

# Zoning Permit

Permit Number ZP-2023-010982

|                                                                 |                          |                           |
|-----------------------------------------------------------------|--------------------------|---------------------------|
| LOCATION OF WORK<br>2639 S 58TH ST, Philadelphia, PA 19143-6146 | PERMIT FEE<br>\$754.00   | DATE ISSUED<br>10/21/2024 |
|                                                                 | ZBA CALENDAR             | ZBA DECISION DATE         |
|                                                                 | ZONING DISTRICTS<br>RMX3 |                           |

## PERMIT HOLDER

PHILA AUTHORITY FOR INDUSTRIAL DEVELOP. 1500 MARKET STREET STE 3500 PHILADELPHIA PA 19102

## OWNER CONTACT 1

## OWNER CONTACT 2

## TYPE OF WORK

New construction, addition, GFA change

## APPROVED DEVELOPMENT

FOR THE ERECTION OF FIVE (5) DETACHED NEW STRUCTURE WITH A CELLAR. SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLANS.

## APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



## CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
  - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
  - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
  - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
  - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

# Zoning Permit

**Permit Number** ZP-2023-010982

## ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

## PARCEL

2639 S 58TH ST, Philadelphia, PA 19143-6146

## ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR MULTI-FAMILY HOUSEHOLD LIVING SIXTY-FOUR (64) DWELLING UNITS AND TWENTY-FOUR (24) ACCESSORY OFF STREET SURFACE PARKING SPACES (INCLUDING 4 ADA SPACES (INCLUDING 1 VAN ACCESSIBLE) AND TWO (2) ELECTRIC VEHICLE CHARGING SPACES) AND TWENTY-TWO (22) OFF STREET BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE. SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLANS.

This permit is subject to the following specific conditions.

## CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



**Tax Exemption(Abatement):** Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment [www.phila.gov/opa](http://www.phila.gov/opa), 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



OWNER  
**PENNROSE, LLC**  
 301 N 31st ST  
 PHILADELPHIA, PA 19121  
 67.386.8600

ARCHITECT  
**WALLACE ROBERTS & TODD, LLC**  
 700 MARKET STREET, SUITE 2800  
 PHILADELPHIA, PA 19103  
 15.732.5215  
[WRTDESIGN.COM](http://WRTDESIGN.COM)

128 RIDGE AVE  
PHILADELPHIA, PA 19128  
15.259.7509

700 MARKET ST, SUITE 3110  
PHILADELPHIA, PA 19103  
215.282.7850

548 S 16th ST  
PHILADELPHIA, PA 19146  
15.336.0440

TWO WHITE HORSE PIKE  
MADDON HEIGHTS, NJ 08035  
56 310 1491

36 POPLAR ST  
CHAMBLER, PA 19002  
TE 441.1159

EA

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## 50% CONSTRUCTION DOCUMENTS

CHECKED BY TRU  
SCALE As indicated

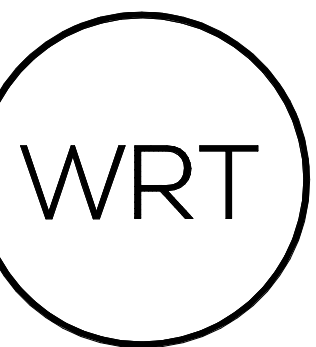
ELEVATIONS

# A-201



IF YOU HAVE THESE APPROVED PLANS IT WILL  
GIVE THE APPROVAL OF THE DEPARTMENT OF  
WORKS & INSPECTIONS.

Applied by L&L: ~~Paulose~~ 1899



BARTRAM VILLAGE  
- PHASE 1

2639 South 58th Street

OWNER

PENNRose, LLC

1301 N 31st ST

PHILADELPHIA, PA 19121

267.386.8600

ARCHITECT

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1700 MARKET STREET, SUITE 2800

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215.732.5215

WRTDESIGN.COM

MODULAR (OWNER'S CONSULTANT)

VBC MANUFACTURING

6128 RIDGE AVE

PHILADELPHIA, PA 19128

215.259.7599

CIVIL ENGINEER (OWNER'S CONSULTANT)

T&M ASSOCIATES

1700 MARKET ST, SUITE 3110

PHILADELPHIA, PA 19103

215.282.7850

SUSTAINABILITY (OWNER'S CONSULTANT)

INNOVA

1548 S 16th ST

PHILADELPHIA, PA 19146

215.336.0440

STRUCTURAL ENGINEER

BAKER, INGRAM & ASSOCIATES

TWO WHITE HORSE PIKE

HADDON HEIGHTS, NJ 08035

856.310.1491

MEP ENGINEER

McHUGH ENGINEERING & ASSOCIATES

136 POPLAR ST

AMBLER, PA 19002

215.641.1158

KEYPLAN

1 4

2 3 5

REV # DATE DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

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DOCUMENTS

WRT PROJECT # 7432.04

ISSUE DATE 02.17.2023

DRAWN BY JIL

CHECKED BY TRU

SCALE As indicated

BLDG 2 - EXTERIOR

ELEVATIONS

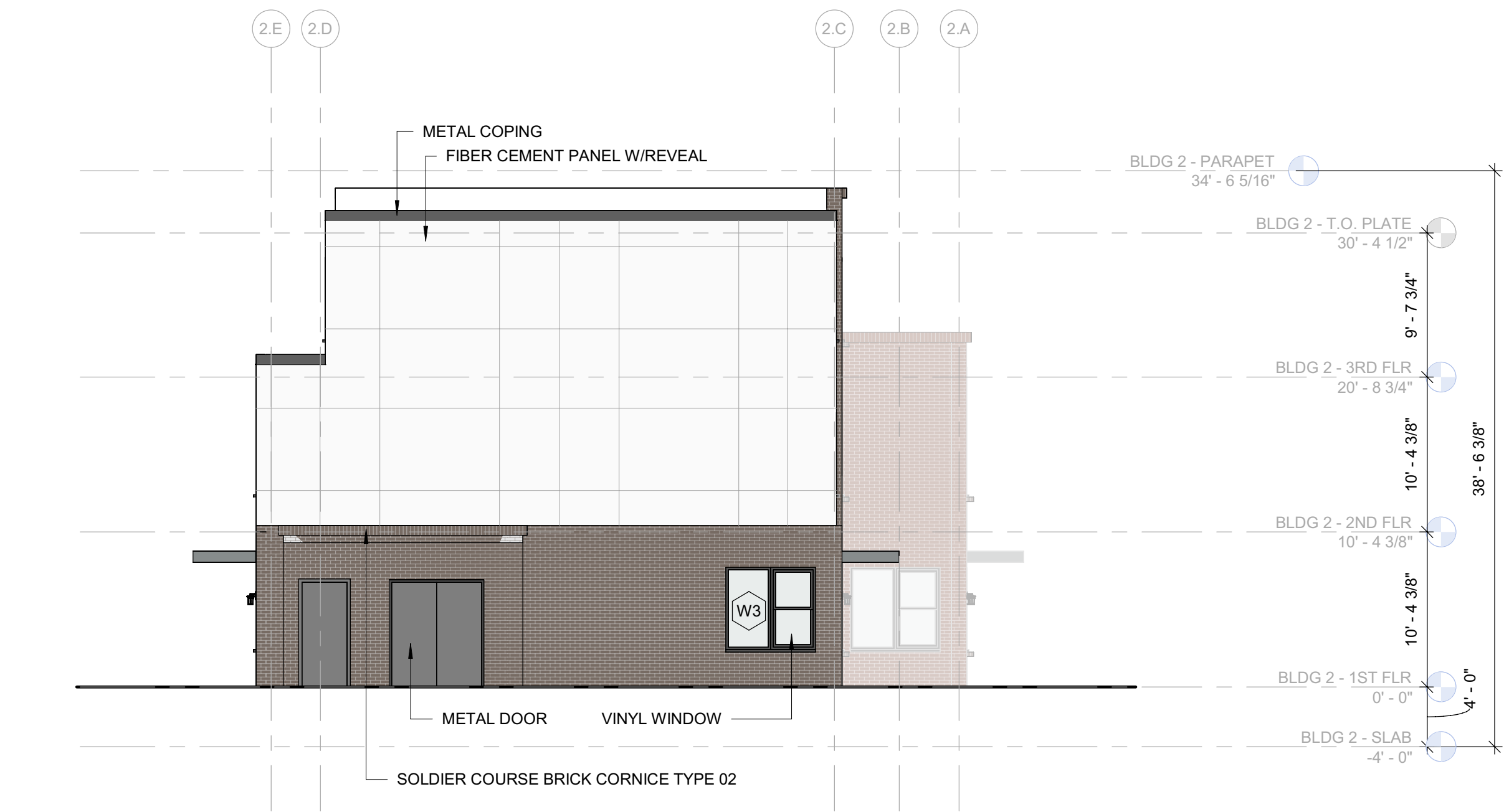
A-202

EXTERIOR FINISH LEGEND

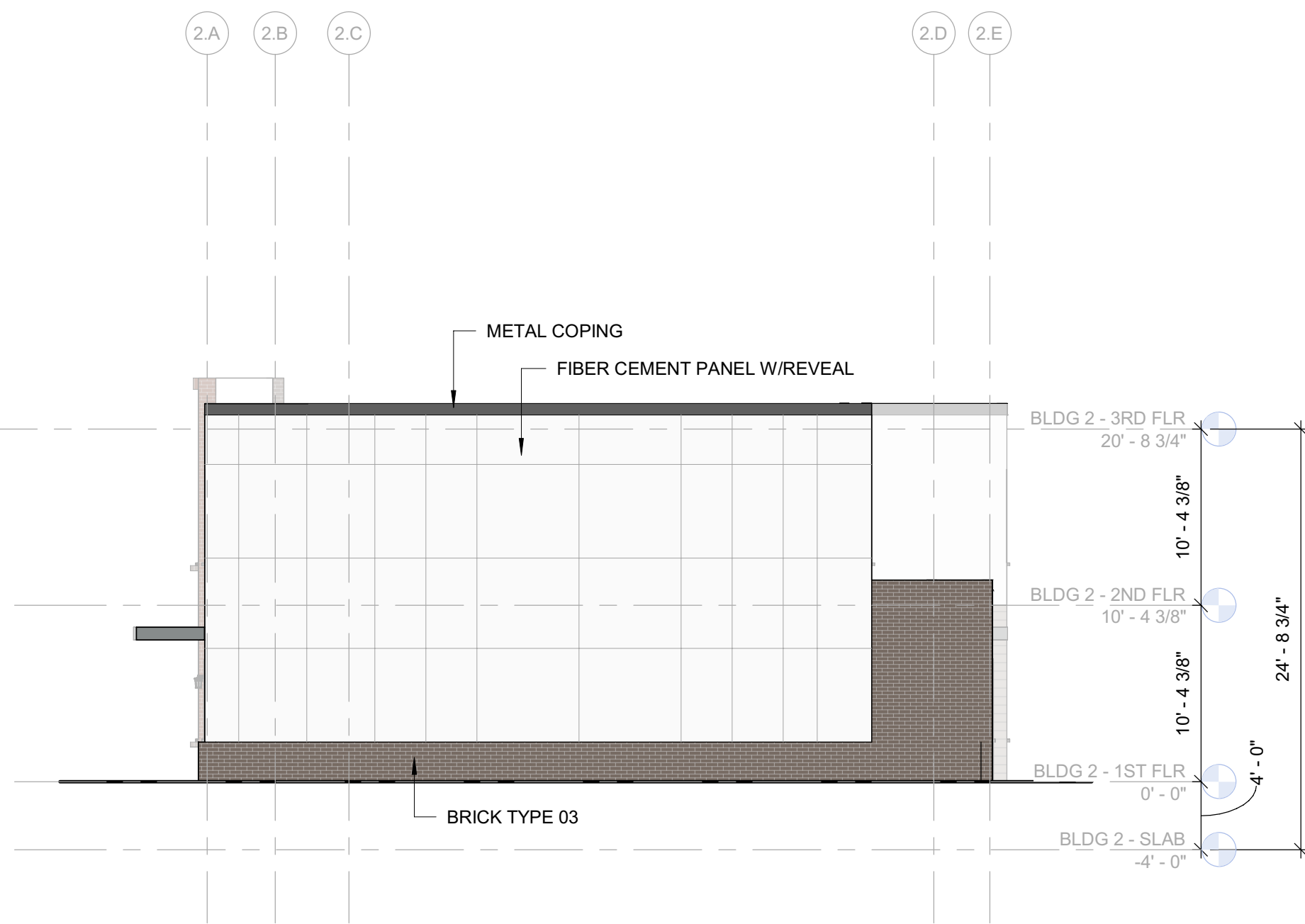
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RUNNING BOND PATTERN
- BRICK TYPE 02  
STACKED BOND PATTERN
- BRICK TYPE 03  
RUNNING BOND PATTERN
- FIBER CEMENT PANEL  
W/ REVEAL
- FIBER CEMENT  
SIDING

ELEVATION NOTES

- SEE BUILDING SECTIONS FOR PARAPET HEIGHTS.
- SEE SITE PLAN AND CIVIL DRAWINGS FOR GRADING INFORMATION.
- MATERIALS AND REFERENCES CALLED OUT ARE TYPICAL FOR ALL ELEVATIONS UNLESS NOTED OTHERWISE.
- AT ALL ACCESSIBLE ENTRANCES SIDEWALKS, SLABS AT CONCRETE TERRACES AND RAMPS TO BE FLUSH WITH DOORS. MAINTAIN A POSITIVE SLOPE AWAY FROM THE BUILDING AND ENTRANCE DOORS. COORDINATE WITH CIVIL DRAWINGS.
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- FIBER CEMENT PANEL REVEALS ARE DIMENSIONED TO THE CENTERLINE OF THE REVEAL.
- ALIGN ALL VENTS HORIZONTALLY & VERTICALLY



4 BLDG 2 - WEST ELEVATION  
1/8" = 1'-0"



3 BLDG 2 - EAST ELEVATION  
1/8" = 1'-0"



2 BLDG 2 - SOUTH ELEVATION  
1/8" = 1'-0"



1 BLDG 2 - NORTH ELEVATION  
1/8" = 1'-0"



APPROVED FOR CONSTRUCTION

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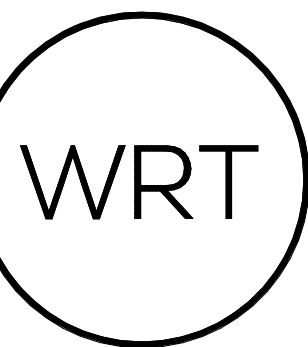
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BARTRAM VILLAGE  
- PHASE 1

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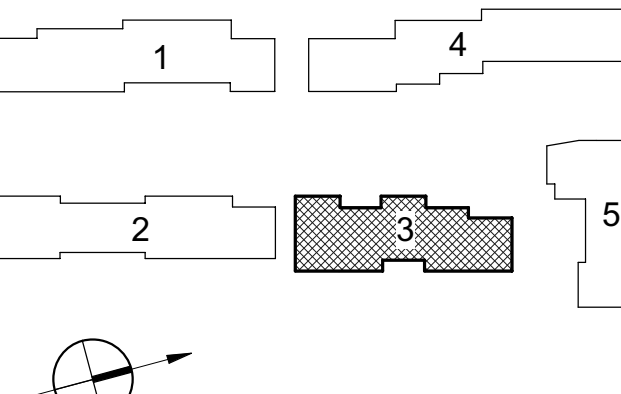
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136 POPLAR ST  
AMBLER, PA 19002  
215.641.1158

KEYPLAN



REV #      DATE      DESCRIPTION

SEAL

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50% CONSTRUCTION  
DOCUMENTS

WRT PROJECT # 7432.04

ISSUE DATE      02.17.2023

DRAWN BY      JIL

CHECKED BY      TRU

SCALE      As indicated

BLDG 3 - EXTERIOR  
ELEVATIONS

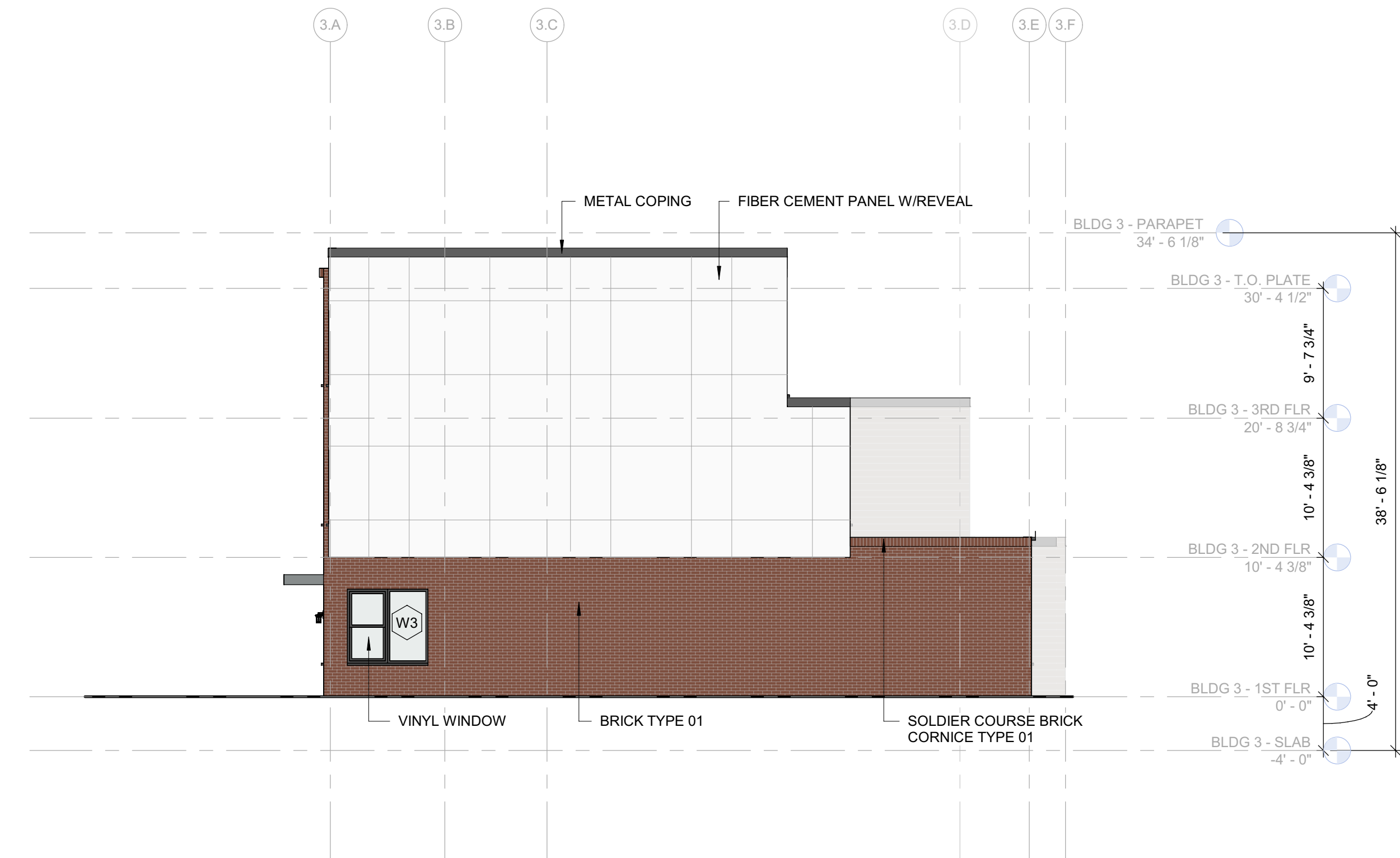
A-203

EXTERIOR FINISH LEGEND

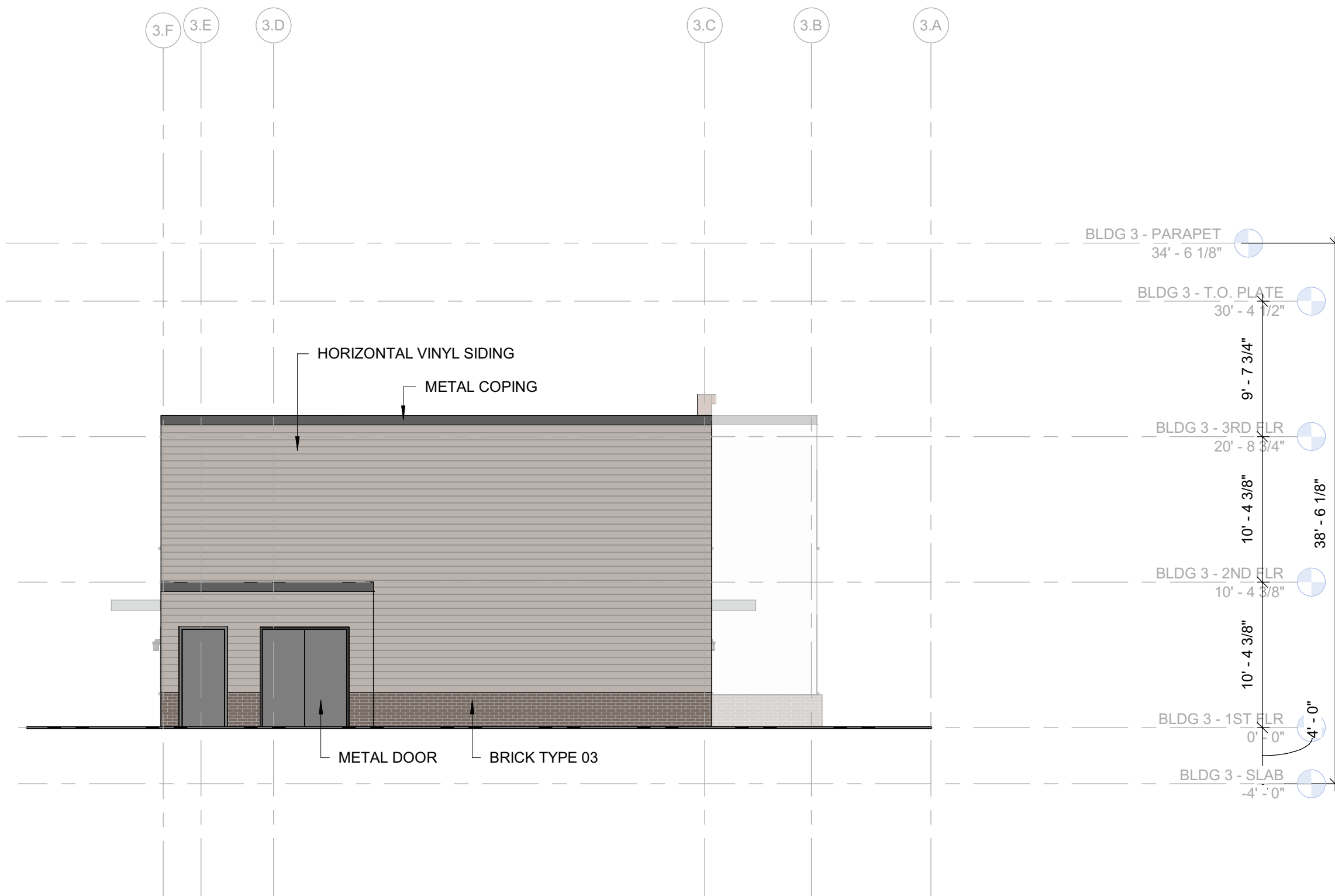
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BARTRAM VILLAGE  
- PHASE 1

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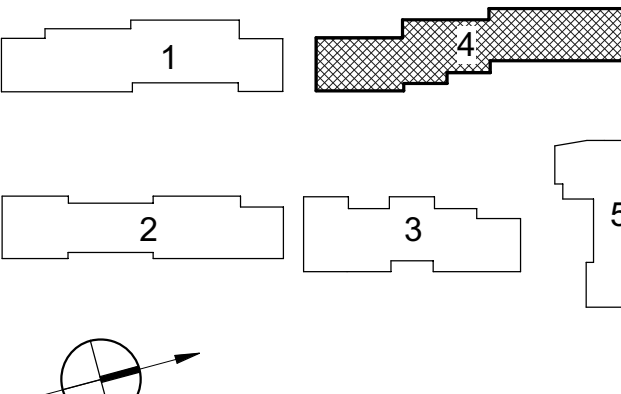
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ISSUE DATE 02.17.2023

DRAWN BY JL

CHECKED BY TRU

SCALE As indicated

BLDG 4 - EXTERIOR  
ELEVATIONS

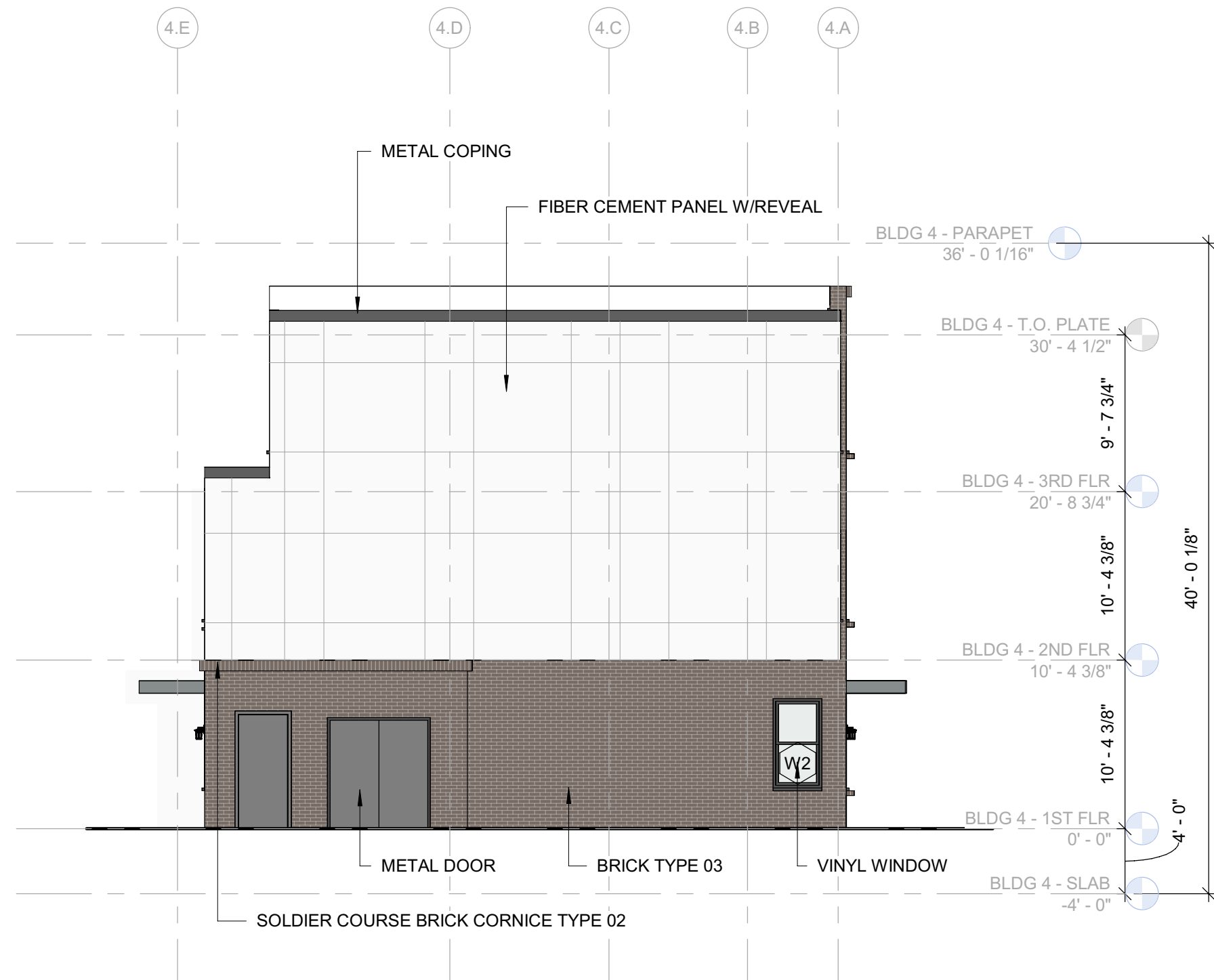
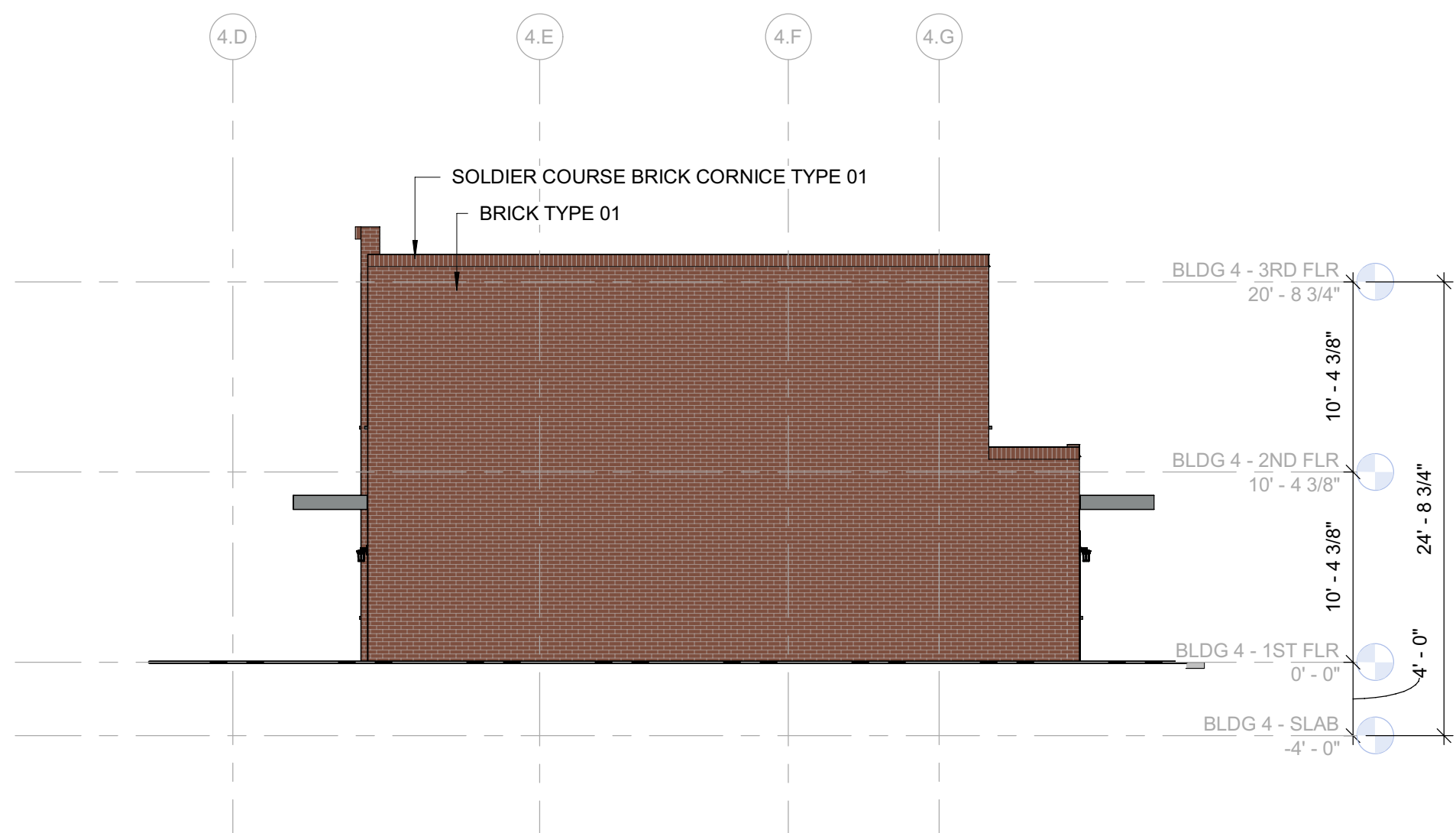
A-204

## EXTERIOR FINISH LEGEND

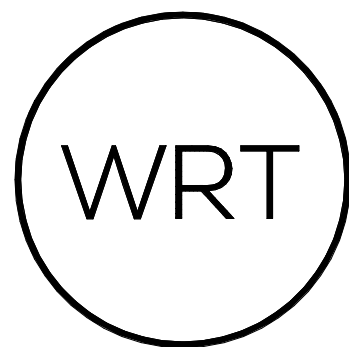
- BRICK TYPE 01  
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- BRICK TYPE 02  
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4 BLDG 4 - EAST ELEVATION  
1/8" = 1'-0"3 BLDG 4 - WEST ELEVATION  
1/8" = 1'-0"2 BLDG 4 - NORTH ELEVATION  
1/8" = 1'-0"1 BLDG 4 SOUTH ELEVATION  
1/8" = 1'-0"

Applied by L&amp;I: Placido Ibanez



BARTRAM VILLAGE  
- PHASE 1

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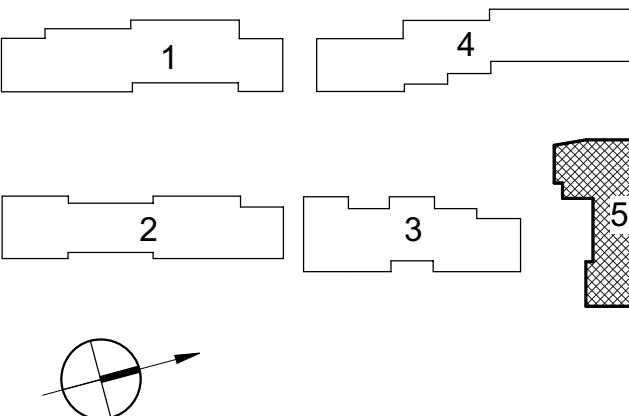
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KEYPLAN



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DRAWN BY JL

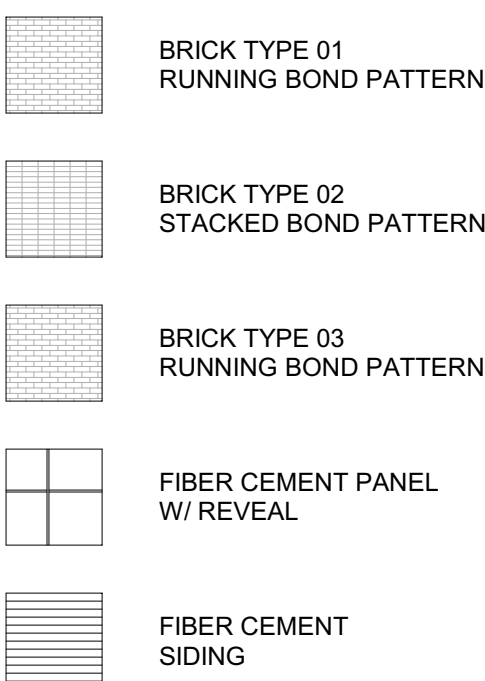
CHECKED BY TRU

SCALE As indicated

BLDG 5 - EXTERIOR  
ELEVATIONS

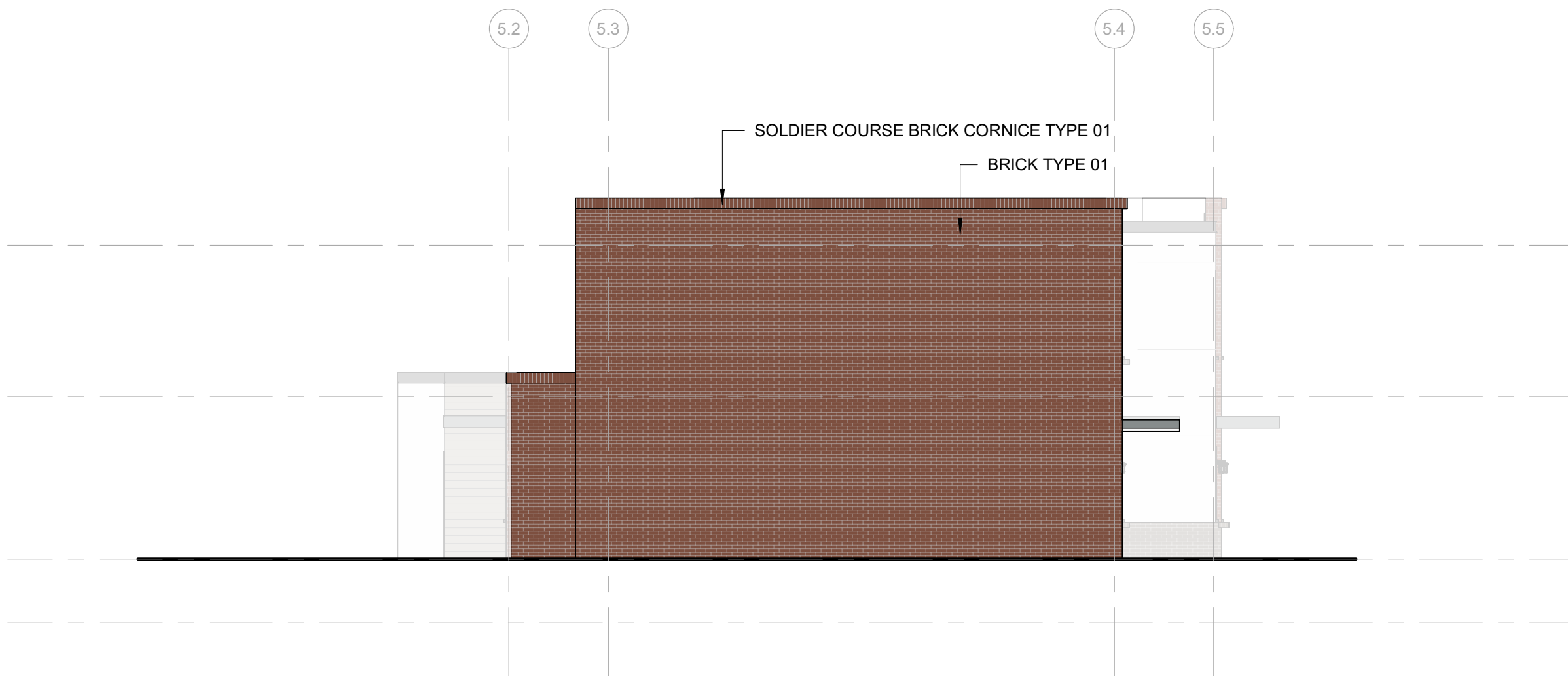
A-205

EXTERIOR FINISH LEGEND

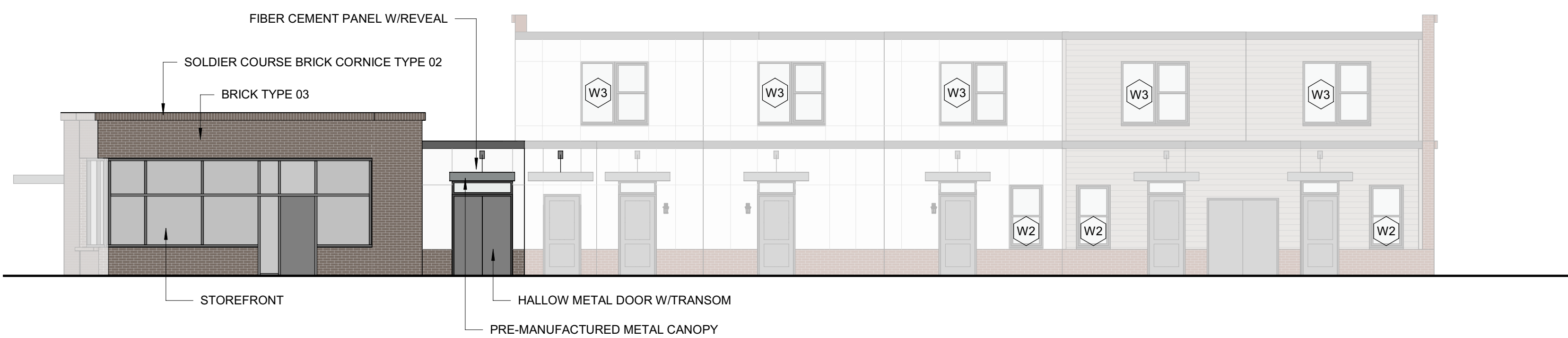


ELEVATION NOTES

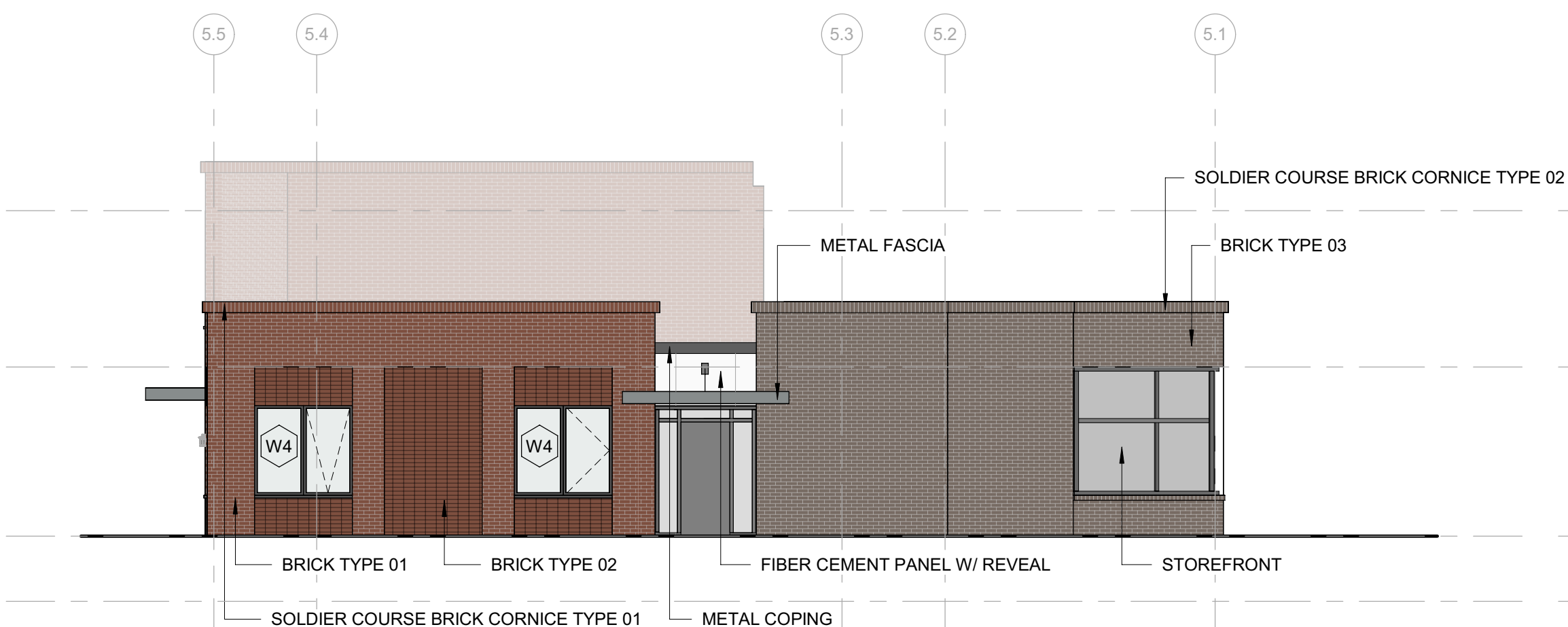
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1/8" = 1'-0"



2 BLDG 5 NORTH ELEVATION  
1/8" = 1'-0"



1 BLDG 5 EAST ELEVATION  
1/8" = 1'-0"



Applied by L&I: Padmini Dasu

PROJECT INFORMATION:  
FILE PATH: C:\PROJECTS\PHILA\01018\PHILA\PHILA\_11524M.dwg  
FILE NAME: PHILA\_11524M.dwg  
LAST SAVE BY: J. Jensen  
LAST SAVE DATE: 11/25/2024

#### PROJECT INFORMATION:

1. SITE INFORMATION:  
PROPERTY OWNER: PHILADELPHIA AUTHORITY FOR INDUSTRIAL DEVELOPMENT  
1500 MARKET ST #3500, PHILADELPHIA, PA 19102  
PROPERTY DEVELOPER: BARTRAM VILLAGE 1, LLC  
1301 N. 31ST STREET  
PHILADELPHIA, PA 19121  
DEVELOPER CONTACT: NAME: RYAN BAILEY  
EMAIL: RBAILEY@PHILA.PA.GOV  
PHONE: (215) 498-7800  
SITE ADDRESS: 2639 S 58TH ST, PHILADELPHIA, PA 19143  
OP#: 783775200  
2. ZONING DISTRICT: RESIDENTIAL-MIXED USE (RMX-3)  
3. PROPOSED USE: MULTI-FAMILY RESIDENTIAL  
4. PAI/CAL DESIGN SERIAL NUMBER: 20230892161

#### GENERAL NOTES:

- ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED.
- BEING 2639 S 58TH STREET, PHILADELPHIA, PENNSYLVANIA CONTAINING 126,180 SQUARE FEET OF LAND MORE OR LESS.
- REFERENCE MADE TO A COMPILED OF A PORTION OF CITY PLANS NO. 247 & 326.
- ENTIRE SITE IS LOCATED IN FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA FLOOD INSURANCE RATE MAP (FIRM) OF PHILADELPHIA COUNTY, PANE 187 OF 230, MAP # 4207570187H, REVISED NOVEMBER 18 2015.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD. AVAILABLE AS-BUILT PLANS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- UNDERGROUND STORM SEWER AND SANITARY SEWER PIPES ARE DRAWN GRAPHICALLY ON THIS SURVEY AND SHOULD BE CONSIDERED APPROXIMATE. UNDERGROUND STORM AND SANITARY PIPES SHOULD BE VERIFIED INDEPENDENTLY AS TO THEIR LOCATION, SIZE AND TYPE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- HORIZONTAL DATUM IS NAD 83, STATE PLANE, COORDINATES OF PENNSYLVANIA AND ESTABLISHED GPS OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK. BOTH PHILADELPHIA DISTRICT STANDARD FEET AND U.S. STANDARD FEET ARE SHOWN. 100.000' DISTRICT STANDARD = 100.167' U.S. STANDARD. DISTANCES INDICATED BY PARENTHESIS ( ) ARE PHILADELPHIA DISTRICT STANDARD FEET.
- VERTICAL DATUM IS BASED ON CITY OF PHILADELPHIA DATUM. SITE BENCHMARK IS A MAG NAIL SET AS SHOWN. SITE BM ELEVATION: 39.23'.
- 64 MULTI-FAMILY RESIDENCES ARE PROPOSED PER RMX-3.
- BUILDING FOOTPRINT AND BUILDING ELEVATION INFORMATION DEVELOPED AND PROVIDED BY WRT DESIGN. T&M ASSOCIATES ASSUMES NO RESPONSIBILITY FOR BUILDING DESIGN DETECTED ON THESE PLANS.
- SITE PLAN FULLY COMPLIES WITH SECTION 14-703 "FORM AND DESIGN" DEVELOPMENT STANDARDS.
- EXISTING SITE WITHIN THE RMX-3 MIXED-USE RESIDENTIAL ZONING DISTRICT.
- PROPERTY BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FOR THE CURRENT DEEDS FOR SUBJECT PROPERTIES.
- THERE IS VISIBLE EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP OR LANDFILL.
- THIS PLAN DOES NOT SHOW ENVIRONMENTAL HAZARDS, WETLANDS, ARCHEOLOGICAL SITES OR FLOOD PRONE AREAS THAT MAY EXIST ON THE SITE.
- THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY AND IS NOT A CONSTRUCTION DOCUMENT.

| Street        | Street Type             | Existing Sidewalk Width | Required per Complete Streets |                       |                     |                | Proposed           |                       |                     |                         |
|---------------|-------------------------|-------------------------|-------------------------------|-----------------------|---------------------|----------------|--------------------|-----------------------|---------------------|-------------------------|
|               |                         |                         | Walking Zone Width            | Furnishing Zone Width | Building Zone Width | Sidewalk Width | Walking Zone Width | Furnishing Zone Width | Building Zone Width | Proposed Sidewalk Width |
| S 57th Street | Low-Density Residential | N/A                     | ≥ 5 FT                        | ≥ 3.5 FT              | No Minimum          | ≥ 10 FT        | 6 FT               | 4 FT                  | 0 FT                | 10 FT                   |
| S 58th Street | Low-Density Residential | N/A                     | ≥ 5 FT                        | ≥ 3.5 FT              | No Minimum          | ≥ 10 FT        | 6 FT               | 4 FT                  | 0 FT                | 10 FT                   |
| Future ROW    | Low-Density Residential | N/A                     | ≥ 5 FT                        | ≥ 3.5 FT              | No Minimum          | ≥ 10 FT        | 6 FT               | 4 FT                  | 0 FT                | 10 FT                   |

#### PHILADELPHIA STREETS DEPARTMENT NOTES:

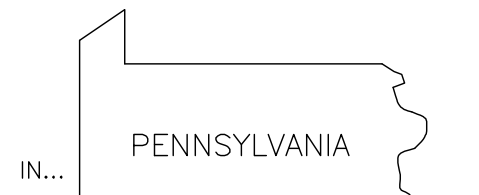
- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSED.
- PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION, PENNSYLVANIA ONE CALL SYSTEM #2021132276 AND WARD #35.
- UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH.
- HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. WILL BE FURNISHED BY THE 7TH SURVEY DISTRICT OF THE CITY OF PHILADELPHIA BASED ON ITEM #4-1040.
- NOTE: THIS ITEM, ENGINEERING SERVICES, IS A PRE-DETERMINED AMOUNT TO BE DETERMINED BY THE SURVEYOR & REGULATOR AND TO BE INCLUDED IN THE CONTRACTOR'S BID.
- PERMITS FOR BOLLARDS, CURB, & SIDEWALK PAVING WILL BE FURNISHED BY THE 1ST HIGHWAY DISTRICT OF THE CITY OF PHILADELPHIA.
- THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK. TO BE PAID UNDER ITEM # 4-1041 AT A COST OF \$345 PER DAY. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION UNIT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION AT (215) 686-5539, A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- STREET LIGHT POLE LOCATIONS ARE NOT FINAL. THE STREETS DEPARTMENT STREET LIGHTING ENGINEER WILL DETERMINE THE EXACT LOCATIONS OF THE STREET LIGHT POLES DURING CONSTRUCTION. CONTACT THE STREET LIGHTING ENGINEER AT (215) 686-5537 TO COORDINATE STREET LIGHT POLE LOCATIONS.
- STREET TREES MUST BE PERMITTED BY THE PHILADELPHIA DEPARTMENT OF PARKS & RECREATION. CONTACT THE STREET TREE MANAGEMENT DIVISION AT (215) 686-4363.
- FOR PROJECTS ON STATE ROUTES, NOTICE IS HEREBY GIVEN THAT THE RECEIPT OF A PERMIT FROM EITHER THE PHILADELPHIA STREETS DEPARTMENT, OR THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) DOES NOT IMPLY A PERMIT FROM THE OTHER. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

| BARTRAM'S VILLAGE - PHASE 1 ZONING SUMMARY                     |                   |                                                                                       |                                                        |
|----------------------------------------------------------------|-------------------|---------------------------------------------------------------------------------------|--------------------------------------------------------|
| EXISTING ZONING DISTRICT:<br>RMX-3 MIXED-USE RESIDENTIAL       |                   |                                                                                       |                                                        |
| EXISTING USE: VACANT                                           |                   |                                                                                       |                                                        |
| PROPOSED USE: MULTI-FAMILY RESIDENTIAL                         |                   |                                                                                       |                                                        |
| AREA AND BULK REGULATIONS                                      |                   |                                                                                       |                                                        |
|                                                                | CODE SECTION      | REQUIRED (RMX-3 MIXED-USE RESIDENTIAL)                                                | PROPOSED                                               |
| MINIMUM LOT WIDTH (FT.)                                        | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MINIMUM STREET FRONTAGE AS TAKEN FROM THE FRONT LOT LINE (FT.) | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MINIMUM DISTRICT AREA (ACRES)                                  | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MINIMUM LOT AREA (SQ. FT.)                                     | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MAXIMUM OCCUPIED AREA (% OF LOT)                               | TABLE 14-701-2    | LESS THAN 30%                                                                         | 34%                                                    |
| MINIMUM FRONT YARD DEPTH (FEET)                                | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MINIMUM SIDE YARD WIDTH, DEPTH (FEET)                          | TABLE 14-701-2    | 8 FEET IF USED                                                                        |                                                        |
| MINIMUM REAR YARD AREA (SQ. FT.)                               | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MINIMUM REAR YARD DEPTH (FEET)                                 | TABLE 14-701-2    | N/A                                                                                   | N/A                                                    |
| MAXIMUM HEIGHT (FEET)                                          | TABLE 14-701-2    | N/A                                                                                   | 3 STOREYS MAX.                                         |
| MAXIMUM FLOOR AREA (% OF LOT AREA)                             | TABLE 14-701-2    | 500%                                                                                  | 64,808                                                 |
| PARKING AND LOADING REQUIREMENTS                               |                   |                                                                                       |                                                        |
| MINIMUM REQUIRED PARKING SPACES                                | TABLE 14-802-1    | 3 PARKING SPACES PER 10 UNITS = 20 PARKING SPACES (64 UNITS)                          | 24 SPACES ON SITE<br>12 SPACES ON STREET               |
| PARALLEL - MINIMUM STALL WIDTH (FEET)                          | TABLE 14-803-1    | 8.5 FEET                                                                              | 8.5 FEET                                               |
| PARALLEL - MINIMUM STALL DEPTH (FEET)                          | TABLE 14-803-1    | 20 FEET FOR END SPACES, 22 FEET FOR INTERIOR SPACES                                   | 20 FEET FOR END SPACES,<br>22 FEET FOR INTERIOR SPACES |
| PARALLEL - MINIMUM AISLE WIDTH (FEET)                          | TABLE 14-803-1    | 20 FEET FOR TWO WAY TRAFFIC                                                           | 22 FEET                                                |
| 45 DEGREES - MINIMUM STALL WIDTH (FEET)                        | TABLE 14-803-1    | 8.5 FEET                                                                              | 9 FEET                                                 |
| 45 DEGREES - MINIMUM STALL DEPTH (FEET)                        | TABLE 14-803-1    | 18 FEET                                                                               | 18 FEET                                                |
| 45 DEGREES - MINIMUM AISLE WIDTH (FEET)                        | TABLE 14-803-1    | 12 FEET                                                                               | 15 FEET                                                |
| MINIMUM REQUIRED ADA PARKING SPACES                            | TABLE 14-802-4    | 2 ACCESSIBLE PARKING SPACES (26 TO 50 TOTAL PARKING SPACES PROVIDED)                  | 4 ACCESSIBLE PARKING SPACES<br>(1 VAN ACCESSIBLE)      |
| MINIMUM REQUIRED ELECTRIC VEHICLE PARKING SPACES               | TABLE 14-802-3    | 2 PARKING SPACES (30-39 TOTAL PARKING SPACES PROVIDED)                                | 3 SPACES (1 ADA)                                       |
| MINIMUM INTERIOR LANDSCAPED AREA                               | SECTION 14-803(4) | 10% OF INTERIOR PARKING LOT AREA SHALL BE LANDSCAPED<br>(13,607 SF x 0.10 = 1,361 SF) | 2,686 SF                                               |
| MINIMUM REQUIRED BIKE/PARKING SPACES                           | TABLE 14-804-1    | 1 PER EVERY 3 DWELLING UNITS = 22 CLASS 1A SPACES (64 UNITS)                          | 22 SPACES                                              |
| MINIMUM REQUIRED LOADING SPACES                                | TABLE 14-806-2    | NO REQUIREMENT FOR GROSS FLOOR AREA UNDER 100,000 SF                                  | N/A                                                    |

#### LEGEND

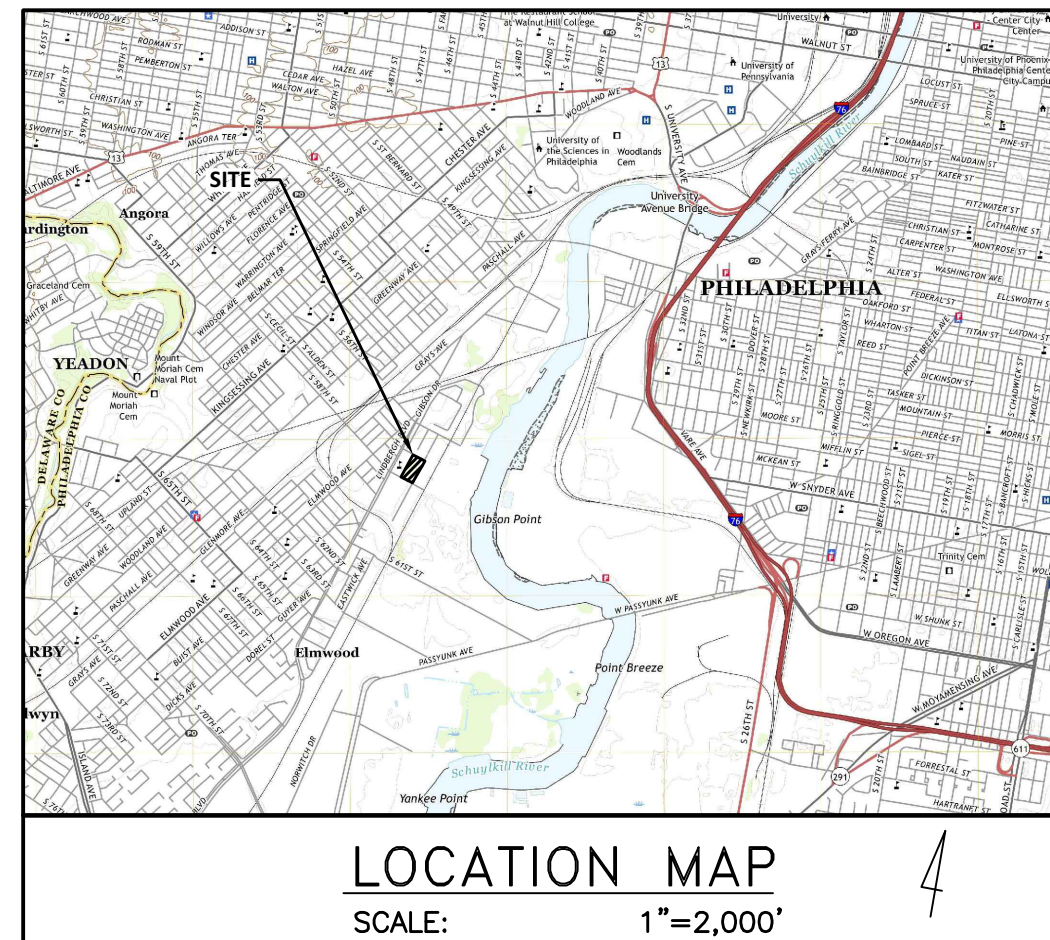
| EXISTING/DEMO ITEMS    | PROPOSED ITEMS         |
|------------------------|------------------------|
| BUILDING               | BUILDING               |
| RIGHT-OF-WAY LINE      | RIGHT-OF-WAY LINE      |
| PROPERTY LINE          | PROPERTY LINE          |
| CONCRETE CURB          | CONCRETE CURB          |
| FENCE                  | FENCE                  |
| UG CABLE CONDUIT       | UG CABLE CONDUIT       |
| UG ELECTRICAL CONDUIT  | UG ELECTRICAL CONDUIT  |
| UG GAS LINE            | UG GAS LINE            |
| OVER HEAD WIRES        | OVER HEAD WIRES        |
| SANITARY SEWER LATERAL | SANITARY SEWER LATERAL |
| WATER MAIN             | WATER MAIN             |
| CONTOUR                | CONTOUR                |
| SAWCUT LINE            | SAWCUT LINE            |
| TEXT                   | TEXT                   |
| SPOT GRADE             | SPOT GRADE             |
| STORM STRUCTURE        | STORM STRUCTURE        |
| HYDRANT                | HYDRANT                |
| WATER VALVE            | WATER VALVE            |
| CLEANOUT               | CLEANOUT               |
| GAS VALVE              | GAS VALVE              |
| TREE/SHRUB             | TREE/SHRUB             |
| MANHOLES               | MANHOLES               |
| SIGN                   | SIGN                   |
| UTILITY POLE           | UTILITY POLE           |
| UTILITY POLE WITH LAMP | UTILITY POLE WITH LAMP |
| PEDESTRIAN LIGHT       | PEDESTRIAN LIGHT       |
| BUILDING               | BUILDING               |
| PARKING LANDSCAPE AREA | PARKING LANDSCAPE AREA |
| CONCRETE AREA          | CONCRETE AREA          |
| CURB RAMP              | CURB RAMP              |

BEFORE YOU DIG ANYWHERE



STOP! CALL 1-800-242-1776 OR 811

PA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. PENNSYLVANIA ONE CALL SYSTEM, INC. ALL TRENCHING, SHEETING AND SHORING SHALL BE IN STRICT ACCORDANCE WITH OSHA STANDARDS.



#### DEDICATED SPACE FOR CITY DEPARTMENT APPROVAL STAMPS

CHOD

BY

REVISIONS

DATE

NO.

CHRISTOPHER W. JENSEN

1/2/2024

LICENSED PROFESSIONAL ENGINEER  
STATE OF PA LICENSE NO. PE-076464

BARTRAM VILLAGE 1, LLC

BARTRAM VILLAGE - PHASE 1

CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PENNSYLVANIA

CONSTRUCTION SITE PLAN

YOUR GOALS. OUR MISSION.

200 CENTURY PARKWAY, SUITE B  
MT. LAUREL, NJ 08054  
TEL: 856-722-6700  
FAX: 856-722-0175

OFFICES LOCATED IN:  
CALIFORNIA, INDIANA, KENTUCKY,  
MASSACHUSETTS, MICHIGAN, NEW JERSEY,  
OHIO AND PENNSYLVANIA

DESIGNED BY: CWJ

CHECKED BY: JSC

DRAWN BY: FWD

DATE: 12/14/2023

SCALE: AS SHOWN

PROJ. NO.: PENR0168

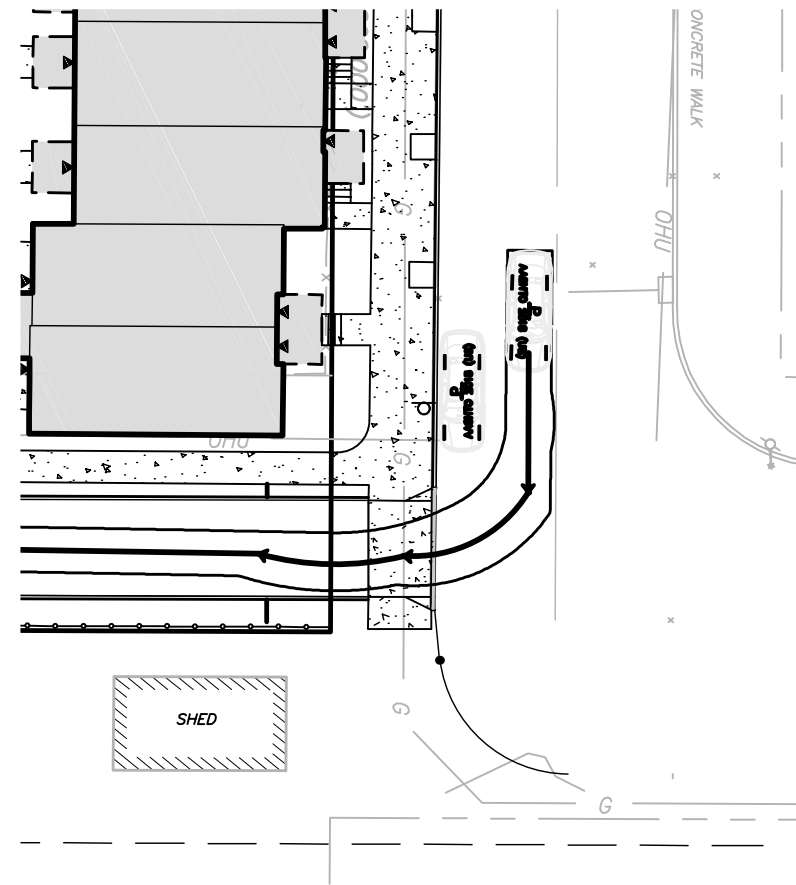
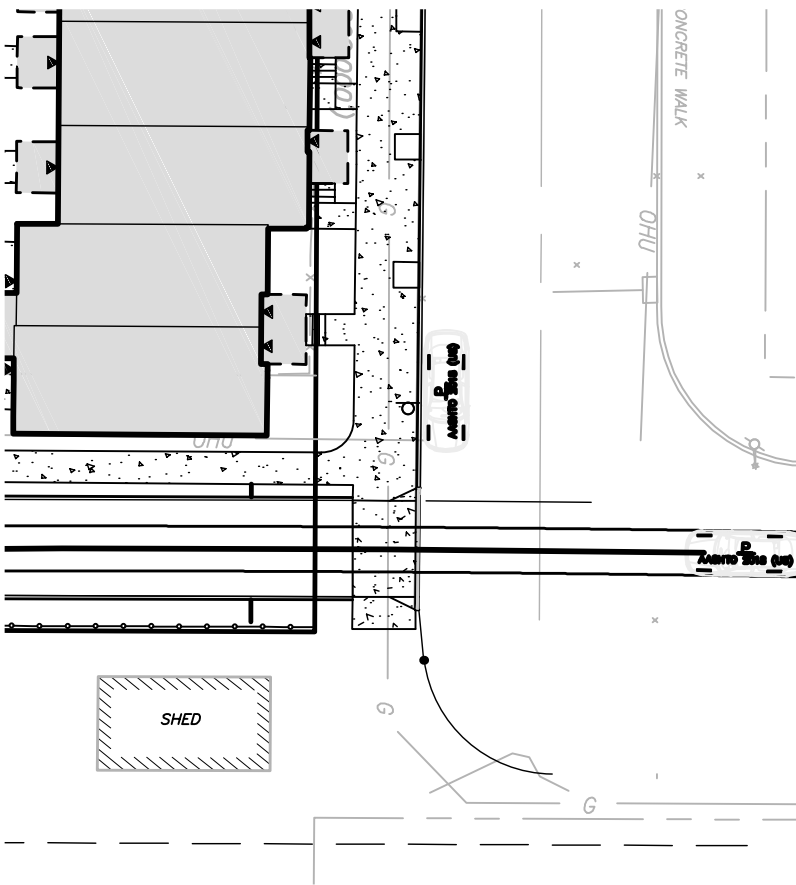
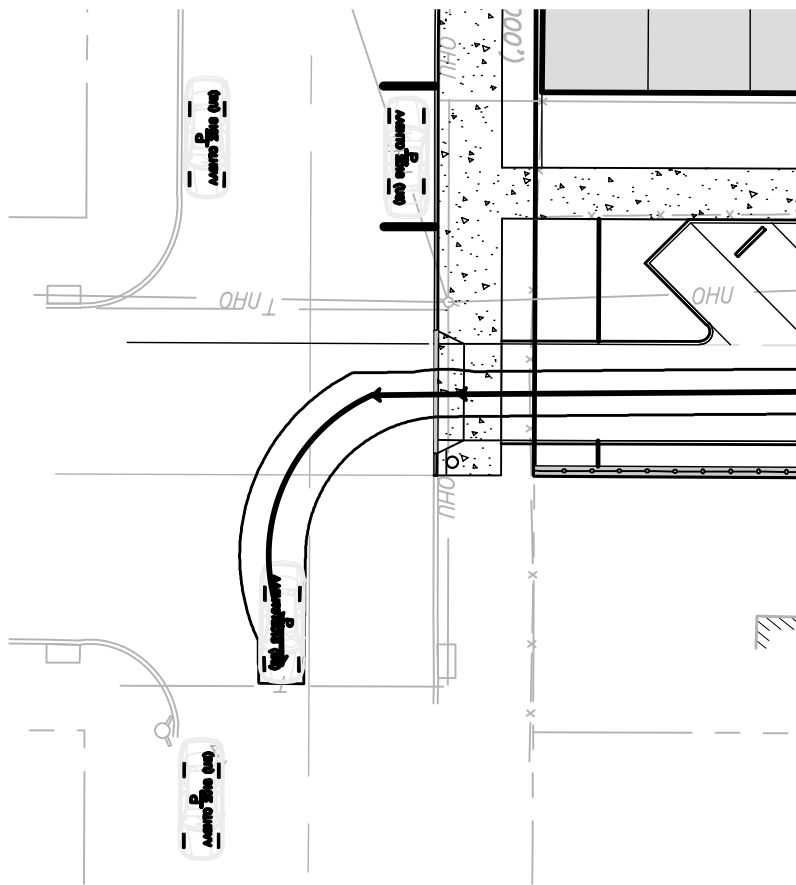
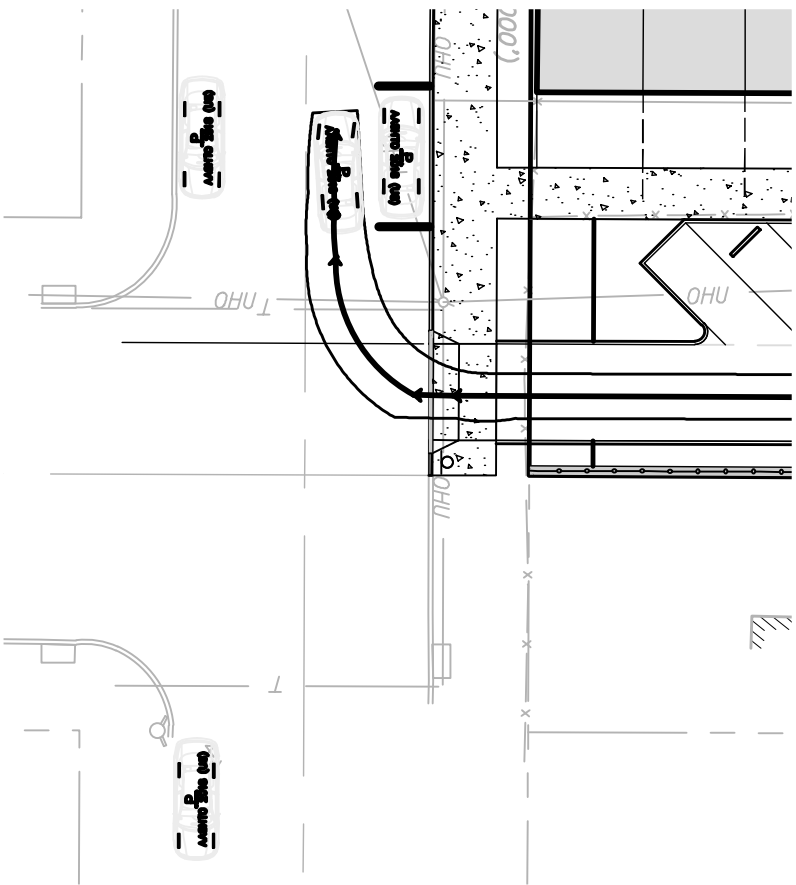
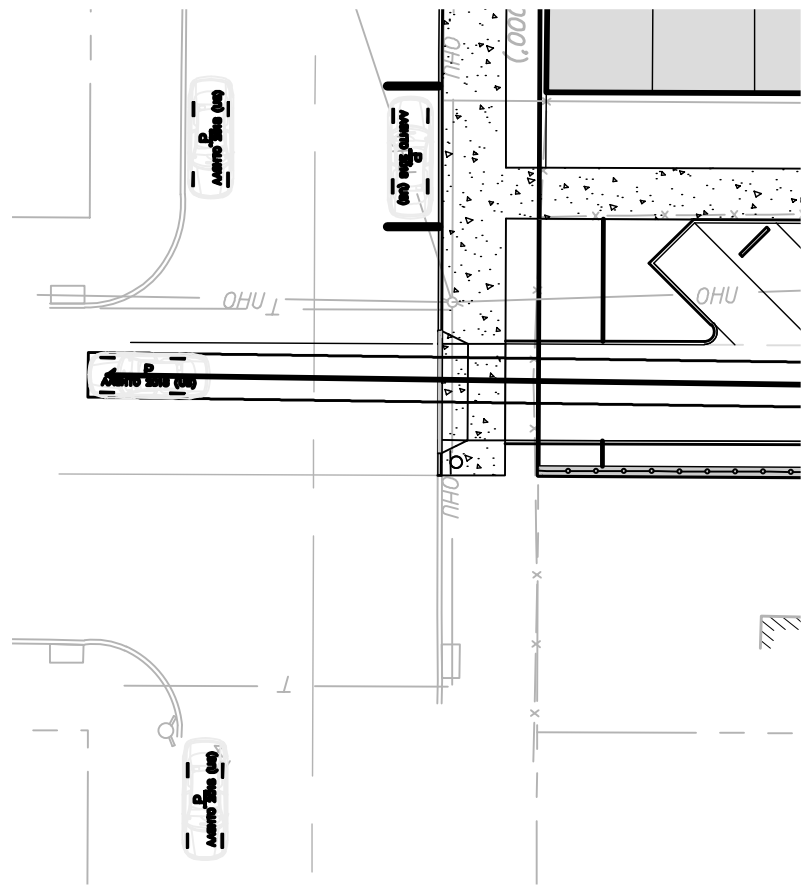
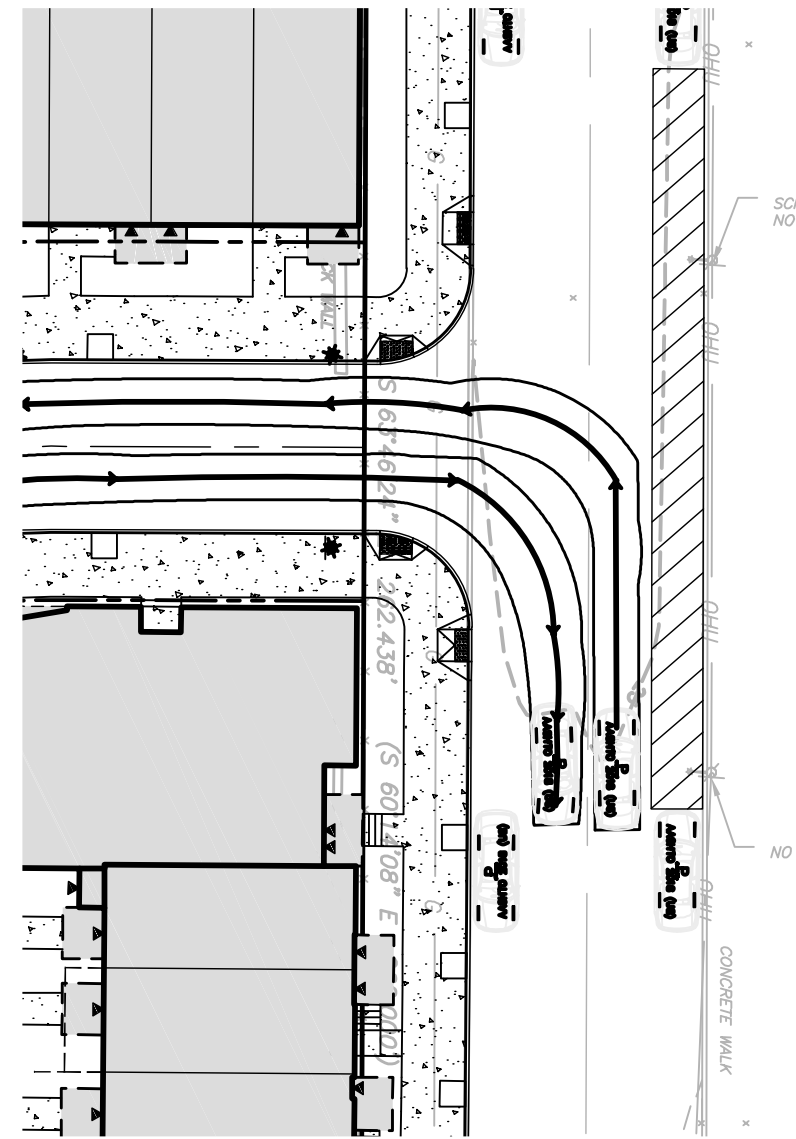
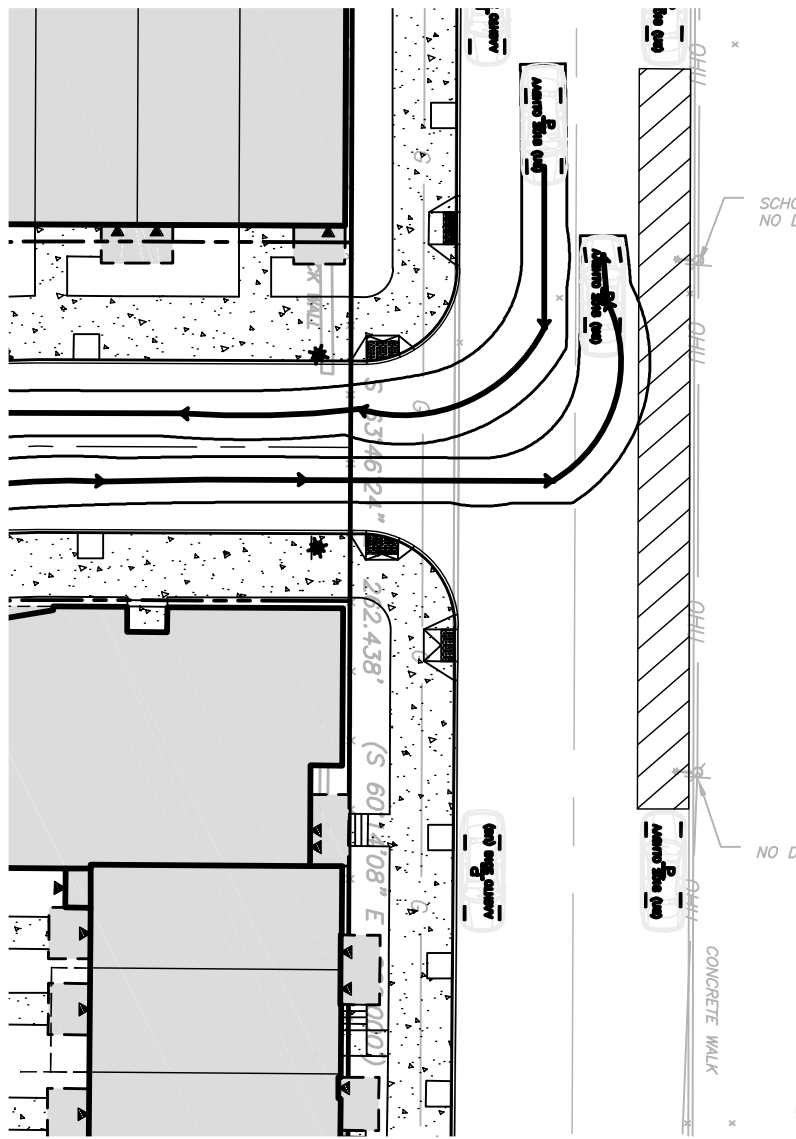
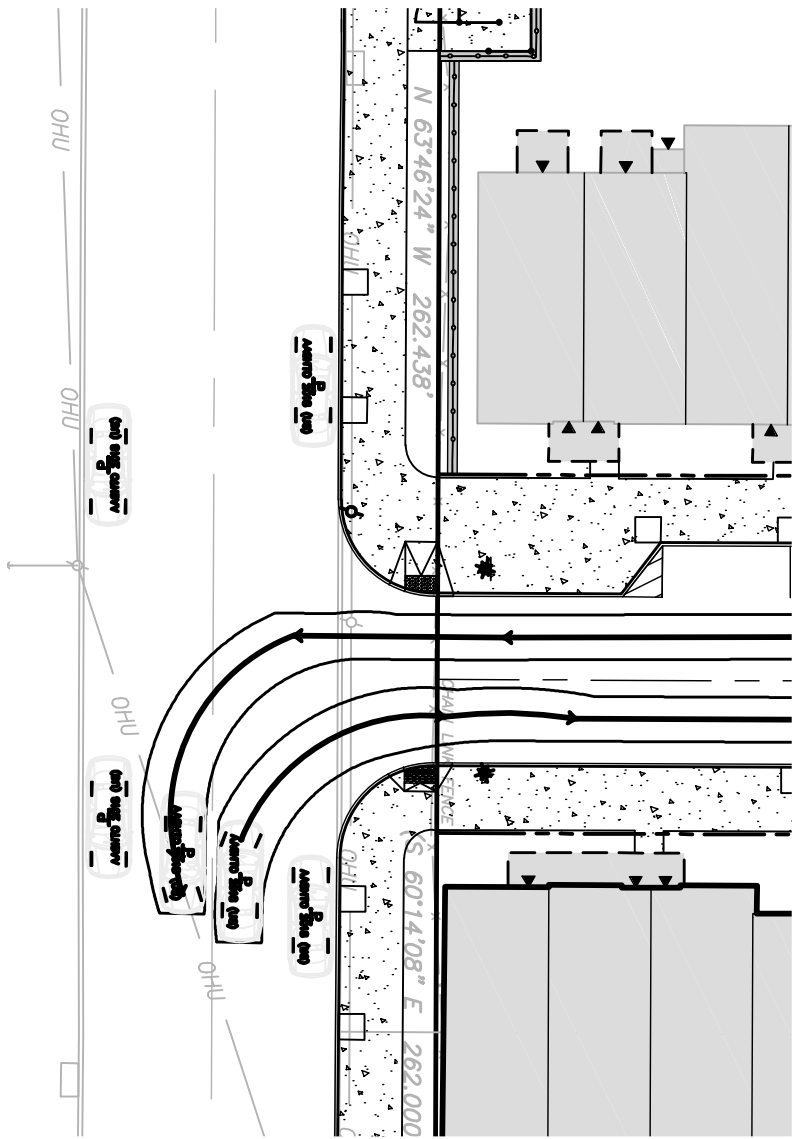
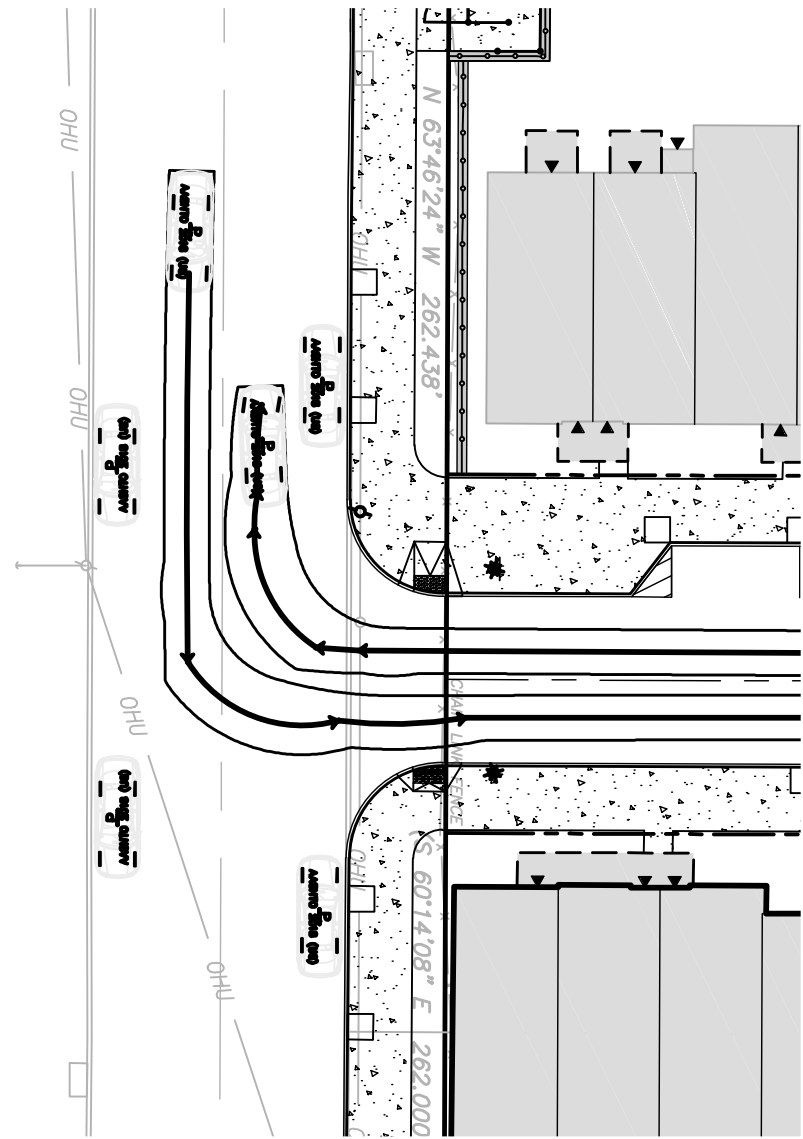
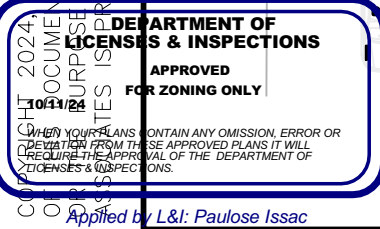
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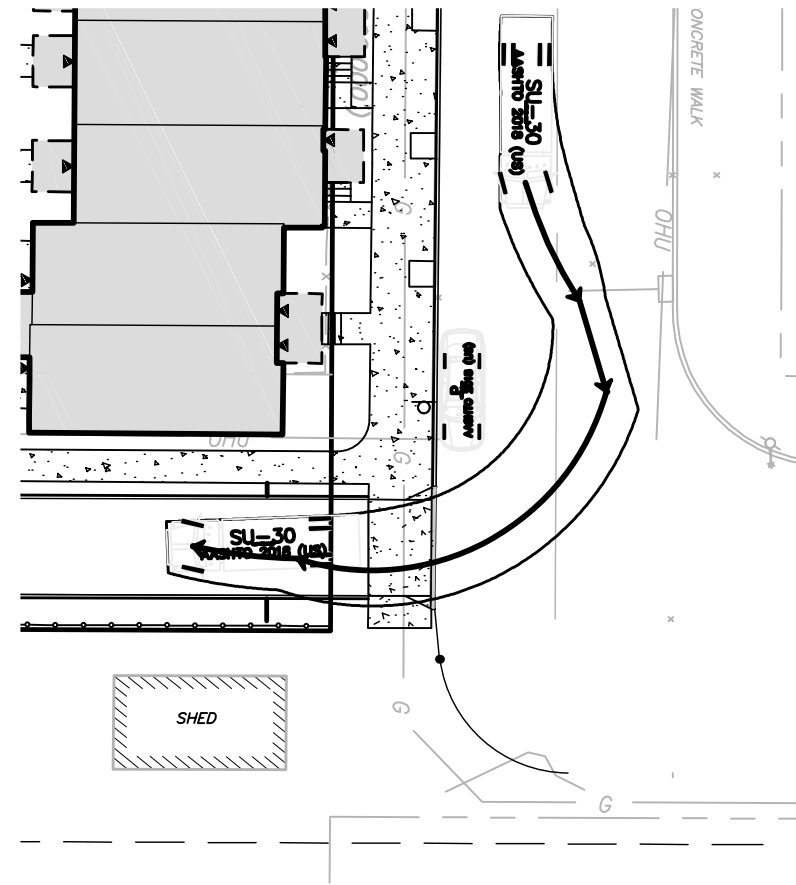
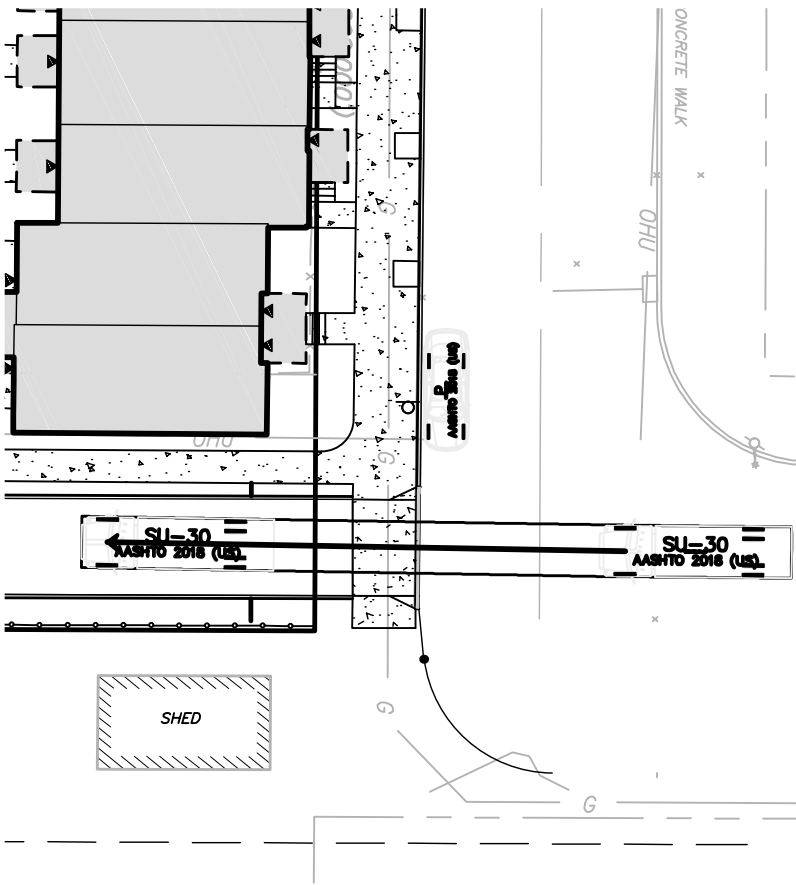
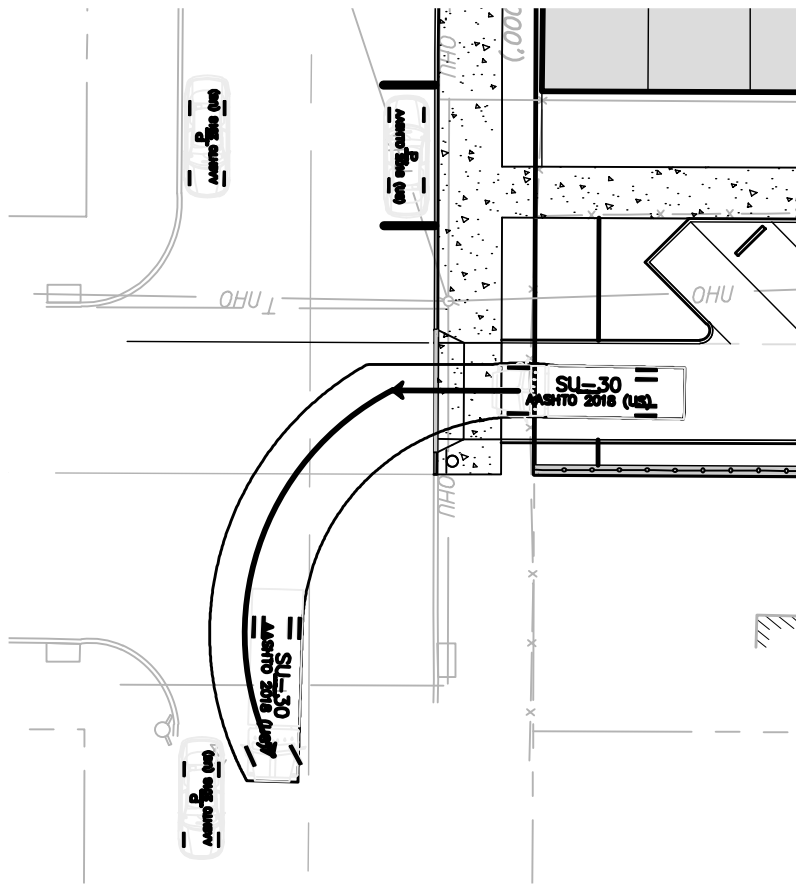
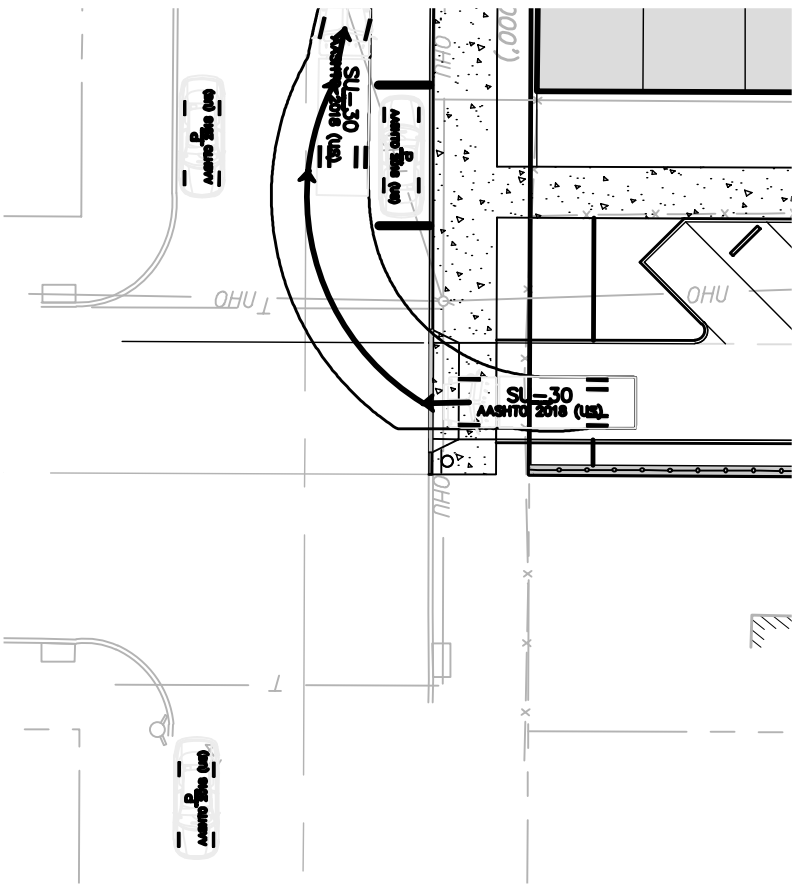
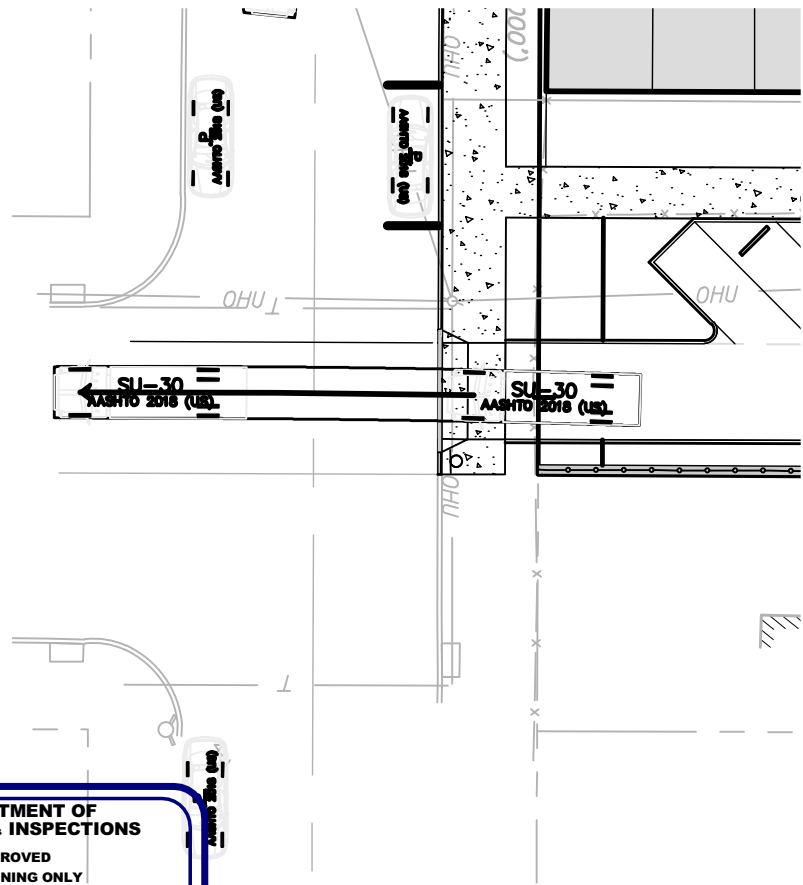
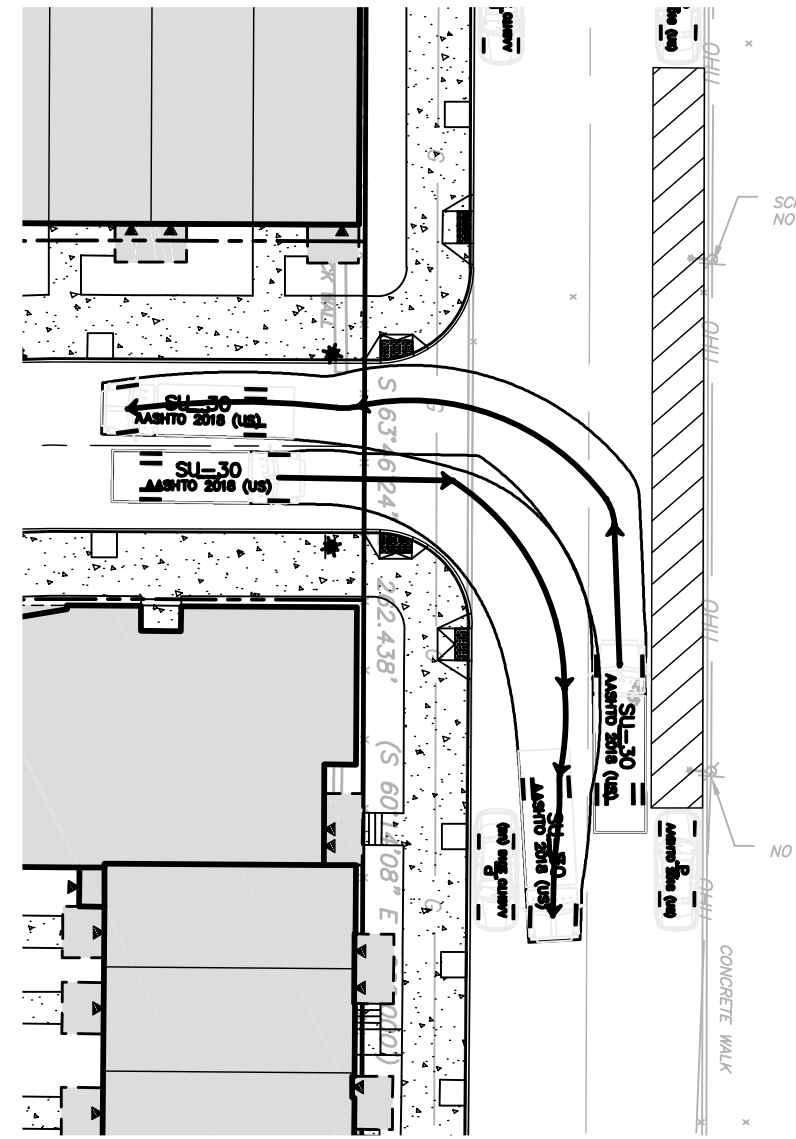
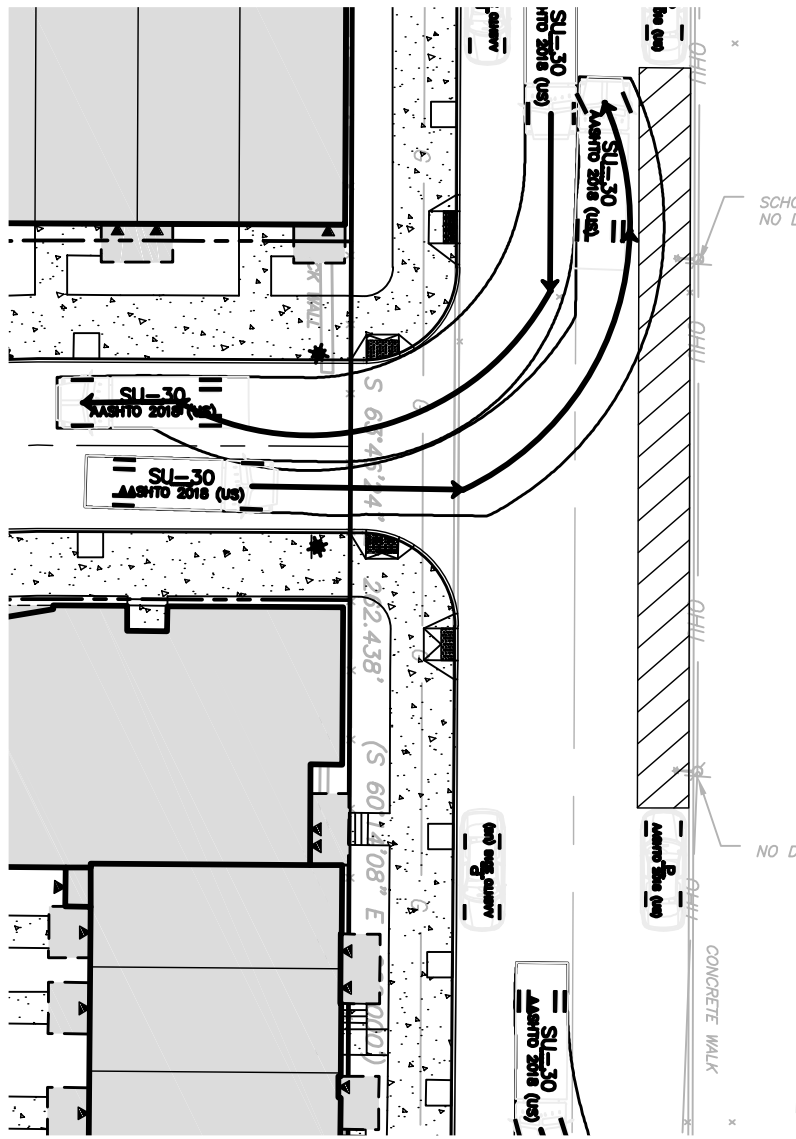
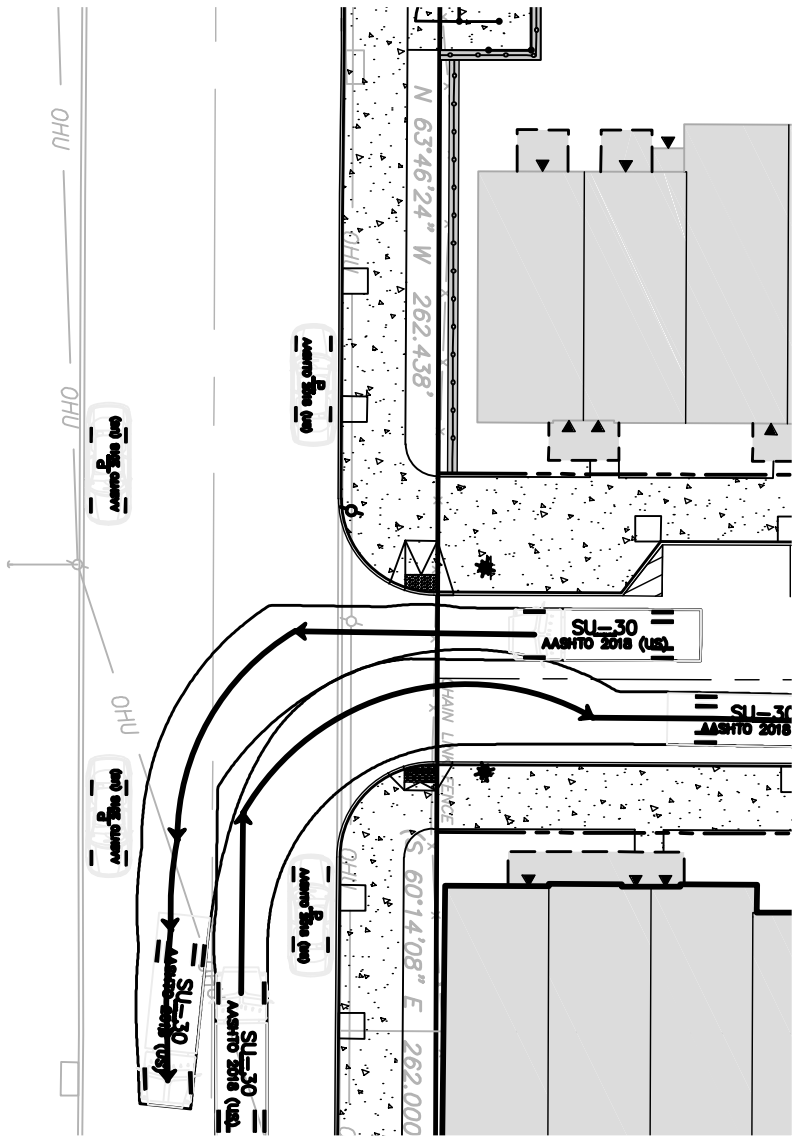
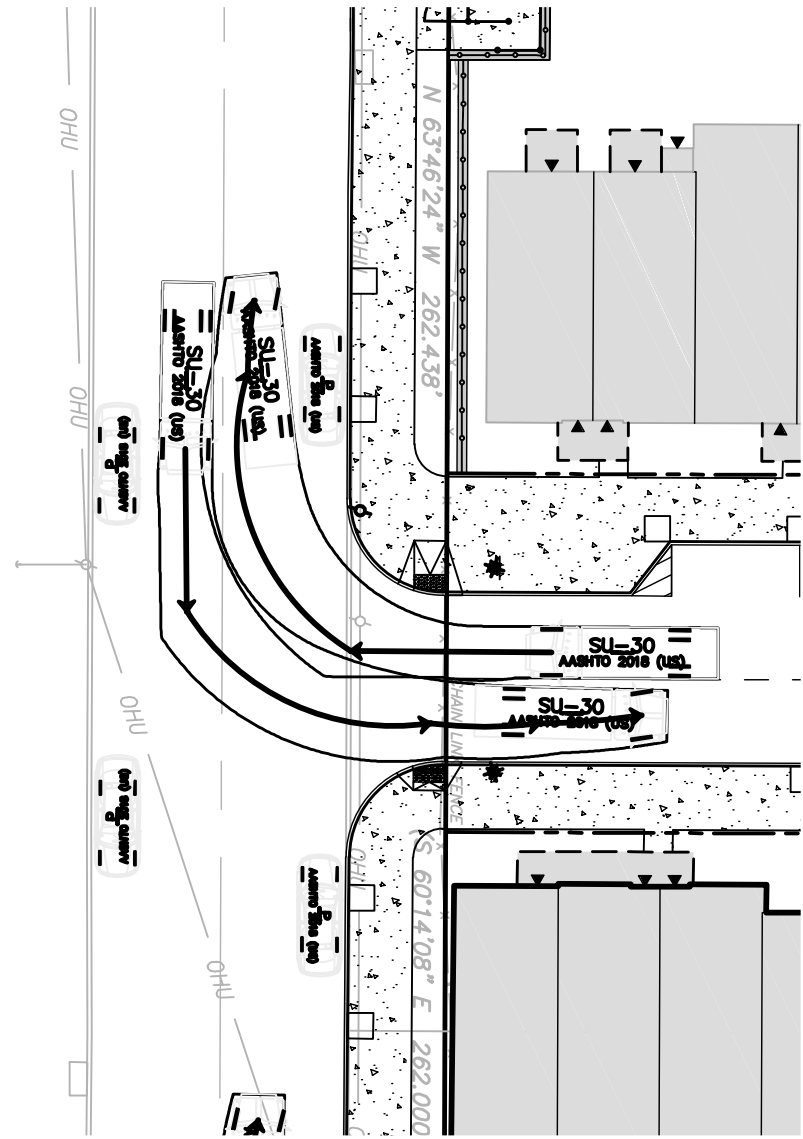
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DATE: 02 Jan 2024, 1:17PM  
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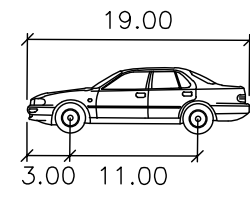
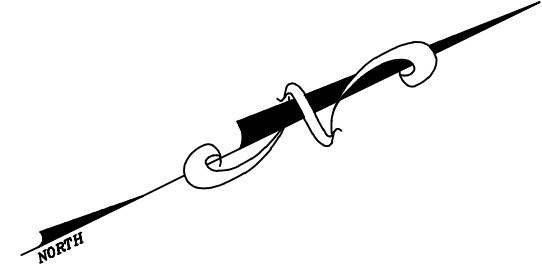
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PEDESTRIAN CAR TURNING

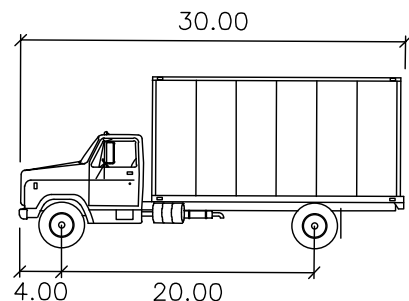


SINGLE UNIT BOX TRUCK



P  
Width : 7.00  
Track : 6.00  
Lock to Lock Time : 6.0  
Steering Angle : 31.6

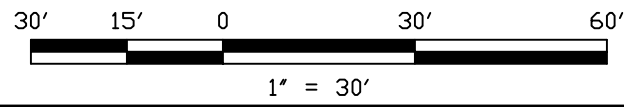
PEDESTRIAN CAR



SU-30  
Width : 8.00  
Track : 8.00  
Lock to Lock Time : 6.0  
Steering Angle : 31.6

SINGLE UNIT BOX TRUCK

DEDICATED SPACE FOR CITY DEPARTMENT APPROVAL STAMPS



CHRISTOPHER W. JENSEN

01/02/2024  
LICENSED PROFESSIONAL ENGINEER  
STATE OF PA LICENSE No. PE-076464

BARTRAM VILLAGE 1, LLC  
BARTRAM VILLAGE - PHASE 1  
2638 SOUTH 68TH STREET, PHILADELPHIA, PA 19143

TURNING PLAN

**AND**  
YOUR GOALS. OUR MISSION.  
1700 MARKET STREET, SUITE 3110  
PHILADELPHIA, PA 19103  
TEL 215-282-7850  
FAX 215-627-3459

OFFICES LOCATED IN:  
CALIFORNIA, INDIANA, KENTUCKY,  
MASSACHUSETTS, MICHIGAN, NEW JERSEY,  
OHIO AND PENNSYLVANIA

DESIGNED BY JSC  
CHECKED BY CWJ  
DRAWN BY FD  
DATE 12/14/2023  
SCALE 1" = 30'  
PROJ. NO. PENR00168

DRAWING Z2  
SHEET 2  
OF 3

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DATE PLOTTED: 01/02/2024  
LAST SAVE BY: JGerosi

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2024  
T&M ASSOCIATES  
DESIGNED BY JSC  
CHECKED BY CWJ  
DRAWN BY FD  
DATE 12/14/2023  
SCALE 1" = 30'  
PROJ. NO. PENR00168

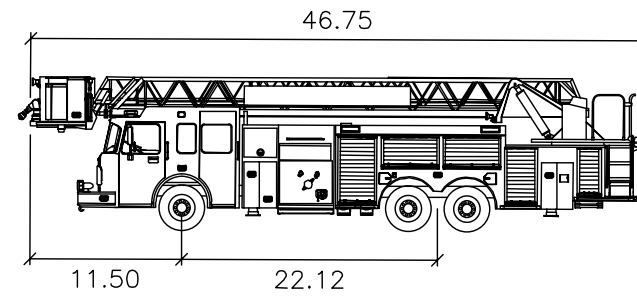
DEPARTMENT OF  
LICENSING & INSPECTIONS  
APPROVED FOR ZONING ONLY

CHAMBERLAIN AND ASSOCIATES, INC. ENGINEERS AND ARCHITECTS  
1500 MARKET STREET, SUITE 3110  
PHILADELPHIA, PA 19103  
TEL 215-282-7850  
FAX 215-627-3459

Applied L&I Pauline Isaac



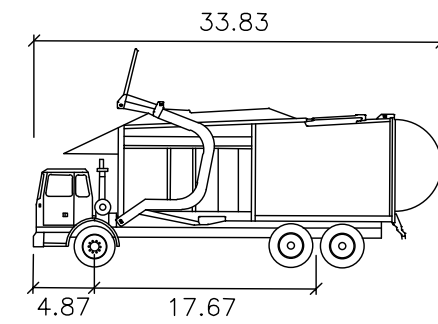
FIRE TRUCK TURNING



CFD 100' Aerial Platform Pierce Velocity

feet  
Width : 8.00  
Track : 8.00  
Lock to Lock Time : 6.0  
Steering Angle : 45.0

FIRE TRUCK

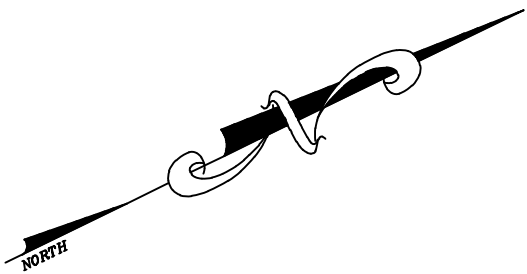
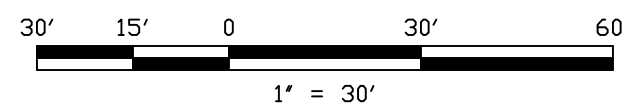


Wayne Titan

feet  
Width : 8.46  
Track : 8.00  
Lock to Lock Time : 6.0  
Steering Angle : 45.0

FRONT LOADING GARBAGE TRUCK

DEDICATED SPACE FOR CITY DEPARTMENT APPROVAL STAMPS



CHRISTOPHER W. JENSEN

01/02/2024  
LICENSED PROFESSIONAL ENGINEER  
STATE OF PA LICENSE No. PE-076464

BARTRAM VILLAGE 1, LLC  
BARTRAM VILLAGE - PHASE 1  
2639 SOUTH 68TH STREET, PHILADELPHIA, PA 19143

TURNING PLAN

**AND**  
YOUR GOALS. OUR MISSION.  
1700 MARKET STREET, SUITE 3110  
PHILADELPHIA, PA 19103  
TEL 215-282-7850  
FAX 215-627-3459

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DESIGNED BY JSC  
CHECKED BY CWJ  
DRAWN BY FD  
DATE 12/14/2023  
SCALE 1" = 30'  
PROJ. NO. PENR00168

DRAWING  
**Z3**  
SHEET  
**3**  
OF **3**