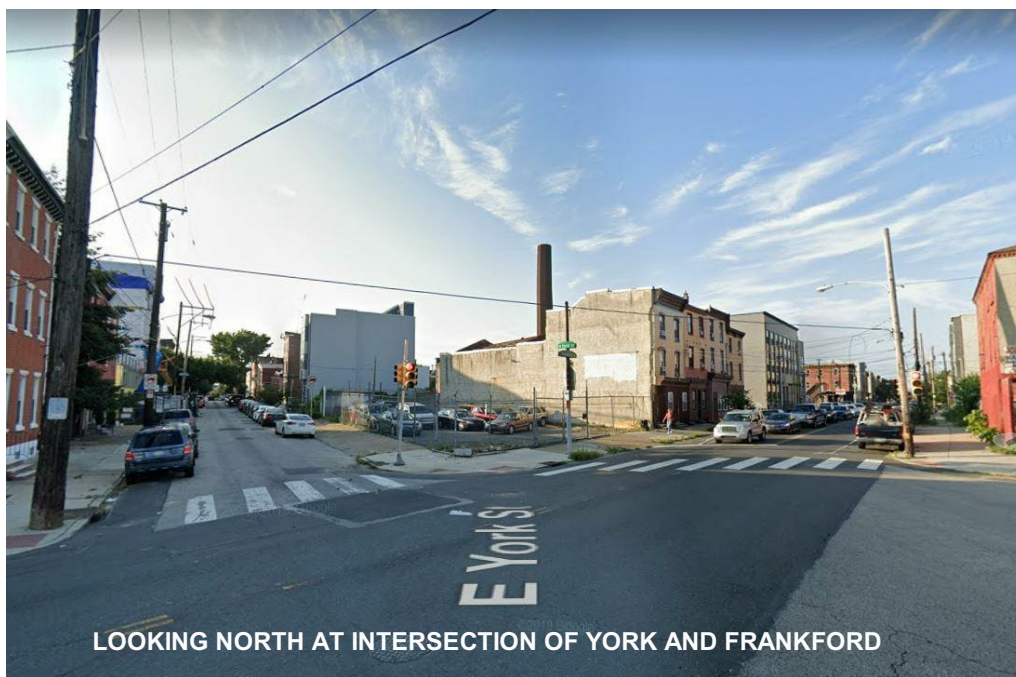


LOT CONSOLIDATION AND CONSTRUCTION OF A MIXED-USE MULTIFAMILY BUILDING

EXISTING CONDITION SITE PHOTOS



6" H PRIVACY FENCE AT PROPERTY LINE
RESIDENTIAL PATIO PERGOLA

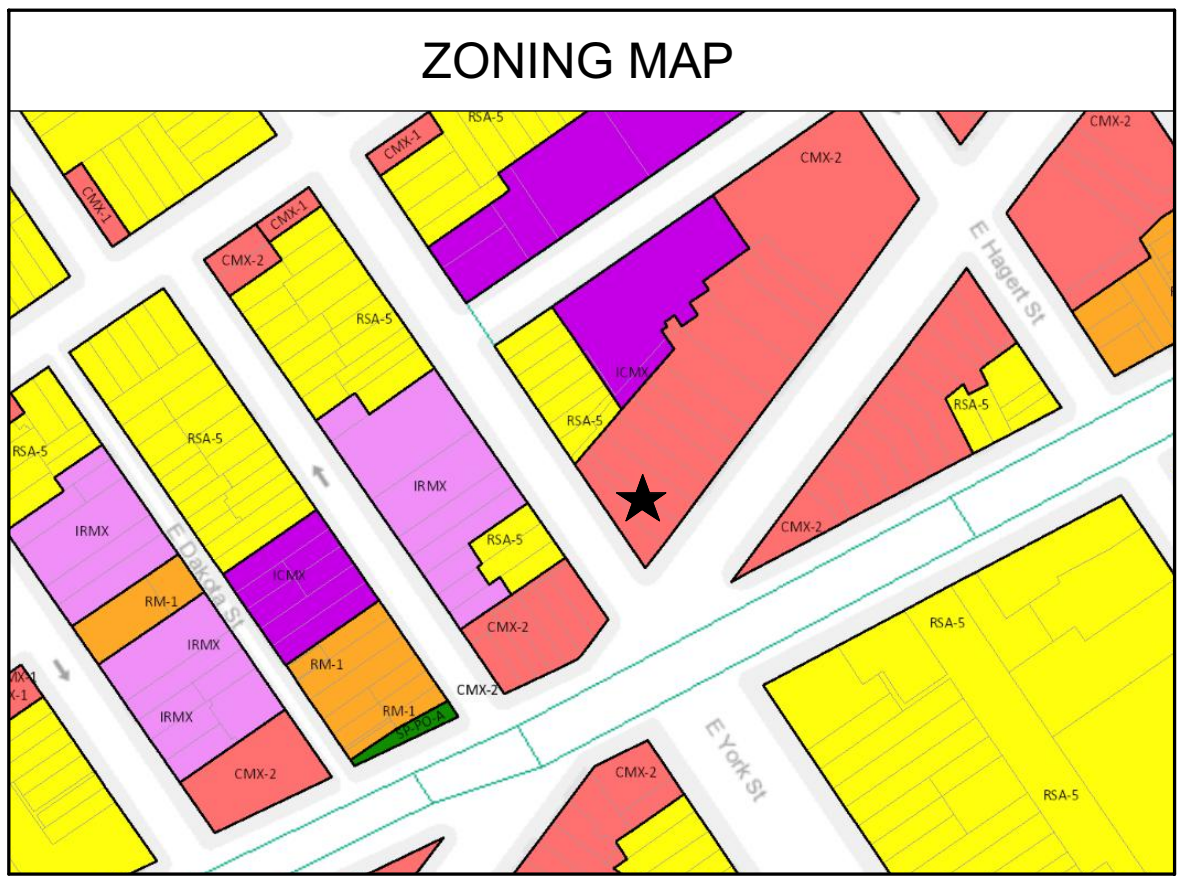
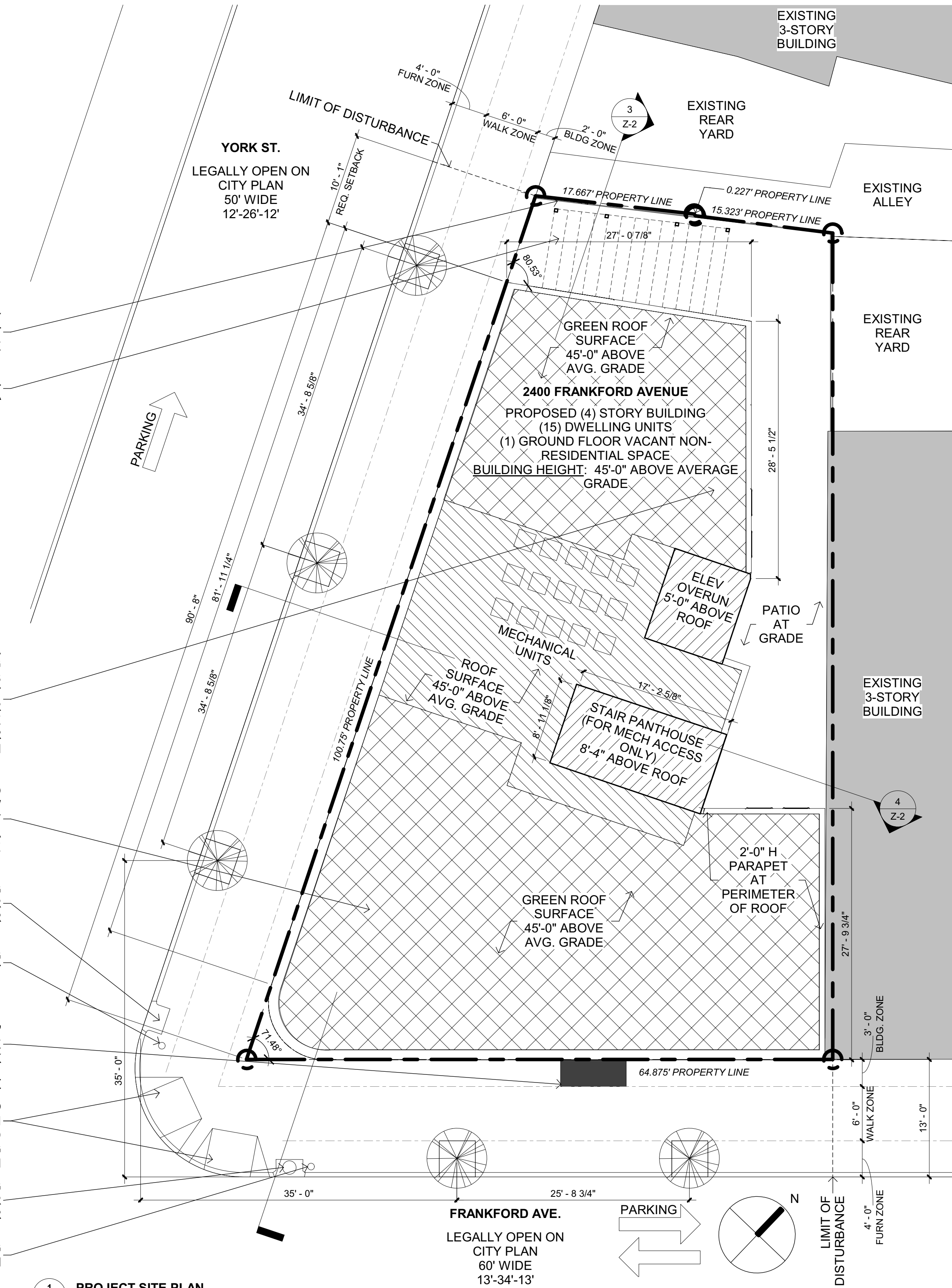
MIN. (5) CLASS 1A BICYCLE PARKING SPACES PROVIDED AT FIRST FLOOR INTERIOR. SEE 2/Z-2 FOR LOCATION

GREEN ROOF TO COMPLY W/ SECTION 14-602.7 OF THE PHILA ZONING CODE

EXISTING STORM SEWER COVER
EXISTING TRAFFICE LIGHT

CANOPY 8'-0" ABOVE SIDEWALK
EXISTING ADA-COMPLIANT CURB RAMP TO REMAIN PROTECTED DURING CONSTRUCTION
EXISTING STORM SEWER COVER
EXISTING STREET SIGN

PROJECT SITE PLAN
1/8" = 1'-0"



ZONING SUMMARY				
		CMX-2 DIMENSIONAL STANDARD	PROPOSED	CONFORMING/ NON-CONFORMING
LOT AREA	SF	-	4,603.39 SF	-
MAX OCCUPIED AREA (% OF LOT AREA)	%	3,682.75F (80% MAX)	3,654.98SF (79.4%)	CONFORMING
OPEN AREA	%	920.68SF (20% MIN)	948.4SF (20.6%)	CONFORMING
FRONT YARD SETBACK	FT	0'	0'	CONFORMING
SIDE YARD(S) SETBACK	FT	5' IF USED	N/A	CONFORMING
REAR YARD SETBACK	FT	9' OR 10%	10'-1" (10%) AT YORK 9'-0" AT FRANKFORD	CONFORMING
BUILDING HEIGHT	FT	38'	45' (1)	CONFORMING
PARKING	#	0	0	CONFORMING
BICYCLE PARKING	#	5	5 MIN. (2)	CONFORMING
TOTAL ROOF SURFACE	%	-	3,364.53SF	CONFORMING
TOTAL GREEN ROOF	%	2,018.72SF (60% MIN)	2,449.08 (72.79%)	CONFORMING
TOTAL RESIDENTIAL UNITS	#	8	15 (3/4)	CONFORMING

(1) MIXED INCOME BONUS TO BE UTILIZED FOR THE PROJECT, ALLOWING ADDITIONAL 7' OF HEIGHT
(2) CLASS 1A BICYCLE PARKING SPACES
(3) GREEN ROOF BONUS TO BE UTILIZED FOR THE PROJECT, ALLOWING ADDITIONAL 2 UNITS
(4) LOW INCOME BONUS TO BE UTILIZED FOR THE PROJECT, ALLOWING ADDITIONAL 5 UNITS

ALLOWABLE RESIDENTIAL DENSITY		
ZONING REFERENCE	CALCULATIONS	
Per 14-602 (4) (a) [2] (b): A maximum of three dwelling units are permitted for lots that are 1,440 sq. ft. to 1,919 sq. ft. in area and a minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.	4,603.39sf - 1,919 = 3 Units 2,684.39 / 480sq ft. = 5.59 or 5 Units Total = 8.59 or 8 units	
Per 14-602 (4) (a) [8] (c): If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is 25% greater than indicated by the foregoing lot size requirements, applied prior to the inclusion of any other applicable increases in allowable units, and the provisions of subsections (a) and (b), above shall not apply	8.59 Units x 25% = 2.14 or 2 Additional Units Subtotal = 10 Units	
Per 14-702 (7) (c) (3) Mixed Income Housing Bonus Tables: Mixed Income Housing, Low Income, CMX-2, 50% increase in units permitted.	10.4 Units x 50% = 5.2 or 5 Additional Units	
Total Allowable Residential Dwelling Units	10 Units + 5 Units = 15 Units (1)	

MIXED INCOME BONUS			
BONUS LEVEL:			
LOW INCOME			
PROJECT TO RECEIVE:			
☐ GROSS FLOOR AREA	ADDITIONAL FLOOR AREA	___% EARNED	___% USED
☒ BUILDING HEIGHT	ADDITIONAL BUILDING HEIGHT	___FT. EARNED	___FT. USED
☒ DWELLING UNIT DENSITY	ADDITIONAL UNITS	___ EARNED	___ USED
PROJECT TO PROVIDE:			
☒ PAYMENT TO THE CITY			
CALCULATION: (5) UNITS x \$30,000			
ESTIMATED PAYMENT: \$150,000			
OTHER BONUSES:			
GREEN ROOF - INCREASE OF TWO (2) RESIDENTIAL UNITS			

AREA SUMMARY & BUILDING USES		
	GSF PER 14-202 (4) (a)	PROPOSED USE
FIRST FLOOR	3,651.90SF	(1) VACANT NON-RESIDENTIAL SPACE, RESIDENTIAL LOBBY, BIKE STORAGE, BUILDING MECHANICALS
SECOND FLOOR	3,651.90SF	(5) DWELLING UNITS
THIRD FLOOR	3,651.90SF	(5) DWELLING UNITS
FOURTH FLOOR	3,651.90SF	(5) DWELLING UNITS
ROOF	3,364.63SF	(15) MECHANICAL UNITS
TOTALS	17,972.23SF	(1) VACANT NON-RESIDENTIAL SPACE (15) DWELLING UNITS

OWNER
KHOSLA PROPERTIES LLC
1100 LUDLOW STREET
7TH FLOOR WEWORK
PHILADELPHIA PA 19107
TEL: 267.551.1955

ARCHITECT
CANNO DESIGN
109 S 13TH STREET
2ND FLOOR
PHILADELPHIA, PA 19107
TEL: 215.977.7075

CIVIL ENGINEER
AQUA ECONOMICS & ENGINEERING
1391 WALTON ROAD
BLUE BELL, PA 19422
TEL: 267.885.9875

ROOF KEY

- WHITE T.P.O. ROOF SURFACE
- WHITE T.P.O. ROOF SURFACE - ROOF ACCESS STRUCTURE
- GREEN ROOF SURFACE

ZONING REV 03	06/10/2021
ZONING REV 02	06/03/2021
ZONING REV 01	03/23/2021
ZONING	02/26/2021

FRANKFORD APARTMENTS
2400-2404 FRANKFORD AVENUE
PHILADELPHIA, PA 19125

CANNO design
109 S. 13TH STREET, 2ND FLOOR
PHILADELPHIA, PA 19107

Drawing Title
ZONING PLAN + SUMMARY

Date:	APRIL 30, 2021
Drawn By:	NZ
Checked By:	CJY
Scale:	As indicated



Z-1

Seal Drawing No.

CITY DEPARTMENT APPROVAL STAMPS

Philadelphia City Planning Commission
mixed income bonus
June 22, 2021
Keith F Davis
Development Planning

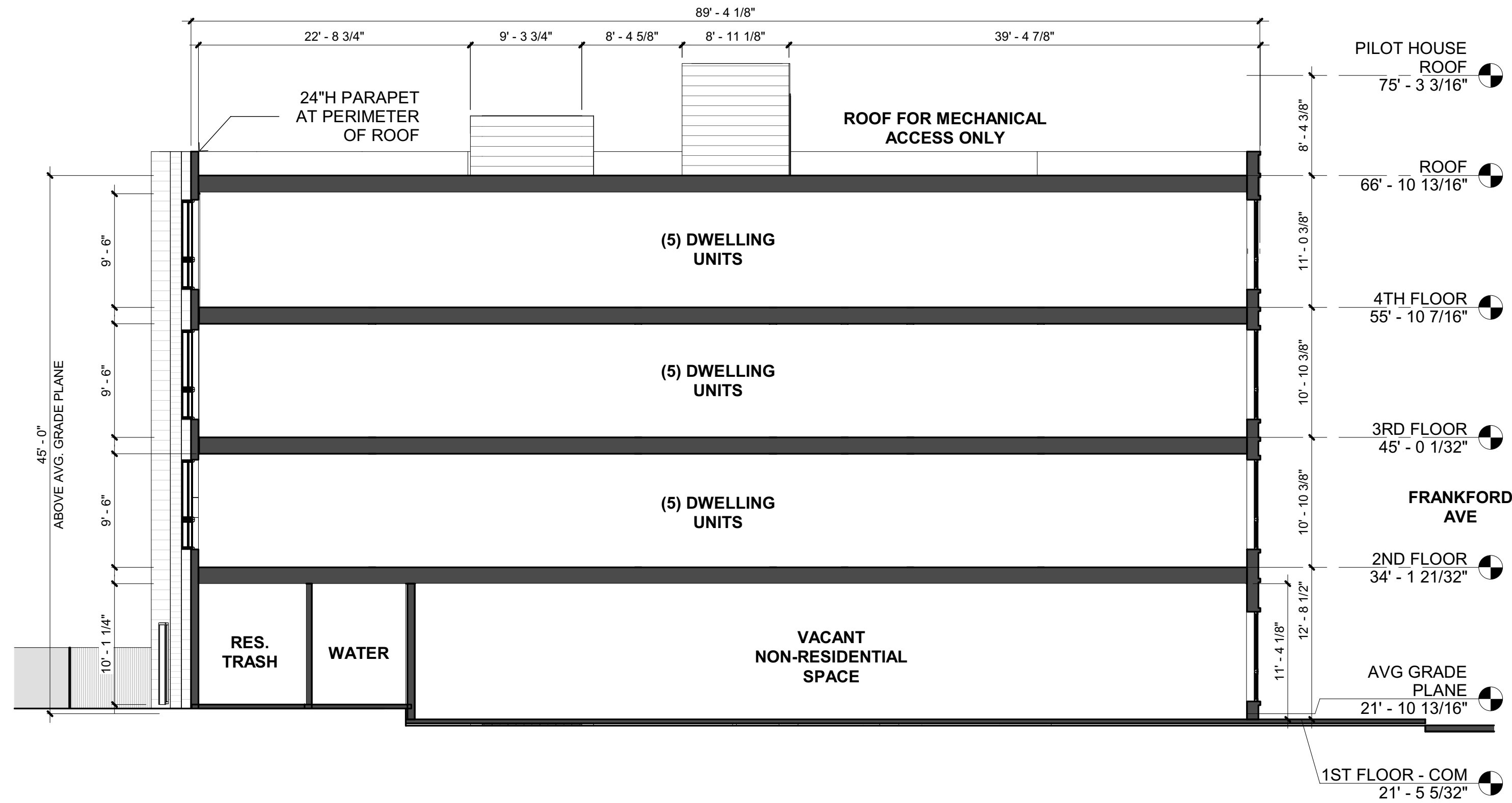
Per 14-701(1)(d)(1), the City Planning Commission has determined that:
Frankford is the primary street;
Opposite of Frankford Street is the rear;
Street is the rear street

Applied Electronically by: KEITH DAVIS
June 22, 2021

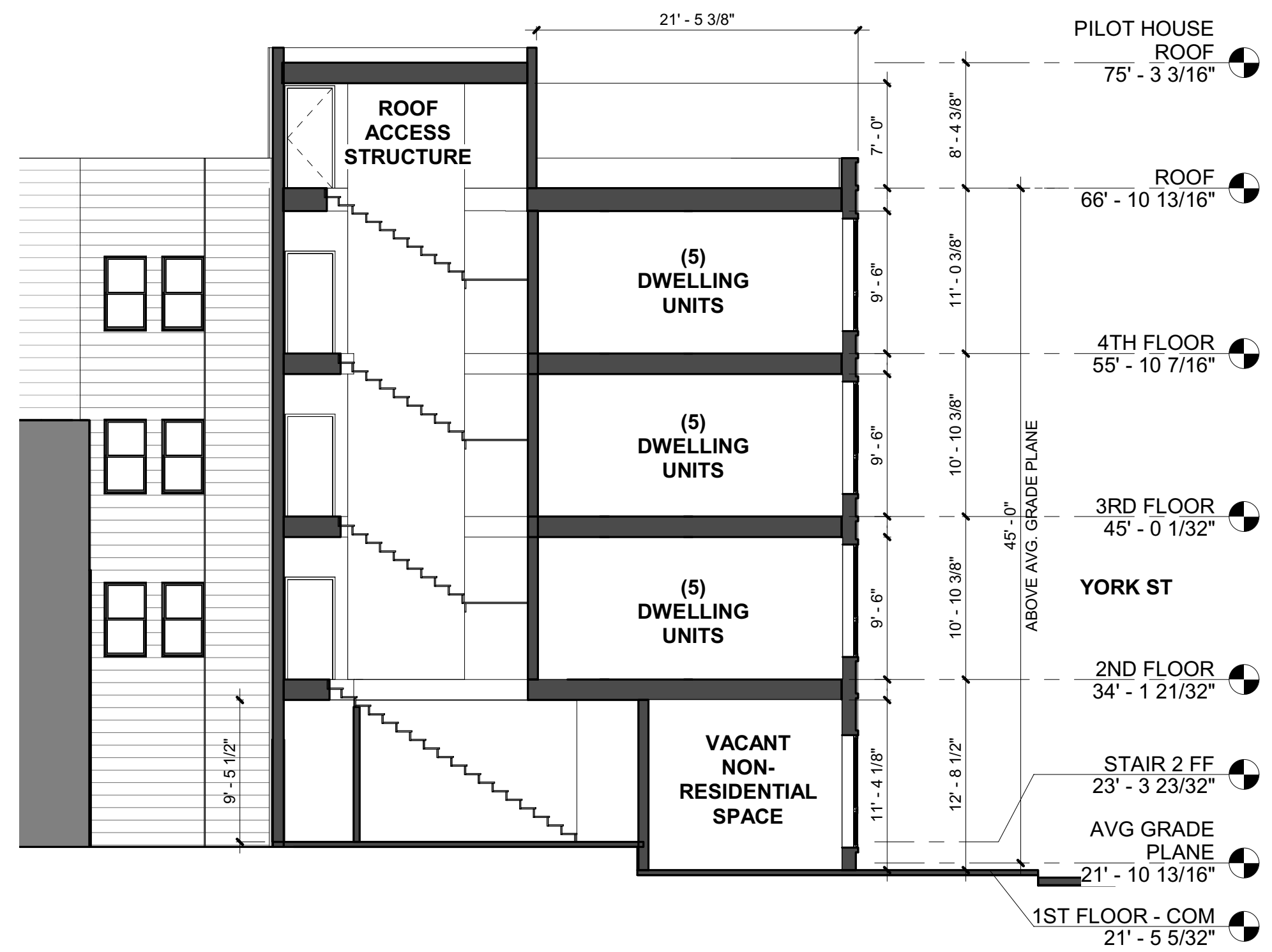
PHILADELPHIA CITY PLANNING COMMISSION



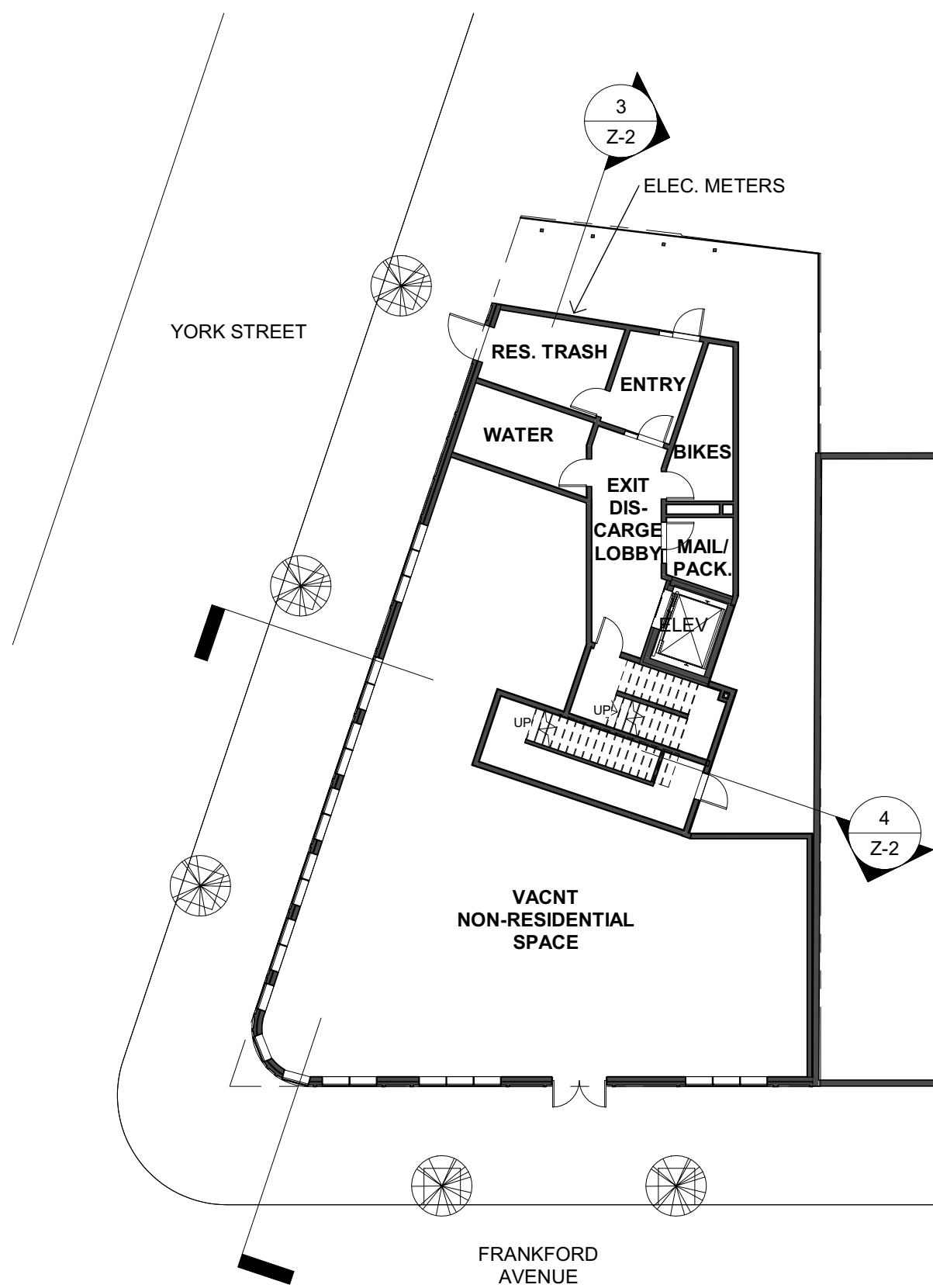
Applied Electronically by L&J User:



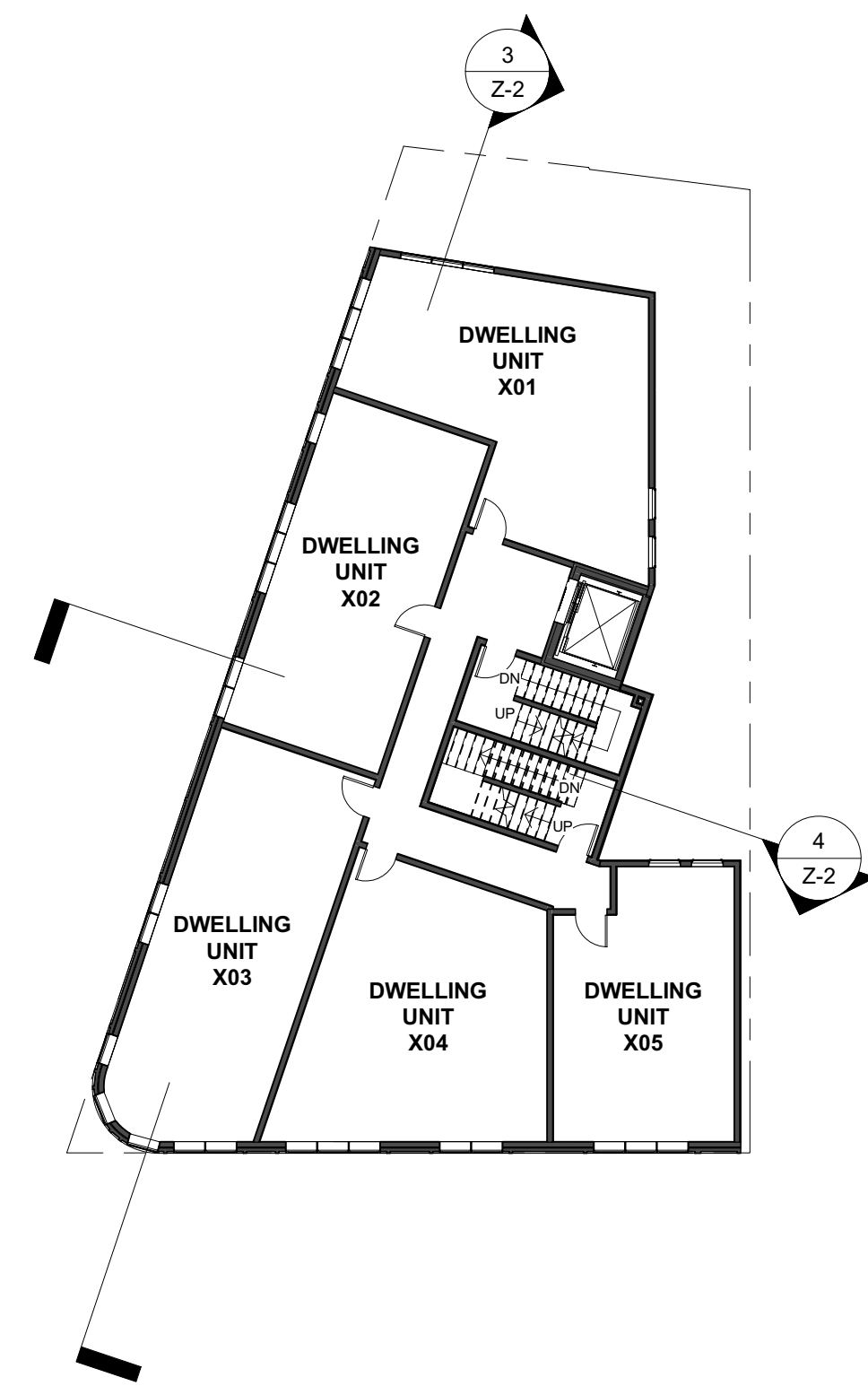
3
Z-2
ZONING - E/W BUILDING SECTION
1/8" = 1'-0"



4
Z-2
ZONING - N/S BUILDING SECTION
1/8" = 1'-0"



2
Z-2
ZONING - 1ST FLOOR PLAN
1/16" = 1'-0"



1
Z-2
ZONING - TYPICAL FLOOR PLAN
1/16" = 1'-0"

CITY DEPARTMENT APPROVAL STAMPS



ZONING REV 03	06/10/2021
ZONING REV 02	06/03/2021
ZONING REV 01	03/23/2021
ZONING	02/26/2021

No:	SUBMISSION/REVISION	DATE
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FRANKFORD APARTMENTS
2400-2404 FRANKFORD AVENUE
PHILADELPHIA, PA 19125

CANNO design
109 S. 13TH STREET, 2ND FLOOR
PHILADELPHIA, PA 19107

Drawing Title
BUILDING SECTIONS + PLANS

Date:	APRIL 30, 2021
Drawn By:	NZ
Checked By:	CJY
Scale:	As indicated



Seal

Z-2

Drawing No.

Zoning Permit

Permit Number ZP-2021-007671

LOCATION OF WORK 2400-02 FRANKFORD AVE Premises D, Philadelphia, PA 19125-1611	PERMIT FEE \$672.00	DATE ISSUED 7/2/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER

APPLICANT
Nick Ziolkowski 109 S 13th St 2nd Floor Philadelphia, PA 19107 USA

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED STRUCTURE(45' HIGH);
USING MIXED INCOME BONUS ADDITIONAL BUILDING HEIGHT 7' AS PER 14-702(7)(C)(.3)) WITH GREEN ROOF(COVERS MORE THAN 60% OF ROOFTOP AREA) AND ROOF ACCESS STRUCTURE . SIZE AND LOCATION AS SHOWN IN THE APPLICATION

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)

 **CONDITIONS AND LIMITATIONS:**

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.

 The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements. Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2021-007671

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2400-02 FRANKFORD AVE Premises D, Philadelphia, PA 19125-1611

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR A VACANT COMMERCIAL SPACE (USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) AT FIRST FLOOR WITH MULTI-FAMILY HOUSEHOLD LIVING(15 DWELLING UNITS) FROM SECOND(2ND) FLOOR THROUGHT FOURTH(4TH) FLOORS (USING MIXED INCOME HOUSING BONUS AS PER 14-702(7)(C) (.3) AND GREEN ROOF BONUS AS PER 14-702(16)(b)) WITH FIVE(5) 1A CLASS BICYCLE SPACES IN AN ACCESSIBLE ROUTE AT FIRST FLOOR .

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.