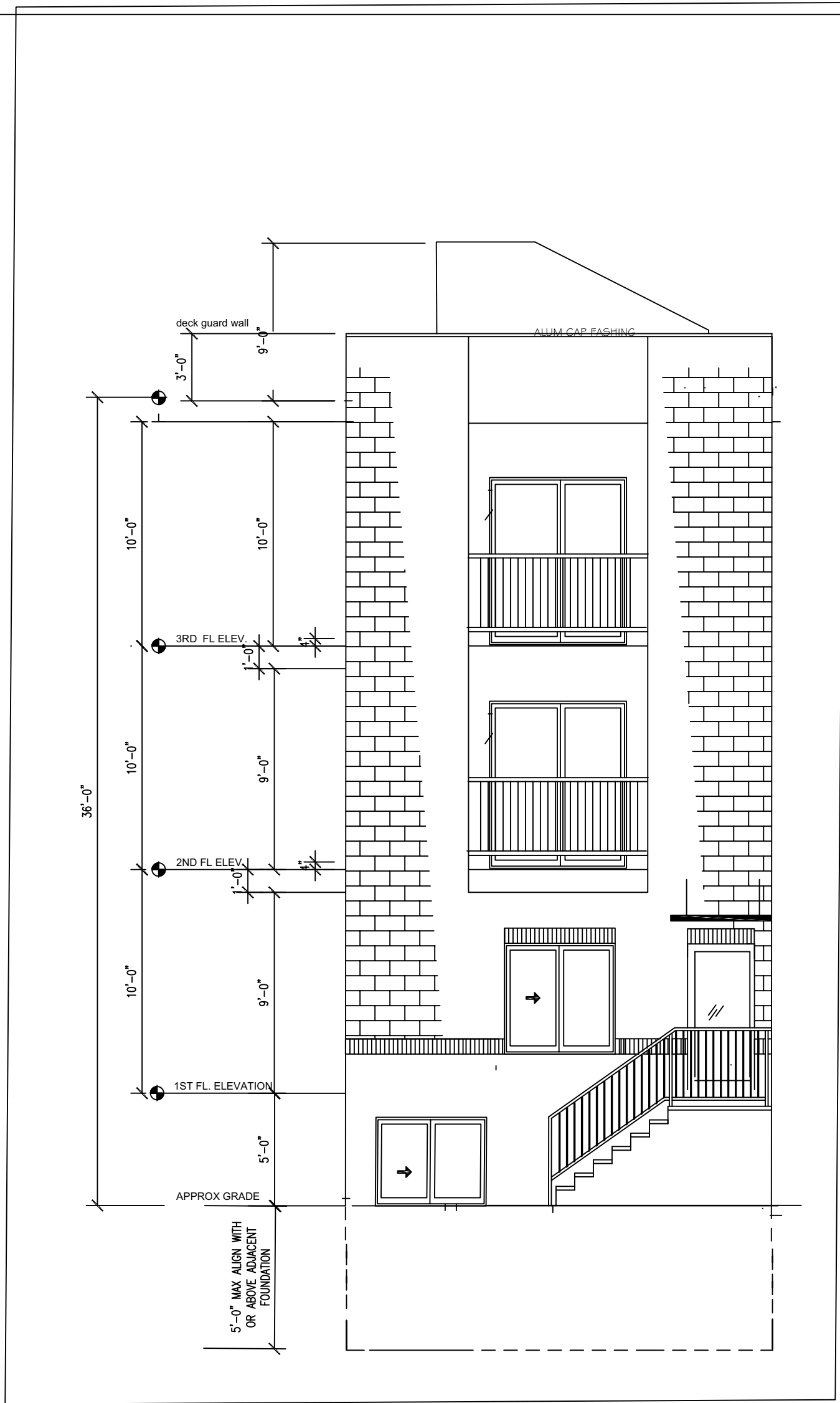
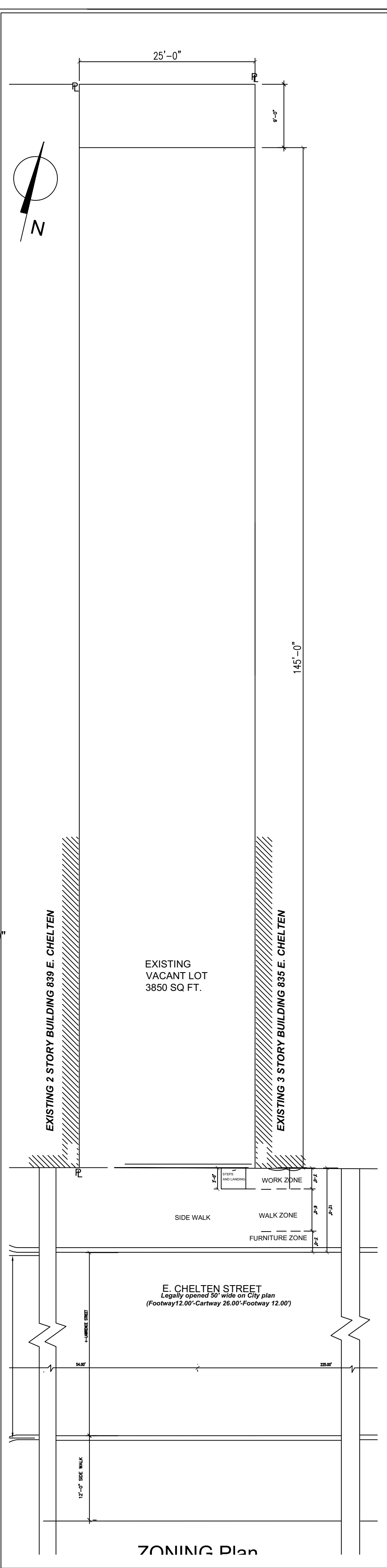




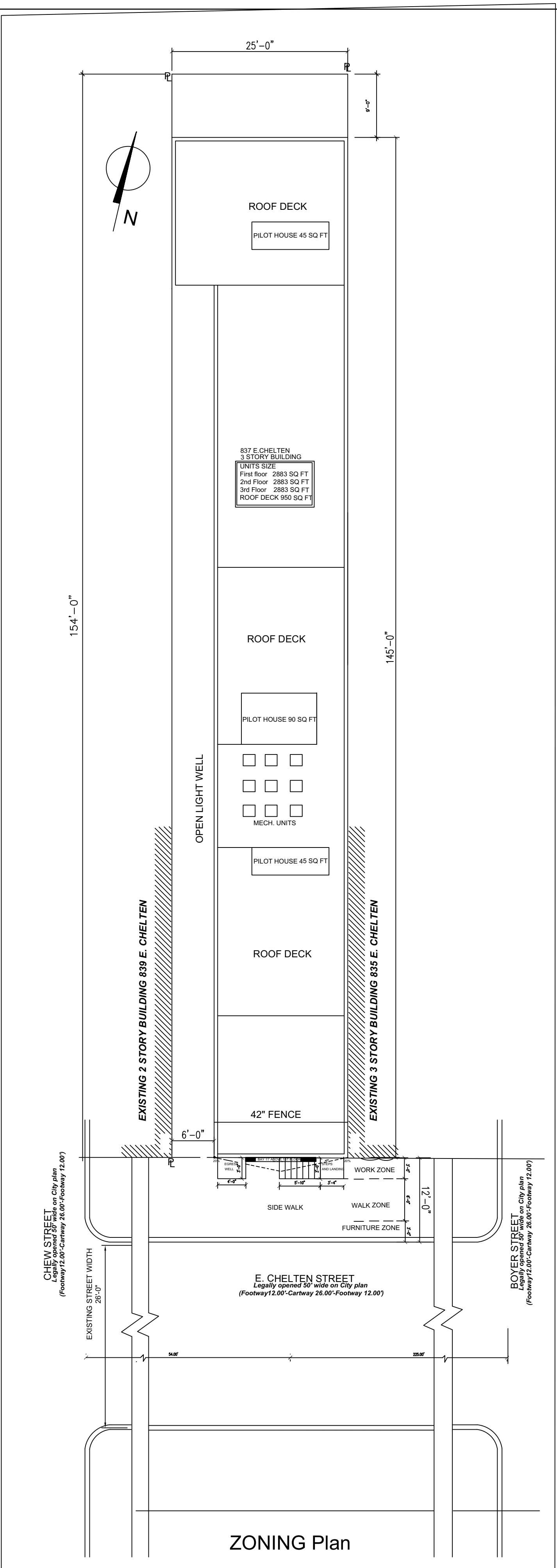
Building Elevation

Scale 1/4" = 1'-0"



Existing Conditions Site Plan

Scale 1/8" = 1'-0"



Zoning Site Plan

Scale 3/32" = 1'-0"

ZONING SUMMARY
Zoning District Residential MULTI USE RM-1

Existing Use: Vacant lot
Proposed Use 9 UNIT RESIDENTIAL BUILDING

Zoning Requirements
Front Yard N/A ALIGNS WITH ADJACENT LOTS
Side Yard 5' if used
Rear Yard 9'
Allowable building height 38'-0" Actual 37'-6" TOP OF ROOF

CODE ANALYSIS
Zoning District Residential MULTI FAMILY RM-1
Actual lot size 3850 sq ft
Number of units allowed 9 units
Overlay district NIS N/A
EDO N/A

Existing Use: Vacant lot

Proposed Use 9 UNIT BUILDING
PARKING 0 Spaces Required

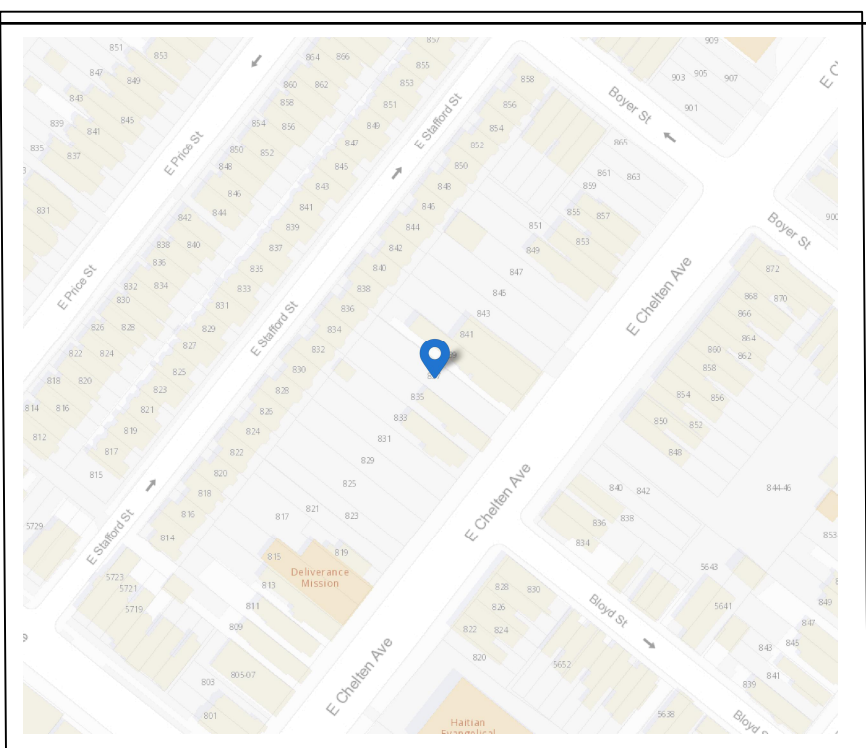
Open area required 25% 3850 X .25 962 sq ft required
967 SQ FT PROVIDED

Occupied area of lot 75% 2887 sq ft REQUIRED 2883 PROVIDE

Floor Area Ratio FAR No limit

1. DEVELOPER OWNER WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND OR REUSE OF WATER SERVICE LINES AND SEWER LATERALS. PROOF OF ABANDONMENT AND OR WATER DISCONTINUANCE MUST BE PROVIDED UPON REQUEST. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF ALL WATER AND SEWER SERVICES.
2. THERE WILL BE NO PROPOSED UTILITY EASEMENT
3. THERE WILL BE NO PROPOSED CRANE
4. THERE WILL BE NO PROPOSED STOCK PILE
5. THERE WILL BE NO PROPOSED CONSTRUCTION SITE ENTRANCE

General Notes



Location Map



Street View South



Street View North

837 E. CHELTEN Street
Philadelphia, Pa

ARCHITECTS
13 FARM AVE WILMINGTON DELAWARE 19810
715 S. 3RD PHILADELPHIA, PA
302.373.6345

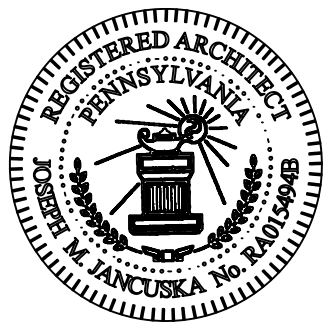
j2a

The contractor is responsible for confirming and correlating all quantities and dimensions. Contractor shall upon discovery, immediately notify Architect of any discrepancies. The contractor is responsible for selecting fabrication processes and techniques of construction, coordinating his work with that of all other trades, and performing his work in a safe, satisfactory and workmanlike manner. Contractor and subs shall be aware of all on-site conditions prior to submittal of bids.

ZONING PLAN

REVISION	
NO	DATE

DATE
SCALE AS NOTED
PLOT
DRAWN BY C.S.
APPROVED BY



Project #

Sheet No. Z-1



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Zoning Permit

Permit Number ZP-2025-005680

LOCATION OF WORK 837 E CHELTEN AVE, Philadelphia, PA 19138-1711	PERMIT FEE \$821.00	DATE ISSUED 6/20/2025
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER 837 E CHELTEN LLC	5311 CATHARINE ST 837 E CHELTEN LLC PHILADELPHIA PA 19143
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OWNER CONTACT 1 Joseph Jancuska	13 Farm Ave wilmington de 19810
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OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT For the erection of an attached structure (w/roof decks and pilot houses enclosing access stairs only), size and location as shown on plan/application.

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2025-005680

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

837 E CHELTEN AVE Philadelphia, PA 19138-1711

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

For use as Multi-Family Household Living (Nine (9) Dwelling Units).

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.