



Department of
Licenses and Inspections
CITY OF PHILADELPHIA

DO NOT MAIL THIS APPLICATION

Online Permit Amendment Form

Use this form to amend a previously approved permit via eCLIPSE.

The amendment must meet the guidelines outlined in the [Zoning](#) and [Building](#) Amendment Information Sheets.

Address

Identify the location of work for the permit amendment.

If the permit number has no prefix or year just list the six- or seven-digit number of the permit being amended.

1

Parcel Address _____

Provide permit number to be amended: _____

- 2 | 0 | | | | | | |

PERMIT TYPE PREFIX – YEAR – SIX DIGIT PERMIT

Applicant

Identify how you are associated with the property.

Licensed professionals include design professionals, attorneys, and expeditors. A tradesperson must have an active Philadelphia license for their trade or hold a PA Home Improvement Contractor Registration.

2

I am the: ☐ Property Owner ☐ Tenant ☐ Equitable Owner ☐ Licensed Professional or Tradesperson

Name _____ Company _____

Address _____ ☐ Check box if **NEW** contractor

Email _____ Phone _____

Project Scope

Use this section to provide project details; all fields are mandatory.

- (a) Select type of permit being amended.
- (b) Select what type of amendment is being requested on this application.

Note: Only zoning permit extensions are processed as an amendment. Refer to the [construction permit extension information sheet](#) to request a building permit extension.

3

(a) I am requesting an amendment to a: ☐ Zoning Permit ☐ Building Permit

(b) Scope of Amendment

For Zoning Permit Amendments – (Select all that apply):

- ☐ Permit extension
- ☐ Compliant changes in building height without a change in the number of stories.
- ☐ Compliant decreases in GFA.
- ☐ Compliant increases in required setbacks and yards.
- ☐ Additions, removal or modifications of roof decks and roof deck access structures complying with Section 14-604(5) of the Philadelphia Zoning Code.
- ☐ Compliant modification to parking configuration.
- ☐ Compliant modifications to legal signs.
- ☐ Removal of a use from a group of uses previously approved.
- ☐ Other (provide description): _____

For Building Permit Amendments – (Select all that apply):

- | | | |
|--|--|---|
| ☐ Structural components | ☐ Occupancy classification / occupant load | ☐ Fire protection systems |
| ☐ Egress | ☐ Accessible route | ☐ Fire rated assemblies |
| ☐ Construction type | ☐ Change to layout of work area (same area / reduction) | ☐ Plumbing fixture quantity |
| ☐ Building height | ☐ Sound transmission control (STC) rated systems | ☐ Additions, removal or modification of roof and roof deck access structures |
| ☐ Work within a designated flood zone | ☐ Addition or deletion of windows or doors | |

Exterior work subject to approval of the Philadelphia Historical Commission or City Planning Commission

Scope of work (reduction only) including decrease in size or stories of a new construction building

Work related to any approved Board of Building Standards variance or Zoning Board of Adjustment proviso

Increase or decreasing the number of dwelling units without a change of permit type and no expansion of work area.

Other (provide description): _____

DEPARTMENT OF
LICENSES & INSPECTIONS

APPROVED
FOR ZONING ONLY

10/21/25

WHEN YOUR PLANS CONTAIN ANY OMISSION, ERROR OR
DEVIATION FROM THESE APPROVED PLANS IT WILL
REQUIRE THE APPROVAL OF THE DEPARTMENT OF
LICENSES & INSPECTIONS.

Declaration & Signature

Applied by L&I: Mark Griffenberg

All provisions of the Building Code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statements herein, I am subject to such penalties as may be prescribed by law or ordinance, inclusive of the penalties contained in 18 Pa. C.S. § 4904.

Applicant Signature: _____

Date: _____ / _____ / _____

10/21/2025 10:37:30 AM

Zoning Permit

Permit Number ZP-2025-004951

LOCATION OF WORK 823 E CHELTEN AVE, Philadelphia, PA 19138-1711	PERMIT FEE \$871.00	DATE ISSUED 6/3/2025
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER RAM PHILA COMMUNITY 16 LLC	230 S Broad St 17th Floor Philadelphia, Pennsylvania 19102
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OWNER CONTACT 1 Matan Shmuel	230 S Broad St 17th Floor. Philadelphia PA 19102
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE. SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLANS. AMENDMENT APPROVED AS OF 10/21/25: TO CHANGE THE TOTAL HEIGHT. SIZE AND LOCATION AS SHOWN IN THE AMENDED PLANS.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2025-004951

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

823 E CHELTEN AVE Philadelphia, PA 19138-1711

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

CONTAINING SIX (6) DWELLING UNITS

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.

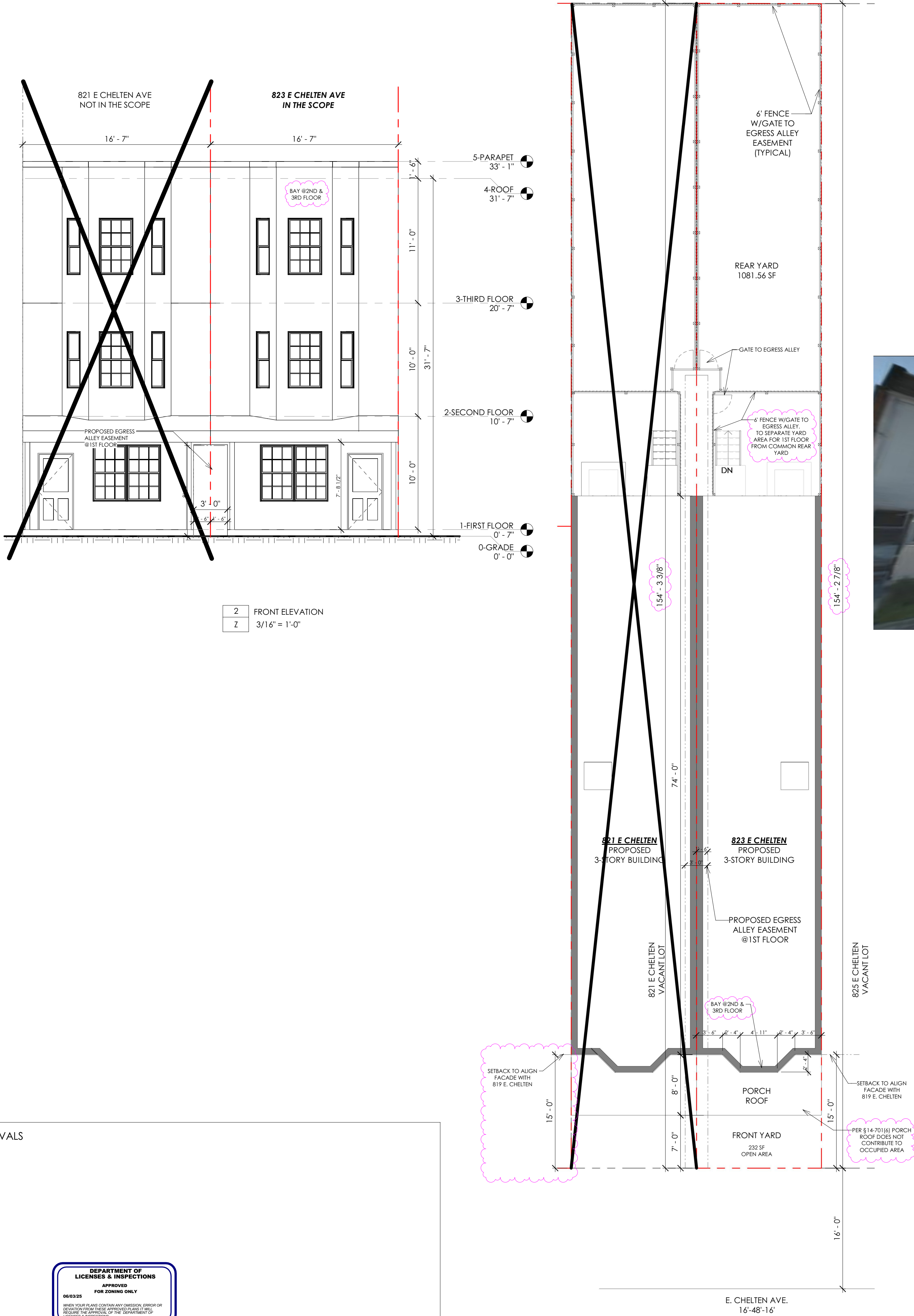


Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement available from Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of building permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of building permit issuance.

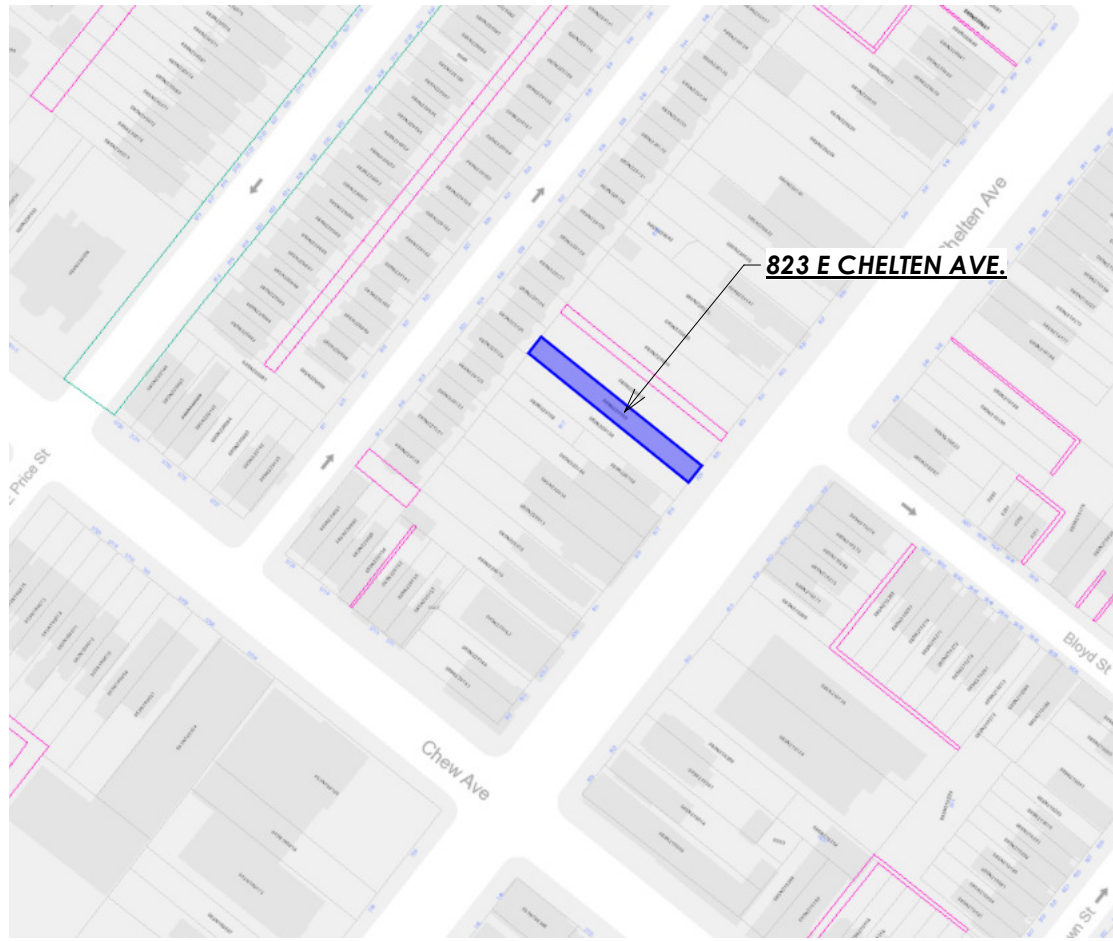
APPROVALS



1 Site Plan - PROPOSED
Z 1/8" = 1'-0"



3 SITE IMAGE LOOKING NORTHEAST
Z



4 LOCATION PLAN
Z N.T.S.



823 E. CHELTEN AVE

ADDRESS: 823 E. CHELTEN AVE.
PHILADELPHIA, PA 19138

LOT AREA: 2,557.81 SF.

BUILDING FOOT PRINT: 1,244.2 SF.

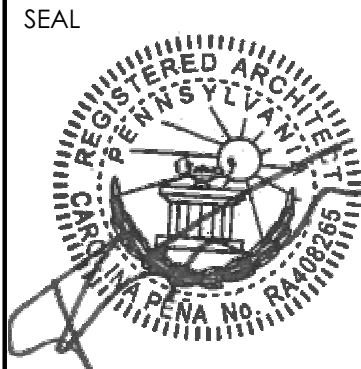
SCOPE OF WORK:
NEW 3-STORY BUILDING WITH BASEMENT FOR USE
AS 6 DWELLING UNITS.

LIMIT OF DISTURBANCE: 1,430 SF

ZONING INFORMATION		
823 E CHELTEN AVE, PHILADELPHIA PA 19138		
	Lot Area	Proposed Bldg Area (footprint)
	2,557.8 SF	1,244.2 SF
ZONING CLASSIFICATION:		
RM-1		
/NIS NARCOTICS INJECTION SITES OVERLAY DISTRICT		
OVERLAY: /EDO EIGHTH DISTRICT OVERLAY DISTRICT		
CALCULATION OF UNITS:		
AREA = 2,557.8 SF		
1,440 / 360 = 4 1,117.8 / 480 = 2.33 = 6 UNITS PERMITTED BY RIGHT		
SINGLE FAMILY: PERMITTED; TWO-FAMILY: [1]; MULTI-FAMILY: [1];		
GROUP LIVING: SPECIAL EXCEPTION; PERSONAL CARE HOME: SPECIAL EXCEPTION;		
SINGLE ROOM RESIDENCE: SPECIAL EXCEPTION		
[1] In the RM-1 district, the minimum lot area required per dwelling unit is as follows, provided that, whenever the calculation of permitted number of dwelling units results in a fraction of a dwelling unit, then the number of permitted dwelling units shall be rounded down to the nearest whole number: 490		
(a) A minimum 360 sq. ft. of lot area is required per dwelling unit for the first 1,440 sq. ft. of lot area.		
(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,440 sq. ft.		
	REQUIRED	PROPOSED
LOT DIMENSIONS		
MIN. LOT WIDTH (FT)	16'-0"	16'-7" (EXISTING)
MIN. STREET FRONTAGE AS TAKEN FROM THE FRONT LOT LINE (FT)	--	--
MIN. DISTRICT AREA (ACRES)	--	--
MIN. LOT AREA (SQ FT)	1,400 SF [1]	2,557.8 SF (EXISTING)
MAX. OCCUPIED AREA % LOT AREA, EXCEPT AS OTHERWISE PROVIDED	INTERMEDIATE: 75% CORNER: 80% [2]	1,244.2 / 2,557.8 = 48.6%
FRONT SETBACK		
MINIMUM (FT)	[5] [6]	15'-0"
MINIMUM SIDE YARD WIDTH [8], PERMITTED RESIDENTIAL USES AS SET FORTH IN 14-602		
SINGLE- OR TWO-FAMILY DETACHED, INTERMEDIATE LOT (FT)	2/5' EACH	--
SINGLE- OR TWO-FAMILY DETACHED, CORNER LOT (FT)	5'	--
SINGLE- OR TWO-FAMILY DETACHED, SEMI-DETACHED (FT)	5'	--
MULTI-FAMILY, DETACHED (FT)	2/5' EACH	--
MULTI-FAMILY, DETACHED CORNER LOT (FT)	8'	--
MULTI-FAMILY, SEMI-DETACHED (FT)	12'	--
MINIMUM SIDE YARD WIDTH [8], PERMITTED NONRESIDENTIAL USES AS SET FORTH IN 14-602		
INTERMEDIATE LOT (FT)	2 / 12' EACH	--
CORNER LOT (FT) [1]	12'	--
REAR YARD		
MINIMUM DEPTH (FT)	9' [9]	65'-2 1/2"
MINIMUM AREA (SQ FT)	144 SF [9]	1,081.58 SF
HEIGHT		
MAXIMUM (FT)	38' [5]	31'-7"
FLOOR AREA RATIO (FAR)		
MAXIMUM FAR (% OF LOT AREA, EXCEPT AS OTHERWISE PROVIDED)	NO LIMIT	--
[1] In the RM-1 district, a lot containing at least 1,920 sq. ft. of land may be divided into lots with a minimum lot size of 960 sq. ft., provided that: [a] At least 75% of lots adjacent to the lot to be divided are 1,000 sq. ft. or less; and [b] Each of the lots created meets the minimum lot width requirement of the zoning district. [2] In the RM-1 district, buildings on lots less than 45 ft. in depth are exempt from the minimum open area requirement. [3] If doubling lots on both sides of an attached building contain only two stories of enclosed area, stories above the second story of the attached house shall be set back an additional eight ft. from the minimum setback shown in this table, except this requirement shall not apply to corner lots. [4] In the RM-1 district front setbacks shall comply with the following: [a] On any given street, the front setback shall be no deeper than the front setback of the principal building on the immediately adjacent lot on such street with the deepest front setback; and shall be no shallower than the front setback of the principal building on the immediately adjacent lot on such street with the shallowest front setback. [b] On any given street, if there is no principal building on an immediately adjacent lot, then the front setback shall match the front setback on the closest building to the subject property that is on the same blockface. If there is no such building, the minimum front setback shall be zero. [c] If the property is bounded by two or more streets, only the primary frontages as designated in § 14-701(1)(6)(i) (Primary Frontage) shall be subject to the front setback requirements of (a) and (b) above. [5] Number of required yards / required width (ft). Each identifies that each yard must meet the required minimum size. Where each yard size is not identified, table identifies total required yard. [6] In the RM-1 district, lots less than 45 ft. in depth shall be exempt from rear yard area requirements but shall provide a minimum rear yard depth of 7 ft.		
PARKING		
RESIDENTIAL USE CATEGORY (AS NOTED BELOW)		
SINGLE-FAMILY	0	--
TWO-FAMILY	0	--
MULTI-FAMILY	0	0
GROUP LIVING (EXCEPT AS NOTED)	1 / 10 PERMANENT BEDS	--
SINGLE-ROOM RESIDENCE	1 / 20 UNITS + 1; MIN. 2	--
NON-RESIDENTIAL USE CATEGORIES- SEE TABLE 14-802-1		
BICYCLE PARKING		
RESIDENTIAL FEWER THAN 12 DWELLING UNITS	0	0
RESIDENTIAL 12 OR MORE DWELLING UNITS	1 PER 3 DWELL. OR FRACTION	--
12 OR MORE DWELLING UNITS, WHERE BUILDING OCCUPANTS ARE AGE 60+	1 PER 10 DWELL. OR FRACTION	--
COMMERCIAL	SEE TABLE 14-804-1	
STREETS DEPARTMENT RIGHT OF WAY		
STREET BREAK-DOWN :		
	E. CHELTEN	16'-48"-16'
ENCROACHMENT TYPE	PROPOSED/EXISTING	ENCROACHMENT
	N/A	N/A

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING &
VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION.
CONSTRUCTION, ANY INCONSISTENCIES SHALL BE BROUGHT
TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR
RESOLUTION OR VERIFICATION.
CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT
OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ANY
EXISTING RECORDS PRIOR TO CONSTRUCTION. THE ARCHITECT
CONTRACTOR SHALL CHECK WITH THE ARCHITECT (10) DAY
PRIOR TO START OF CONSTRUCTION FOR ADDENDUMS OR
BULLETINS.

REVISIONS	
REVISIONS/SUBMISSIONS	REV. 1 PER RFI
DATE	06/03/2025



DRAWN BY	CHECK BY	PROJECT NO.
Author	Checker	2025xx-xx
ISSUED:	2025-05-05	

823 E CHELTEN AVE

DRAWING TITLE
ZONING SITE
PLAN &
INFORMATION

SHEET No

Z