARD SETBACK:	9'-0" MIN
SIDE YARD SETBACK:	0'-0" (ATTACHED)
HEIGHT:	38'-0" + 7'-0" = 45'-0"
PARKING:	0 REQUIRED
RIGHT OF WAY	4'-0"
FURNISHING ZONE:	4'-0"
PEDESTRIAN ZONE:	6'-0"
BUILDING ZONE:	0'-0" REQ'D
GENERAL ZONING NOTES:	

1. SITE CONSISTS OF CONSOLIDATED LOT OF PREVIOUS PROPERTIES: 1937, 1939, & 1941 N. MARSHALL ST., PHILADELPHIA, PA 19122.
2. BACK OF LOT INACCESSIBLE AT TIME OF SURVEY. ASSUMED HIGH POINT SHALL BE +53.08' AT NORTHWEST CORNER OF LOT. ZONING MAX OF 45'-0" SHALL BE MAINTAINED AT FINAL GRADING.
3. NOT USED
4. NOT USED
5. NOT USED
6. 6'-0" HIGH WOODEN FENCE PROPOSED AT REAR OF PROPERTY.
7. NO CURB CUTS PROPOSED.
8. AREAWAYS SHALL BE PROTECTED BY A RAILING NOT LESS THAN 42" TALL ON ALL OPEN SIDES.
9. NO IMMEDIATE ADJACENT PROPERTIES. CLOSEST PROPERTY TO SOUTH ON SAME BLOCKFACE IS TWO STORIES. CLOSEST PROPERTY TO NORTH ON SAME BLOCKFACE IS THREE STORIES. NO THIRD FLOOR SETBACK REQUIRED.
10. ELEVATIONS SHOWN ARE DIAGRAMMATIC & ONLY TO BE USED FOR THE PURPOSES OF ZONING. FINAL ELEVATIONS MAY VARY, EXCEPT FOR SUCH ELEMENTS GOVERNED BY THE ZONING & STREETS CODES OF PHILADELPHIA, SECTION 14 & 11.
11. THE PROPERTY WAS DETERMINED BY PENNONI ASSOCIATES INC TO BE IN ZONE X BY GRAPHICAL ANALYSIS. ZONE X IS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN. NO FIELD SURVEYING WAS COMPLETED VERIFYING THIS DETERMINATION.
12. ALL PARKING IS EXISTING. NO BICYCLE PARKING PROPOSED.
13. NO EXISTING OR PROPOSED CURB CUTS AT LOT LOCATION.
14. EXISTING STRUCTURES ON SITE SHALL BE DEMOLISHED IN FULL.

- LOW-INCOME HOUSING DENSITY BONUS**
1. PROJECT SHALL PAY INTO HOUSING TRUST FUND FOR LOW-INCOME HOUSING BONUS. HOUSING BONUS SHALL PROVIDE 50% MORE UNITS (+3 UNITS IN ADDITION TO THE 6 BASE UNITS PERMITTED BY RIGHT) IN ADDITION TO +7'-0" ADDITIONAL HEIGHT (38'-0" + 7'-0" FOR A TOTAL OF 45'-0").

- STREETS DEPARTMENT NOTES**
1. WORK SHALL BE DONE IN ACCORDANCE WITH ALL STANDARDS, SPECIFICATIONS, DRAWINGS, AND REGULATIONS OF THE PHILADELPHIA DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA GAS WORKS, & PHILADELPHIA PARKS & RECREATION DEPARTMENT.
 2. RIGHT OF WAY COMPONENTS SHALL BE MAINTAINED PER THE COMPLETE STREETS POLICY IN CHAPTER 11-900 OF THE PHILADELPHIA CODE.
 3. GENERAL CONTRACTOR SHALL CALL PA-1 CALL A MINIMUM OF (3) DAYS BEFORE DIGGING.

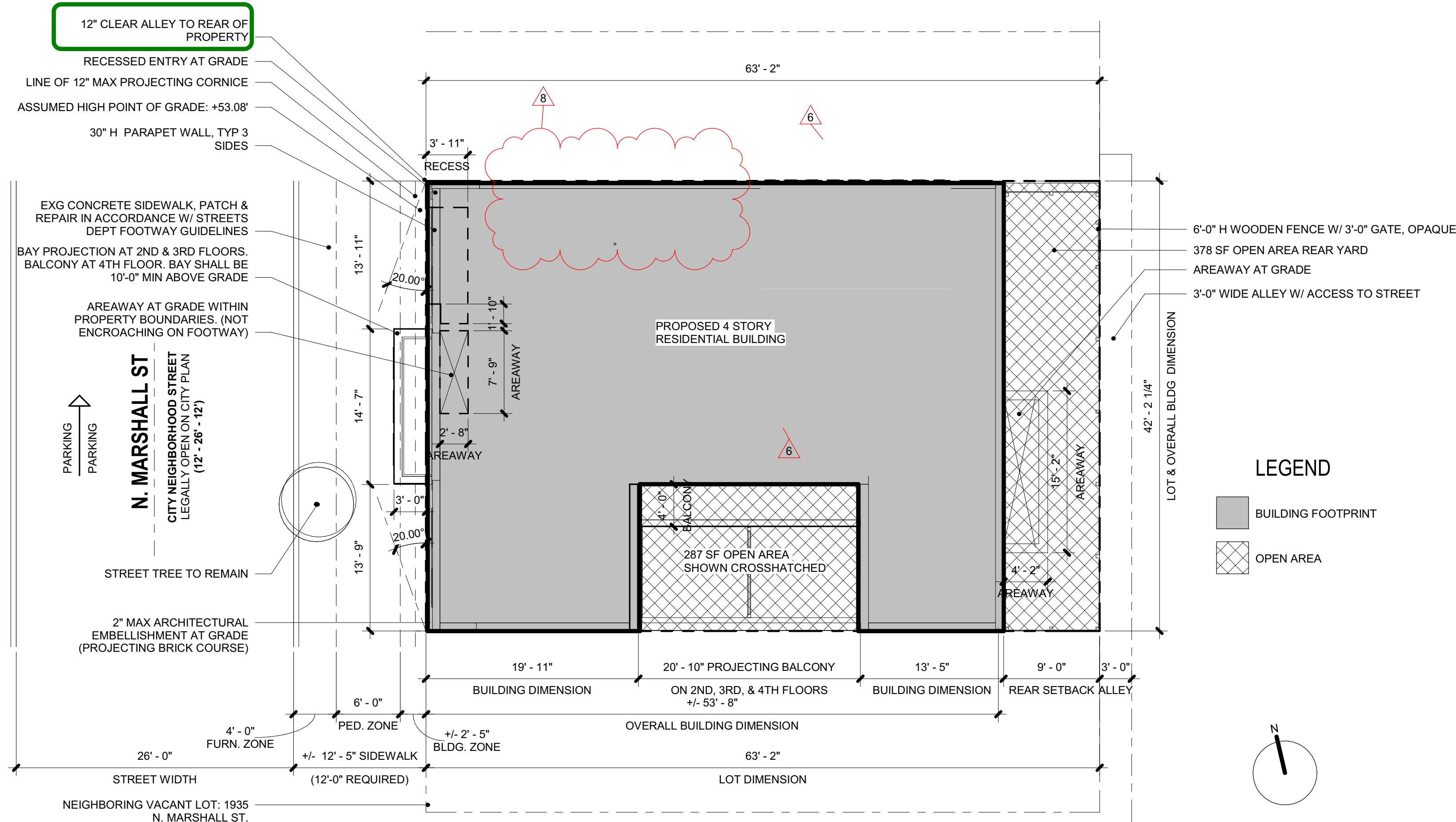
METES & BOUNDS

BEGINNING, AT A POINT IN THE EASTERLY LINE OF MARSHALL STREET (50 FOOT WIDE - LEGALLY OPEN - ON CITY PLAN), SAID POINT BEING 284.865 FEET FROM THE INTERSECTION OF THE NORTHERLY LINE OF BERKS STREET (50 FOOT WIDE - LEGALLY OPEN - ON CITY PLAN), AND THE EASTERLY LINE OF MARSHALL STREET (50 FOOT WIDE - LEGALLY OPEN - ON CITY PLAN), TO WIT:

FOR SAID PARCEL 4 THE FOLLOWING FOUR (4) COURSES, TO WIT:

1. ALONG THE SAID LINE OF MARSHALL STREET, NORTH 09 DEGREES 59 MINUTES 16 SECONDS EAST, A DISTANCE OF 42.199 FEET, TO A POINT, THENCE;
2. HEADING ALONG A LINE AT RIGHT ANGLES TO MARSHALL STREET, ALONG THE MIDDLE LINE OF A CERTAIN COVERED ALLEY BETWEEN BUILDINGS, WITH A BEARING OF NORTH 80 DEGREES 00 MINUTES 44 SECONDS EAST, A DISTANCE OF 63.167 FEET TO A POINT ON THE WESTERLY LINE OF A 3-FOOT-WIDE ALLEY, THENCE;
3. ALONG THE WESTERLY LINE OF AN EXISTING 3-FOOT-WIDE ALLEY WITH A BEARING OF SOUTH 09 DEGREES 59 MINUTES 16 SECONDS WEST, AND A DISTANCE OF 42.199 FEET TO A POINT, THENCE;
4. ALONG A BEARING OF NORTH 80 DEGREES 00 MINUTES 44 SECONDS WEST, A DISTANCE OF 63.167 FEET TO A POINT, SAID POINT BEING THE POINT AND PLACE OF BEGINNING.

CONTAINING WITHIN THE METES AND BOUNDS 2,666 SQUARE FEET OR 0.06120 ACRES, MORE OR LESS.

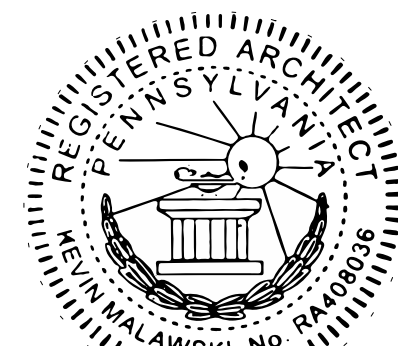


1 ZONING PLAN

1/8" = 1'-0"



Applied Electronically by L&L User:



Digitally signed by
Kevin Malawski

REVISIONS

1	ZONING COMMENTS	12.21.2020
2	ZONING COMMENTS	1.25.2021
3	ALLEY REVISION	8.24.2021
4	ZONING COMMENTS	9.10.2021
6	ZONING REVISION	12.17.2021
7	ROOF DECK & PH	12.23.2021
8	REMOVE PH	12.27.2021

FIRST ISSUE: 12/1/2020

DWN: KM
CHK:

MARSHALL FLATS

20070

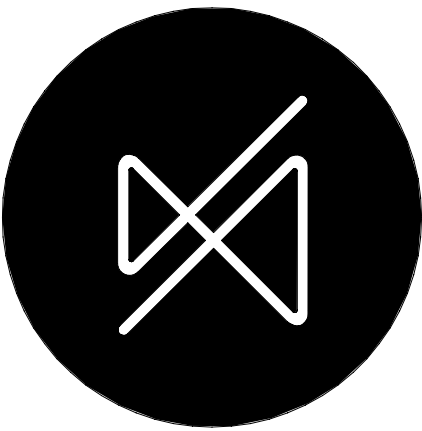
1937-41 N. MARSHALL ST.
PHILADELPHIA, PA 19122

ZONING PLANS

As indicated

PERMIT DOCUMENTS

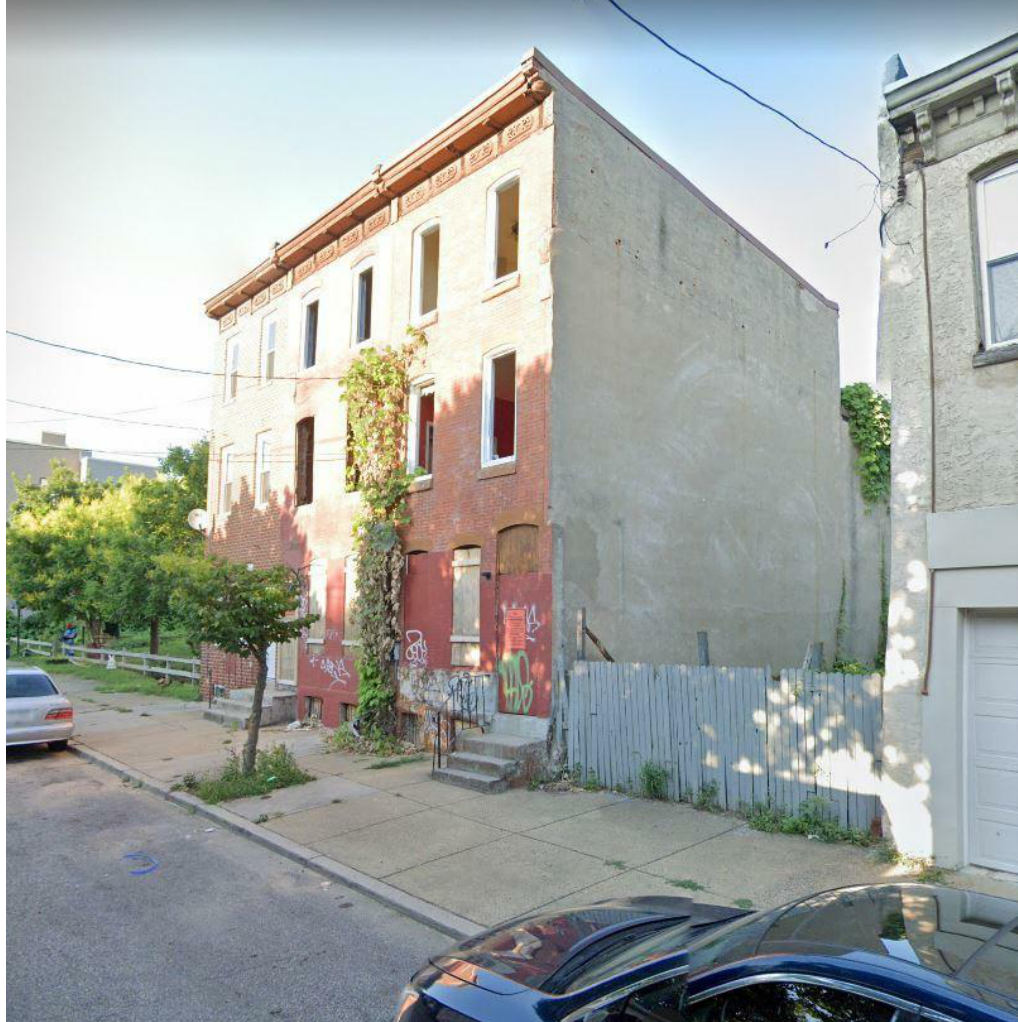
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KARBON ARCHITECTS LLC
2530 E. LEHIGH AVE
PHILADELPHIA, PA 19125
www.karbonarchitects.com



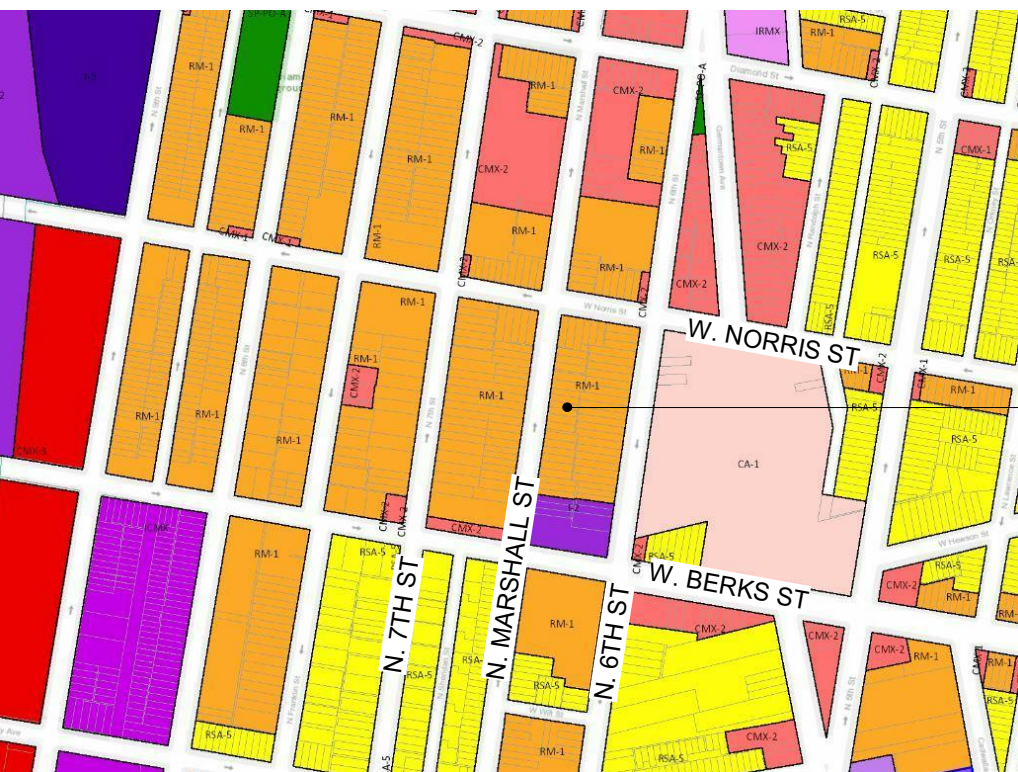
SITE PHOTO: LOOKING EAST



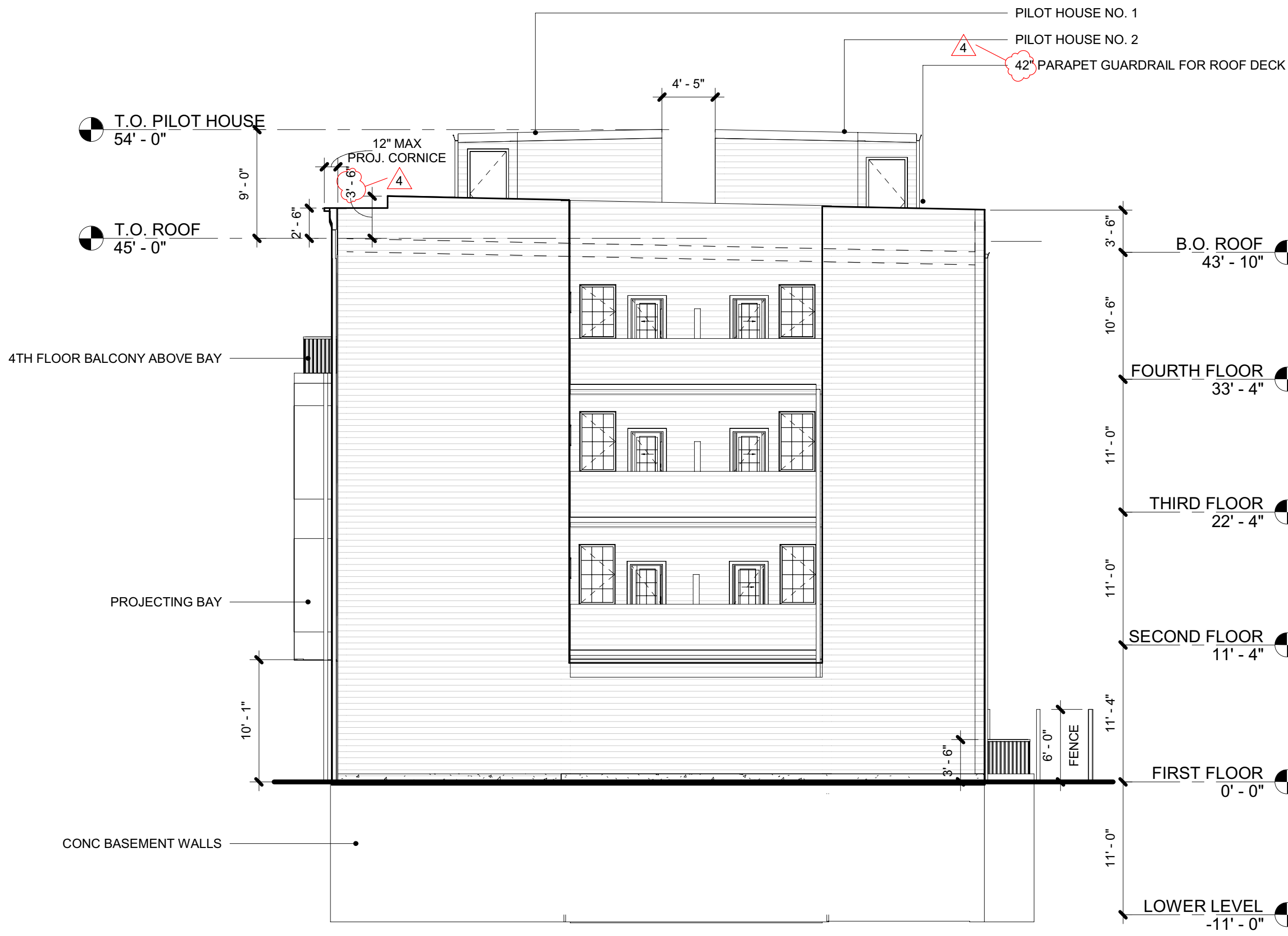
SITE PHOTO: LOOKING NORTH EAST



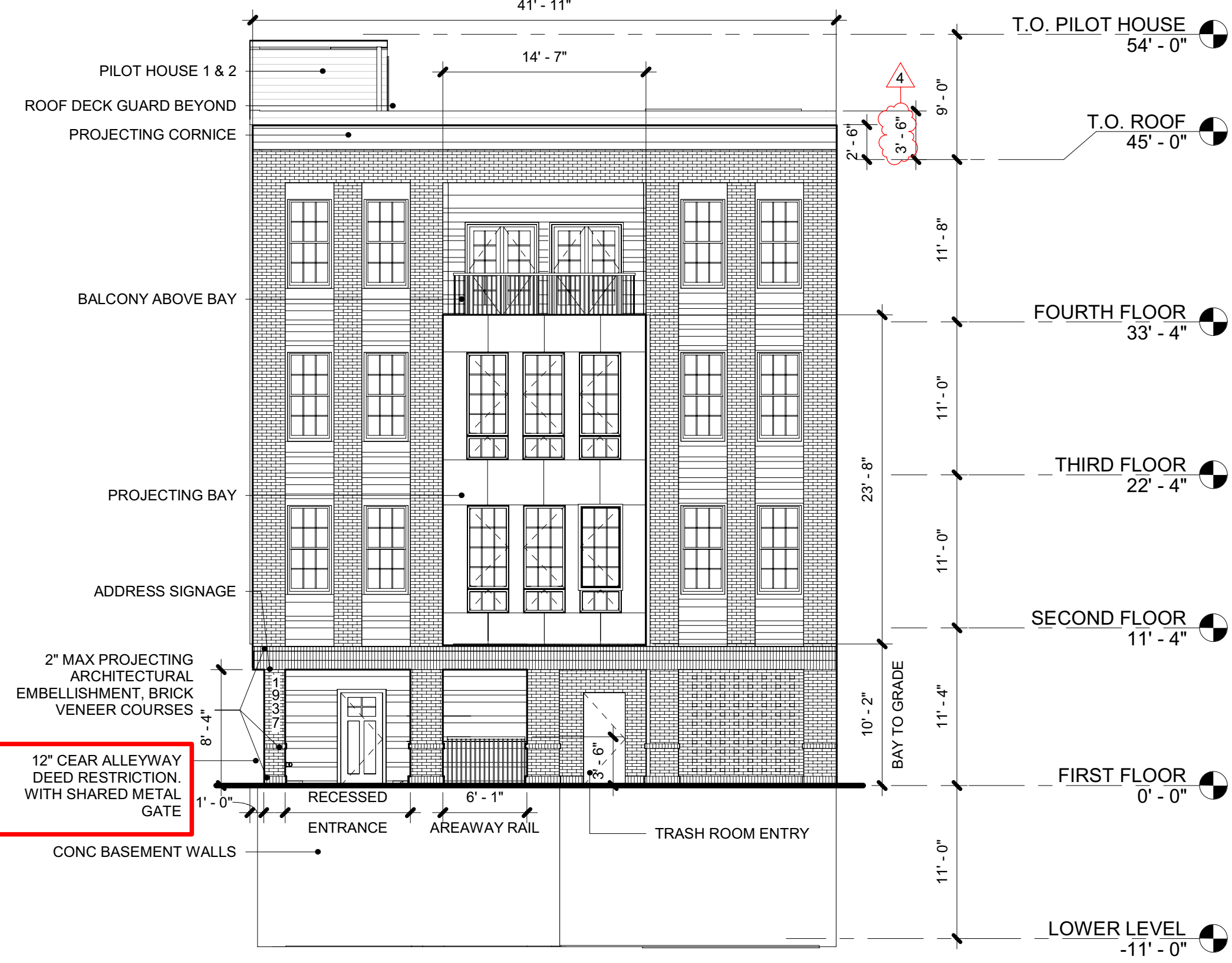
SITE PHOTO: LOOKING SOUTH EAST



SITE PLAN: CONTEXT



3 ZONING ELEVATION - SOUTH
1/8" = 1'-0"



2 ZONING ELEVATION - WEST
1/8" = 1'-0"

ZONING COMPLIANCE INFORMATION

PROPERTY	1937, 1939, 1941 N. MARSHALL ST., PHILADELPHIA, PA 19122
OPA NUMBERS:	201133801, 201133701, 201133801
BASE DISTRICT:	RM-1
ADJACENT DISTRICT:	RM-1
OVERLAY DISTRICT:	NONE
LOT AREA:	2,666 SF
USAGE:	(9) APARTMENT DWELLING UNITS
UNITS PERMITTED BY RIGHT:	6 360 SF * 4 = 1,440 SF: 4 UNITS 2,666 SF - 1,440 SF = 1,226 SF REMAINING 1,226 SF / 480 SF = 2 UNITS
LOW INCOME DENSITY BONUS:	+50% UNITS & 7'-0" HEIGHT
TOTAL UNITS PROPOSED:	6-3 = 3 UNITS TOTAL
LOW INCOME DENSITY PAYMENT:	\$90,000 THE GREATER OF: \$24 PER LOT SF: 24 x 2,666 = \$63,984 \$30,000 PER UNIT: 30,000 x 3 = \$90,000
ALLOWED / REQUIRED	PROPOSED
OPEN AREA:	665 SF (25% MIN) 2,001 SF (75% MAX)
OCCUPIED AREA:	2,001 SF (75% MAX) 0'-0" (FROM ADJACENT)
FRONT YARD SETBACK:	0'-0" MIN 0'-0" (ATTACHED)
REAR YARD SETBACK:	38'-0" * 7'-0" = 45'-0" 0 PROVIDED
SIDE YARD SETBACK:	0 REQUIRED
HEIGHT:	0 REQUIRED
PARKING:	0 PROVIDED

RIGHT OF WAY	4'-0"	4'-0"
FURNISHING ZONE:	4'-0"	4'-0"
PEDESTRIAN ZONE:	6'-0"	6'-0"
BUILDING ZONE:	0'-0" REQD	+/- 2'-5" PROVIDED

- GENERAL ZONING NOTES:**
- SITE CONSISTS OF CONSOLIDATED LOT OF PREVIOUS PROPERTIES: 1937, 1939, & 1941 N. MARSHALL ST., PHILADELPHIA, PA 19122.
 - BACK OF LOT INACCESSIBLE AT TIME OF SURVEY. ASSUMED HIGH POINT SHALL BE +53.08' AT NORTHWEST CORNER OF LOT. ZONING MAX OF 45'-0" SHALL BE MAINTAINED AT FINAL GRADING.
 - PILOT HOUSES SHALL CONTAIN STAIRS & LANDINGS ONLY.
 - ROOF DECK SHALL BE SET BACK 5'-0" MIN FROM RIGHT OF WAY.
 - PILOT HOUSE SHALL BE SET BACK 10'-0" MIN FROM RIGHT OF WAY & 5'-0" MIN FROM REAR OF BUILDING.
 - 6'-0" HIGH WOODEN FENCE PROPOSED AT REAR OF PROPERTY.
 - NO CURB CUTS PROPOSED.
 - AREAWAYS SHALL BE PROTECTED BY A RAILING NOT LESS THAN 42" TALL ON ALL OPEN SIDES.
 - NO IMMEDIATE ADJACENT PROPERTIES. CLOSEST PROPERTY TO SOUTH ON SAME BLOCKFACE IS TWO STORIES. CLOSEST PROPERTY TO NORTH ON SAME BLOCKFACE IS THREE STORIES. NO THIRD FLOOR SETBACK REQUIRED.
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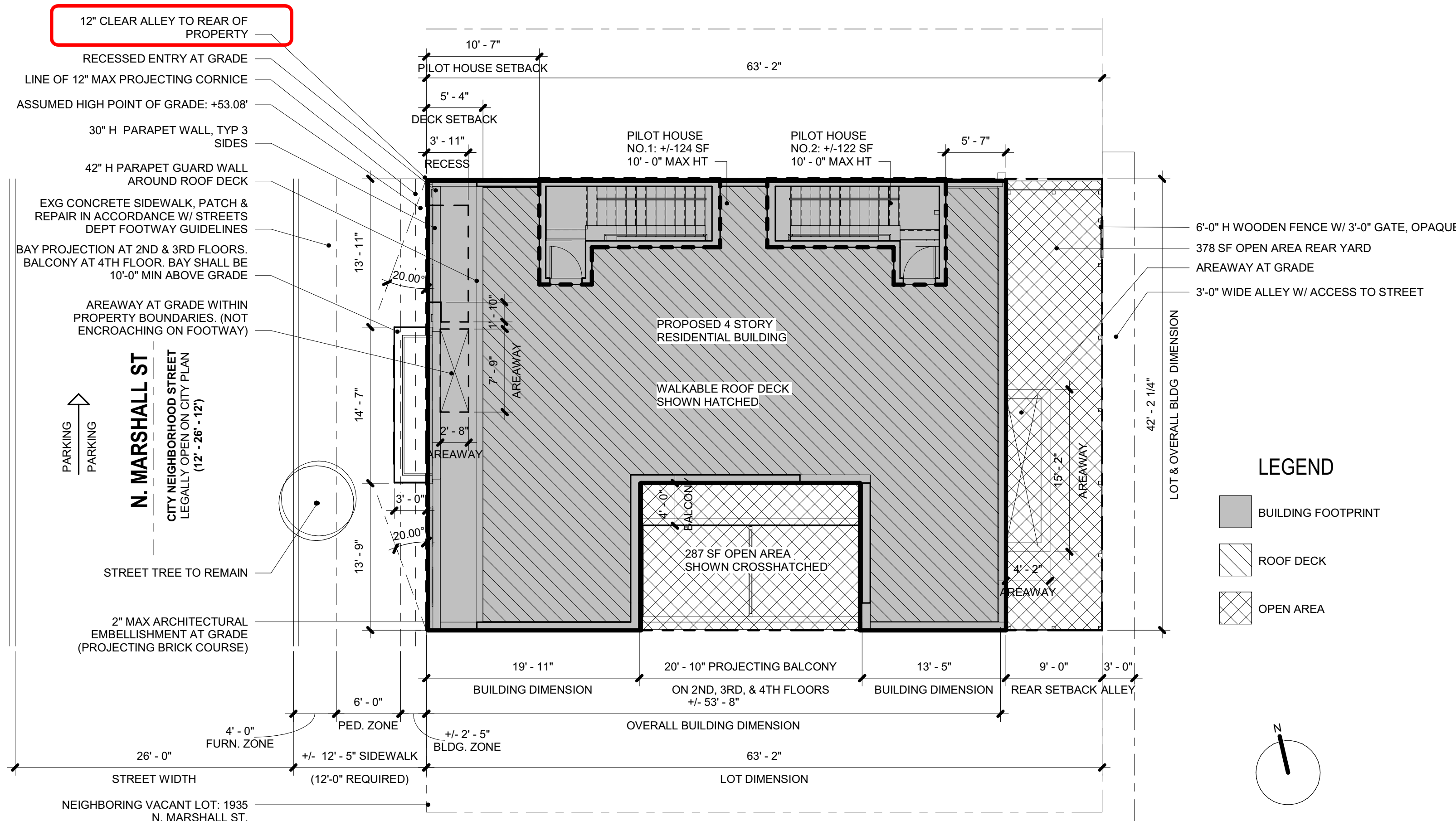
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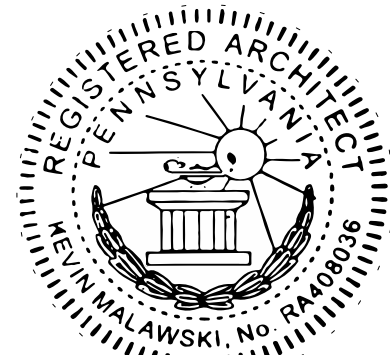
FOR SAID PARCEL 4 THE FOLLOWING FOUR (4) COURSES, TO WIT:

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- HEADING ALONG A LINE AT RIGHT ANGLES TO MARSHALL STREET, ALONG THE MIDDLE LINE OF A CERTAIN COVERED ALLEY BETWEEN BUILDINGS, WITH A BEARING OF NORTH 80 DEGREES 00 MINUTES 44 SECONDS EAST, A DISTANCE OF 63.167 FEET TO A POINT ON THE WESTERLY LINE OF A 3-FOOT-WIDE ALLEY, THENCE;
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CONTAINING WITHIN THE METES AND BOUNDS 2,666 SQUARE FEET OR 0.06120 ACRES, MORE OR LESS.



1 ZONING PLAN
1/8" = 1'-0"



Digitally signed by Kevin
Malawski
Date: 2021.09.10
16:31:18-04'00'

REVISIONS

1	ZONING COMMENTS	12.21.2020
2	ZONING COMMENTS	1.25.2021
3	ALLEY REVISION	8.24.2021
4	ZONING COMMENTS	9.10.2021

FIRST ISSUE: 12/1/2020

DWN: KM
CHK:

MARSHALL FLATS

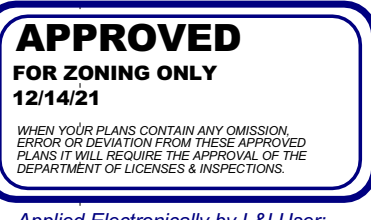
20070
1937-41 N. MARSHALL ST.
PHILADELPHIA, PA 19122

ZONING PLANS

As indicated

PERMIT DOCUMENTS

A0.4



Applied Electronically by L&L User:



Department of Planning and Development CITY OF PHILADELPHIA

Form Submissions

Email:
planning.development@phila.gov

Questions

Email:
planning.development@phila.gov

Due to COVID-19 restrictions, in-person submissions and phone support are currently not available. Do not mail this form.

Mixed Income Housing Zoning Bonus Applicant Acknowledgement Form

Use this form to acknowledge the mixed income zoning bonus requirements. Before a zoning permit can be issued, the Department of Planning and Development must review plans and sign this form to certify the application to the Department Licenses and Inspections.

Property & Zoning

Identify the location, application, zoning district, lot size, and any lot line changes.

The zoning application must indicate the use of the mixed income bonus. Lot area must match submitted plans and be in Philadelphia District Standard. Plans must be sealed by a licensed surveyor. Lot line changes must be stamped by the Survey District.

1

Address _____

Zoning Permit
Application Number _____

Base District(s) _____

Overlays(s) _____

Application includes a lot subdivision, consolidation, or adjustment?

☒ Yes

☐ No

Lot Area _____ sq. ft.

Mixed Income Bonus

Identify the intended bonus.

All information from this section must also be included on submitted plans.

(a) Identify the selected bonus level.

(b) Identify the type of bonus(es) and the amount earned/used.

The bonus varies by zoning district and affordability level. See § 14-702(7).

(c) Identify if affordable housing or a payment will be provided to earn the bonus.

See § 14-702(7) for affordable unit and payment requirements. Include calculations if making a payment.

(d) Identify all other bonuses indicated on the permit application.

Include bonuses in § 14-702, the green roof exception in § 14-602(7), and the fresh food market incentives in § 14-603(7).

2

(a) Bonus Level (select one)

☐ Moderate Income

☒ Low Income

(b) Project to Receive (select all that apply)

☐ Gross Floor Area Additional Floor Area (as a percentage of lot area) _____ % earned _____ % used

☐ Building Height Additional Building Height _____ ft. earned _____ ft. used

☐ Dwelling Unit Density Additional Units _____ earned _____ used

(c) Project to Provide (select one)

☐ Affordable Housing

☒ Payment to the City

Total Dwelling Units _____

Calculation _____

Affordable Dwelling Units _____

Estimated Payment \$ _____

(d) Other Bonuses (include additional floor area, height, and/or units earned for each bonus)

Applicant

Identify the applicant on the zoning permit application.

3

Name _____ Company _____

Address _____

Email _____ Phone _____

Property Owner

Identify the property owner on the zoning permit application.

4

Name _____

Address _____

Email _____ Phone _____

Acknowledgement Statement & Signatures

The above-referenced zoning permit application includes a mixed income housing bonus at the level of affordability, type, and amount earned as referenced above, in accordance with the Philadelphia Code. Affordable housing or a payment to the City in lieu of providing affordable housing will be provided in a manner consistent with the Philadelphia Code and City-issued regulations and code bulletins issued.

I hereby acknowledge and understand the requirements of § 14-702(7) of the Philadelphia Code and the penalties for noncompliance. I certify I have read the "Bonus Requirements Summary" attached to this form. I further certify that I am authorized by the owner to make the foregoing acknowledgment. I understand that if I knowingly make any false statement herein, I am subject to such penalties as may be prescribed by law or ordinance.

Zoning Permit

Applicant's Signature: _____
Applied by L&I: Reeba Babu

Department of Planning
& Development Signature: _____

Philadelphia City
Planning Commission

Date: _____

December 1, 2021
Keith F Davis

Date Certified: _____

Development Planning

12/1/21

Mixed Income Housing Zoning Bonus Requirement Summary

Applicants must read this summary before signing the Applicant Acknowledgement Form.

Disclaimer

Affordable housing must be provided and payments in lieu must be made in a manner consistent with the Philadelphia Code and City-issued regulations and code bulletins. If this summary conflicts with any adopted regulation, ordinance, or code the regulation, ordinance, or code will govern.

Applicants Providing Affordable Housing

Legal Instrument

A legal instrument must be recorded in favor of the City before this issuance of a building permit. This instrument is a restrictive covenant approved by the Department of Planning and Development (DPD) and the Law Department. This commits the owner to the requirements of the bonus. The restrictive covenant is available for review upon request.

Affordable Building Plan

DPD must approve a submitted Affordable Building Plan before the issuance of a building permit. The applicant and the development's design professional must sign the Affordable Building Plan. Permit modifications may require DPD approval of a new Affordable Building Plan.

This Affordable Building Plan must include, but need not be limited to:

- A plan to market the affordable units to eligible tenants/purchasers.
- A site plan showing the location of affordable units.
- A statement and documentation from the design professional that affordable units will be comparable to market-rate units in exterior and interior design, size, appearance, building materials and finishes, overall construction quality, and energy efficiency.
- An outline of any development phasing including the timing of any temporary certificates of occupancy.
- An acknowledgment of penalties if the development does not conform to the Affordable Building Plan.

Unit Affordability

At least 10% of all dwelling units, rounded up to the nearest whole number if a fraction, must be affordable as defined in the Zoning Code. A household is every person who lives or intends to live in the unit, regardless of age, dependency status, or relationship. The imputed household size to determine maximum monthly costs is 1.5 people per each bedroom in the unit and 1 person for studios and efficiencies. Area Median Income (AMI) is as reported by the U.S. Department of Housing and Urban Development for the Philadelphia Metropolitan Statistical Area. AMI is adjusted for actual household size to determine eligible occupancy.

Rental unit requirements:

- Total monthly costs (including rent and utility costs) cannot exceed 30% of the gross monthly income of an imputed household earning 60% of AMI for moderate income units or 50% of AMI for low income units.
- Households can earn up to 60% of AMI for moderate income units or 50% of AMI for low income units at the time of the household's initial occupancy.
- Households cannot continue to occupy a unit if income exceeds 120% of AMI for moderate-income units or 100% of AMI for low income units.

Owner-occupied unit requirements:

- The maximum sale price during the term of affordability is calculated based on a down payment of no more than 5% of the purchase price, a fixed-rate 30-year mortgage, consistent with the average monthly rate published by Freddie Mac, and monthly costs (including mortgage principal and interest, property taxes, property insurance, and condominium or homeowner association fees) that do not exceed 30% of gross monthly income an imputed household earning 80% of AMI for moderate income units or 70% of AMI for low income units.
- All sales during the affordability period must be to one or more members of a household with household earnings up to 80% of AMI for moderate income units or up to 70% of the AMI for low income units.
- The unit must be the principal residence of at least one owner during the period of affordability.

Applicants Making a Payment to the City

Binding Agreement & Payment

The property owner must sign an agreement with DPD and make a payment to the City before the issuance of a building permit. The payment agreement is available for review upon request.

Payment Calculations:

- In an RM-2, RM-3, RM-4, RMX-1, RMX-2, RMX-3, IRMX, CMX-3, CMX-4, or CMX-5 zoning district: The additional gross floor area (in square feet) earned through the bonus, multiplied by \$25 for the moderate income bonus or by \$30 for the low income bonus.
- In an RM-1, CMX-1, CMX-2, or CMX-2.5 zoning district, the greater of:
 - The lot area (in square feet) multiplied by \$20 for the moderate income bonus or by \$24 for the low income bonus.
 - The number of additional dwelling units earned through the bonus multiplied by \$25,000, for the moderate income bonus and by \$30,000 for the low income bonus. Unless indicated, the maximum number of dwelling units is rounded down to the nearest whole number if a fraction when calculating each step (e.g. base zoning, other dwelling unit density bonuses, and the mixed income housing bonus) not at the end of the calculation.

Penalties and Enforcement

- No building permit will be issued until the property meets the mixed income bonus requirements.
- No certificate of occupancy will be issued for dwelling units in a development unless:
 - Certificates of occupancy are issued for all affordable units;
 - An agreement is signed with DPD and payment is made instead of providing the affordable units; or
 - DPD issues a waiver upon showing of exceptional circumstances.
- Failure to comply with the requirements of this summary will be grounds for:
 - Revocation of any building permit, certificate of occupancy, or rental license and the renewal of any such permits, certificates, or licenses;
 - A fine of \$500 a day;
 - Any other remedies that are available by law.
- DPD has the right to inspect documents as necessary to determine continued compliance. This includes, but is not limited to, the financial records of any tenants or owners to confirm eligibility.