

Zoning Permit

Permit Number ZP-2021-003595

LOCATION OF WORK 6618-24 RIDGE AVE, Philadelphia, PA 19128-2427	PERMIT FEE \$879.00	DATE ISSUED 4/6/2021
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER STAPLES ANTHONY, STAPLES CAROL	194 CECELIA DR WARMINSTER PA 18974
---	------------------------------------

APPLICANT Keith Klein DBA: KLEIN & CO PLUMBING INC	PO Box 86Warrington, PA 18976USA
---	----------------------------------

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT Erection of A semi detached structure with roof access structure, 14 accessory parking space containing 1 ADA compliant van accessible space. Multi Family Household living (44 Dwelling Units), with roof deck above fifth floor level.
--

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.



Post a copy of this permit in a conspicuous location along each frontage.

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2021-003595

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

6618-24 RIDGE AVE, Philadelphia, PA 19128-2427

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

Multi Family Household living (44 Dwelling Units), with roof deck above fifth floor level.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

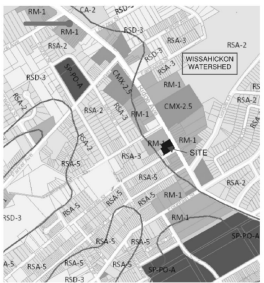
Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



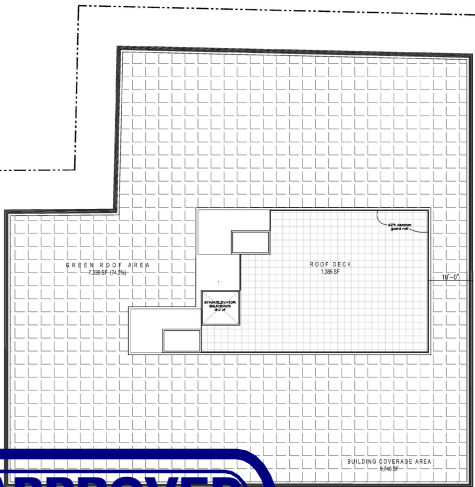
TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.

6618-24 Ridge ZONING 122220.pdf V2

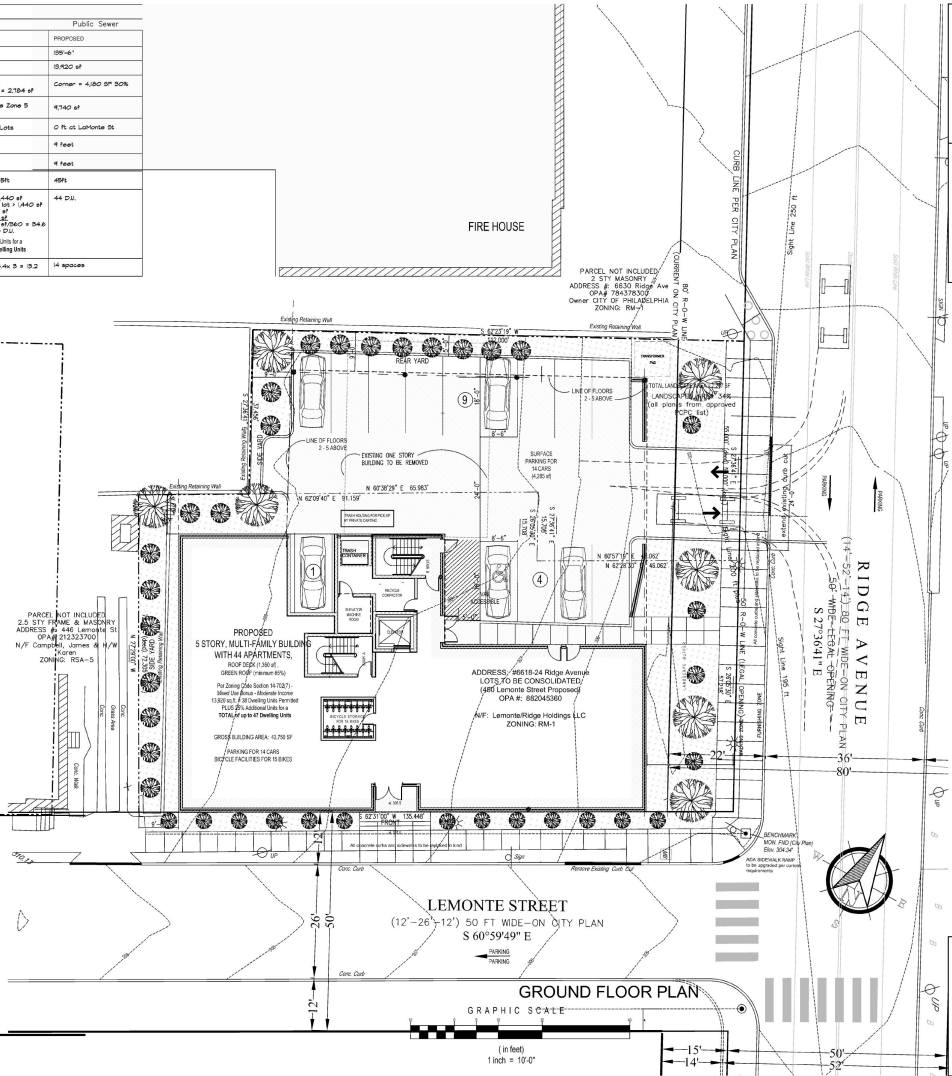


WATERSHED
LOCATION
MAP

6618-24 ZONING SUMMARY		
RW-1 RESIDENTIAL MULTI-FAMILY DISTRICT		Public Sewer
ZONE REGULATIONS	REQUIRED	PROPOSED
Minimum Lot Width	16 feet	88'-0"
Minimum Lot Area	1,440 sq. ft.	15,430 sf
Minimum Open Area	Intermediate: 50% Corner: 20% x 2764 sf	Corner = 4,800 SF 50%
Max. Impervious Area (IN)	Flashback Coverage Zone B NO HAVERSHAM	RTAD sf
Minimum Front Setback	Based on Adjacent Lots	0 ft. vs. Lorraine St.
Minimum Side Yard Width (IN) each side	3 feet	6 feet
Minimum Rear Yard Depth (IN)	6 feet	6 feet
Maximum Height (FUTUR)	30R = 15 Stories + 45R	45R
Maximum Dwelling Units Green Roof (28,400 SF) permitting before/after	4 DU for lot area (1,440 sf) 1 DU per 1800 sf of lot = 1,440 sf Lot Area = 15,430 sf 4 DU for 15,430 sf TOTAL: 4 + 184 = 188 DU PLUS 25% Additional Units for a TOTAL of 237 Dwelling Units	44 DU
Per Zoning Code Section 16.10017: Maximal Green Roofing Factor PLUS 25% Additional Units		
Parking	5 per 10 DU @ 5 = 4.4 x 5 = 22	14 spaces



ROOF PLAN



PLANS APPROVED

AS NOTED FOR COMPLIANCE WITH PA UCC

04/05/21

CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES & INSPECTIONS

Shane P. McNulty

Shane P. McNulty
PA UCC CERT # 005374

Applied Electronically by L&I User:

Ingram/Sageser
Architecture & Planning
120 Locustville Road, CT9
Haddon, DE
19107
302.599.3229

Lemonte Street
Apartments

450 Lemonte Street
(6618-24 Ridge)
Philadelphia, PA



Revised 22 DEC 2020

ZONING
SITE PLAN

Scale: 3/8" = 1'-0"
Date: 2 NOV 2020

Z1