

# Zoning Permit

Permit Number ZP-2022-009254

|                                                                                                  |                                  |                             |
|--------------------------------------------------------------------------------------------------|----------------------------------|-----------------------------|
| LOCATION OF WORK<br><br>1528 N 24TH ST T-58-475301, Philadelphia, PA 19121-3817<br><br>Parcel 58 | PERMIT FEE<br><br>\$572.00       | DATE ISSUED<br><br>9/9/2022 |
|                                                                                                  | ZBA CALENDAR                     | ZBA DECISION DATE           |
|                                                                                                  | ZONING DISTRICTS<br><br>CMX2 RM1 |                             |

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK  
  
New construction, addition, GFA change

APPROVED DEVELOPMENT

FOR THE COMPLETE DEMOLITION OF ALL REMAINING STRUCTURES ON THE LOT; FOR THE ERECTION OF MULTIPLE PRINCIPAL BUILDINGS (BUILDING 1, BUILDING 2, AND BUILDING 3) ON THE NEWLY CONSOLIDATED LOT, AS FOLLOWS:

BUILDING 1: A SEMI-DETACHED THREE (3) STORY STRUCTURE (BUILDING 1); FOR USE AS MULTI-FAMILY HOUSEHOLD LIVING (TWENTY-ONE (21) DWELLING UNITS),

APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



## CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
  - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
  - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
  - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
  - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

# Zoning Permit

Permit Number ZP-2022-009254

BUILDING 2: A SEMI-DETACHED THREE (3) STORY STRUCTURE (BUILDING 2); FOR USE AS MULTI-FAMILY HOUSEHOLD LIVING (EIGHT (8) DWELLING UNITS),

BUILDING 3: A DETACHED THREE (3) STORY STRUCTURE (BUILDING 3); FOR USE AS MULTI-FAMILY HOUSEHOLD LIVING (SIXTEEN (16) DWELLING UNITS),

SIZE AND LOCATION AS SHOWN ON PLAN



## APPROVED USE(S)

Residential - Household Living - Multi-Family

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# Zoning Permit

**Permit Number** ZP-2022-009254

## ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

## PARCEL

1528 N 24TH ST T-58-475301, Philadelphia, PA 19121-3817

## ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

This permit is subject to the following specific conditions.

### CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



**Tax Exemption(Abatement):** Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment [www.phila.gov/opa](http://www.phila.gov/opa), 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.



In accordance with the terms and provisions of Section 14-701 (1) (d) and 14-803 (1) (c) of the Philadelphia Code pertaining to Commission selection of

**REAR LOT LINE, PRIMARY FRONTAGE, AND REAR STREET**

REAR LOT LINE OPPOSITE: **Oxford Street**

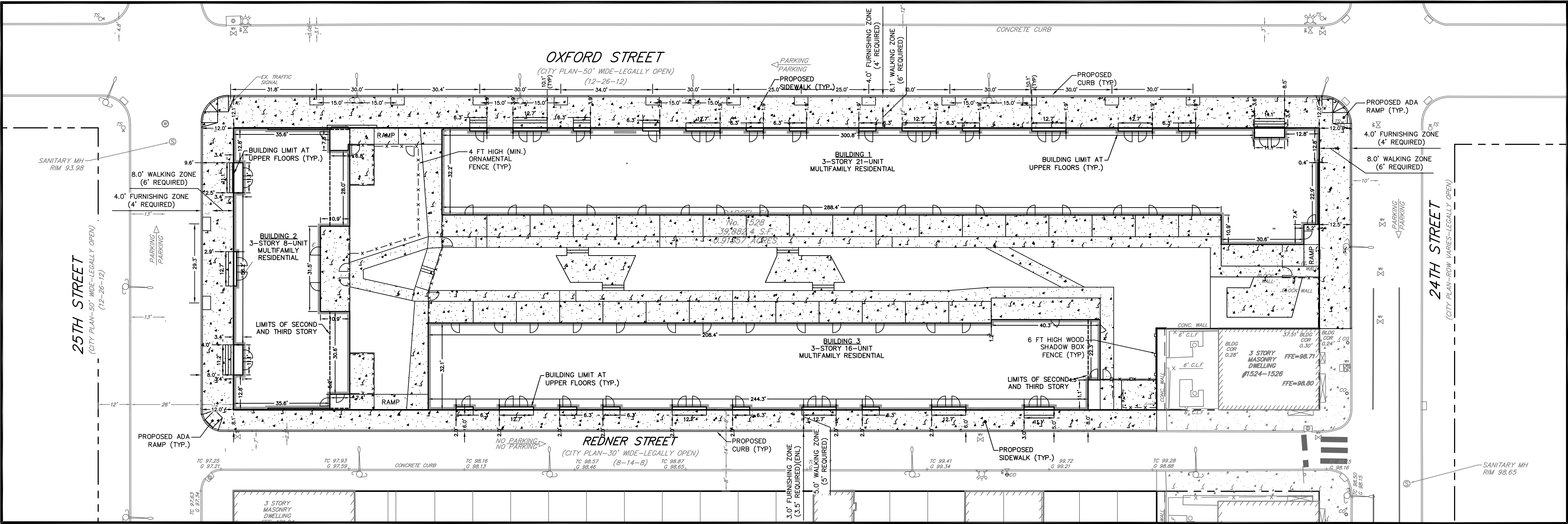
PRIMARY FRONTAGE: **Oxford Street**

REAR STREET: **Redner Street**

**APPROVED**  
Zoning Official  
July 12, 2022

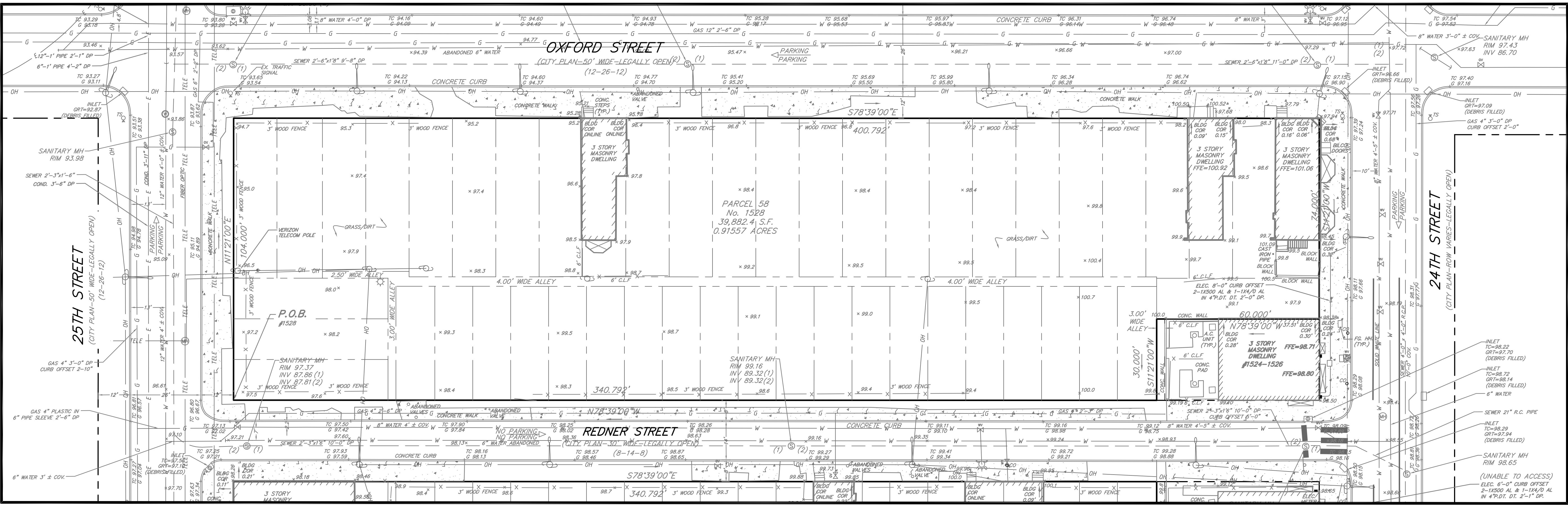
Approved Electronically By: DAVID FECTEAU  
Lidger No.: **E-3535**

**Philadelphia City Planning Commission**



PROPOSED CONDITIONS

EXISTING CONDITIONS



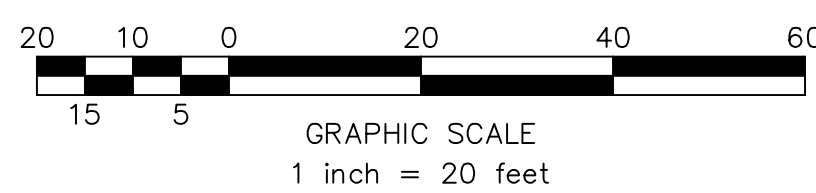
| PROJECT NAME:                  |                          | ZONE:                                                                                    |           |           |     |
|--------------------------------|--------------------------|------------------------------------------------------------------------------------------|-----------|-----------|-----|
| Sharswood Phase III            |                          | Residential Multi-Family RM-1 (90.9% OF LOT)                                             |           |           |     |
| 2400-2438 W Oxford Street      |                          | Neighborhood Commercial Mixed-Use-2                                                      |           |           |     |
| 1528 N 24 <sup>th</sup> Street |                          | CMX-2 (9.1% OF LOT)                                                                      |           |           |     |
| 2401-2439 Redner Street        |                          | Single Family & Multi Family, 1 <sup>st</sup> Floor Must be Non-residential Multi Family |           |           |     |
| Permitted Uses                 |                          |                                                                                          |           |           |     |
| Proposed Use                   |                          |                                                                                          |           |           |     |
|                                |                          |                                                                                          |           |           |     |
| Min. Lot Width                 | Required                 | Existing                                                                                 | Proposed  | Complies  |     |
| Min. Lot Area                  | 1,440 SF <sup>13.1</sup> | 39,882 SF                                                                                | 39,882 SF | Yes       |     |
| Max Occupied Area              | Corner                   | 80% <sup>2,13</sup>                                                                      | 5.2%      | 56.4%     | Yes |
| Min. Front Setback             | 0 FT <sup>1</sup>        | -                                                                                        | 0 FT      | 0 FT      | Yes |
| Min. Side Yard Width           | 5 FT <sup>14</sup>       | N/A                                                                                      | N/A       | N/A       | Yes |
| Min. Rear Yard Depth           | 9 FT <sup>15,16</sup>    | 29.2 FT                                                                                  | 31.1 FT   | 31.1 FT   | Yes |
| Min. Rear Yard Area            | 144 SF <sup>9</sup>      | 1,758 SF                                                                                 | 58.3 SF   | 14,393 SF | Yes |
| Max. Height                    | 38 FT                    | -                                                                                        | -         | 34.2 FT   | Yes |
| Max. Floor Area Ratio (FAR)    | No Limit                 | -                                                                                        | -         | No Limit  | Yes |

- [1] In the RM-1 district, a lot containing at least 1,920 sq. ft. of land may be divided into lots with a minimum lot size of 960 sq. ft., provided that:
- (a) At least 75% of lots adjacent to the lot to be divided are 1,000 sq. ft. or less; and
- (b) Each of the lots created meets the minimum lot width requirement of the zoning district.
- [2] In the RM-1 district, buildings on lots less than 45 ft. in depth are exempt from the minimum open area requirement.
- [5] If abutting lots on both sides of an attached building contain only two stories of enclosed area, stories above the second story of the attached house shall be set back an additional 8 ft. from the minimum setback shown in this table; except this requirement shall not apply to corner lots.
- [6] In the RM-1 district, front setbacks shall comply with the following:
- (a) On any given street, the front setback shall be no deeper than the front setback of the principal building on the immediately adjacent lot on such street with the deepest front setback; and shall be no shallower than the front setback of the principal building on the immediately adjacent lot on such street with the shallowest front setback.
- (b) On any given street, if there is no principal building on an immediately adjacent lot, then the front setback shall match the front setback on the closest building to the subject property that is on the same blockface. If there is no such building, the minimum front setback shall be zero.
- (c) If the property is bounded by two or more streets, only the primary frontages as designated in § 14-701(1)(d)(4) (Primary Frontage) shall be subject to the front setback requirements of (a) and (b) above.
- [8] Number of required yards / required width (ft). "Each" identifies that each yard must meet the required minimum size. Where each yard size is not identified, table identifies total required yard.
- [9] In the RM-1 district, lots less than 45 ft. in depth shall be exempt from rear yard area requirements but shall provide a minimum rear yard depth of 7 ft.

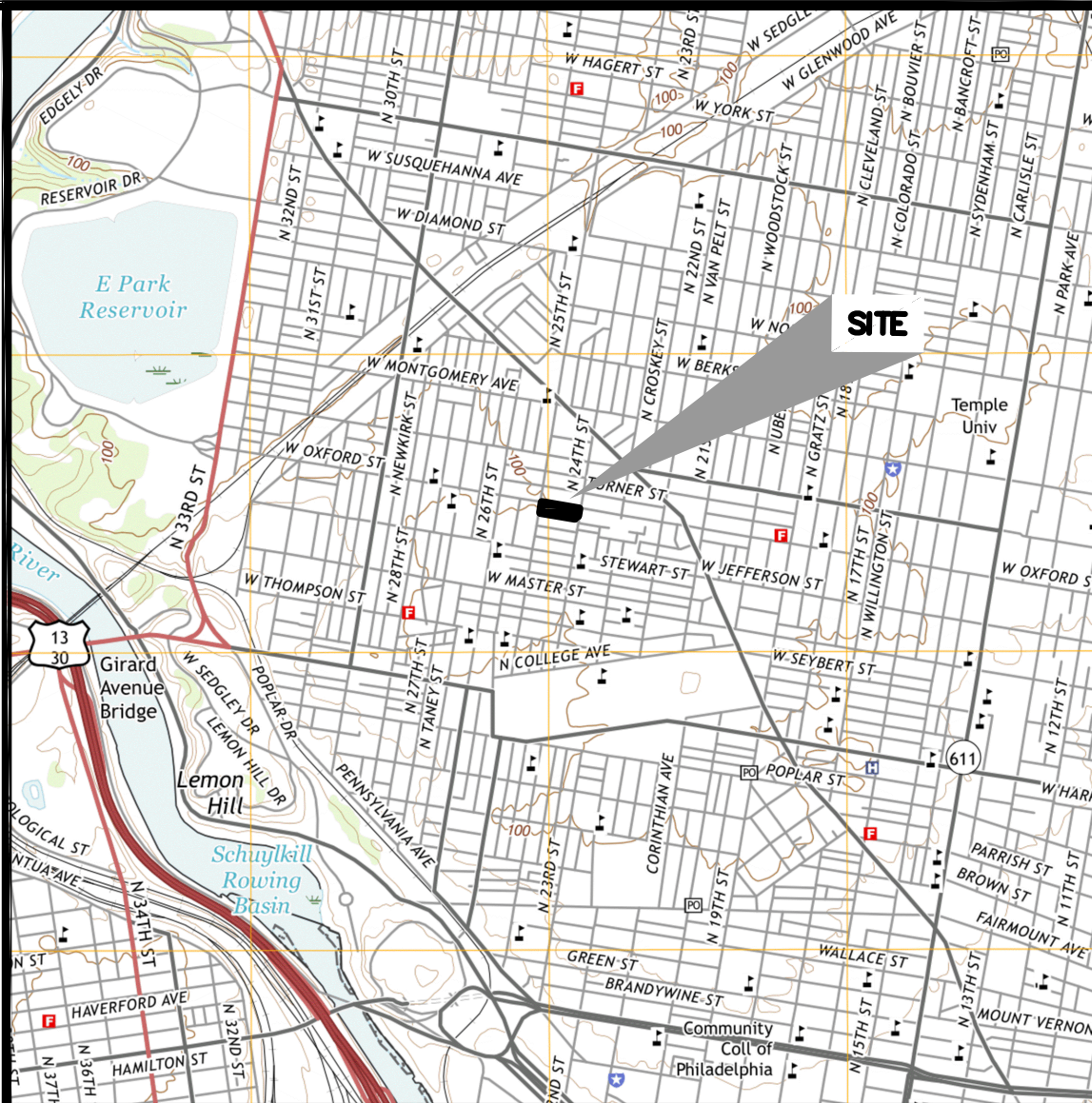
- [10] When the proposed use is in an attached or semi-detached building, the household living use regulations of the residential district to which it is attached apply. Otherwise, the residential use regulations of the most restrictive adjacent residential district apply. If there is no adjacent residential district, single family household living shall be permitted and two-family and multi-family household living shall be prohibited. Notwithstanding any of the foregoing, two-family and multi-family household living shall be permitted in the CMX-1 district if the dwelling would otherwise qualify for a housing unit density bonus for mixed-income housing, pursuant to § 14-702(7). In such instances, the property shall be subject to the housing unit density provisions set forth in Table Note (2), below, as if the property were located in a CMX-2 district, plus any applicable housing density bonus pursuant to § 14-702(7).
- [11] In the CMX-2 district, the number of permitted dwelling units is as follows, provided that, whenever the calculation of permitted number of dwelling units results in a fraction of a dwelling unit, then the number of permitted dwelling units shall be rounded down to the nearest whole number:
- (a) A maximum of two dwelling units are permitted for lots less than 1,440 sq. ft. in area;
- (b) A maximum of three dwelling units are permitted for lots that are 1,440 sq. ft. to 1,919 sq. ft. in area; and a minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that
- (c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is 25% greater than indicated by the foregoing lot size requirements, applied prior to the inclusion of any other applicable increases in allowable units, and the provisions of subsections (a) and (b), above, shall not apply.
- [12] In the CMX-2 and CMX-2.5 districts, in order to promote active uses at the street level, buildings must contain a use other than residential and other than parking along 100% of the ground floor frontage and within the first 30 ft. of building depth, measured from the front building line. If the property is bounded by two or more streets, only the primary frontages as designated in § 14-701(1)(d)(4) (Primary Frontage) shall be subject to this requirement.
- [13] In the CMX-2 district, maximum occupied space is 75% for an intermediate lot and 80% for a corner lot.
- [14] In the CMX-2 district, minimum of 5 ft of side yard if used.
- [15] In the CMX-2 district, minimum of 9 ft of rear yard or 10% of lot depth if used.

EXISTING BOUNDARY  
EXISTING INTERIOR BOUNDARY  
EXISTING BUILDING  
EXISTING BUILDING OVERHANG  
EXISTING BUILDING INTERIOR  
EXISTING CURB  
EXISTING SANITARY SEWER MANHOLE  
EXISTING SANITARY SEWER CLEANOUT  
EXISTING INLET  
EXISTING WATER VALVE  
EXISTING SPRINKLER BOX  
EXISTING WATER METER PIT  
EXISTING FIRE HYDRANT  
EXISTING FIRE DEPARTMENT CONNECTION  
EXISTING GAS VALVE  
EXISTING UTILITY POLE  
EXISTING UTILITY POLE W/ LIGHT

| LEGEND |                               |
|--------|-------------------------------|
|        | EXISTING FENCELINE            |
|        | EXISTING LIGHT POLE           |
|        | EXISTING SIGNAGE              |
|        | PROPOSED CURB                 |
|        | PROPOSED SIDEWALK             |
|        | PROPOSED FURNISHING ZONE      |
|        | PROPOSED WALKING ZONE         |
|        | PROPOSED NEW BUILDING         |
|        | PROPOSED REHAB BUILDING       |
|        | PROPOSED PAINT                |
|        | PROPOSED BUILDING             |
|        | PROPOSED SIGN                 |
|        | PROPOSED TREE PIT             |
|        | PROPOSED FENCELINE            |
|        | EXISTING ZONING BOUNDARY      |
|        | EXISTING ZONING DISTRICT      |
|        | PROPOSED LIMIT OF DISTURBANCE |

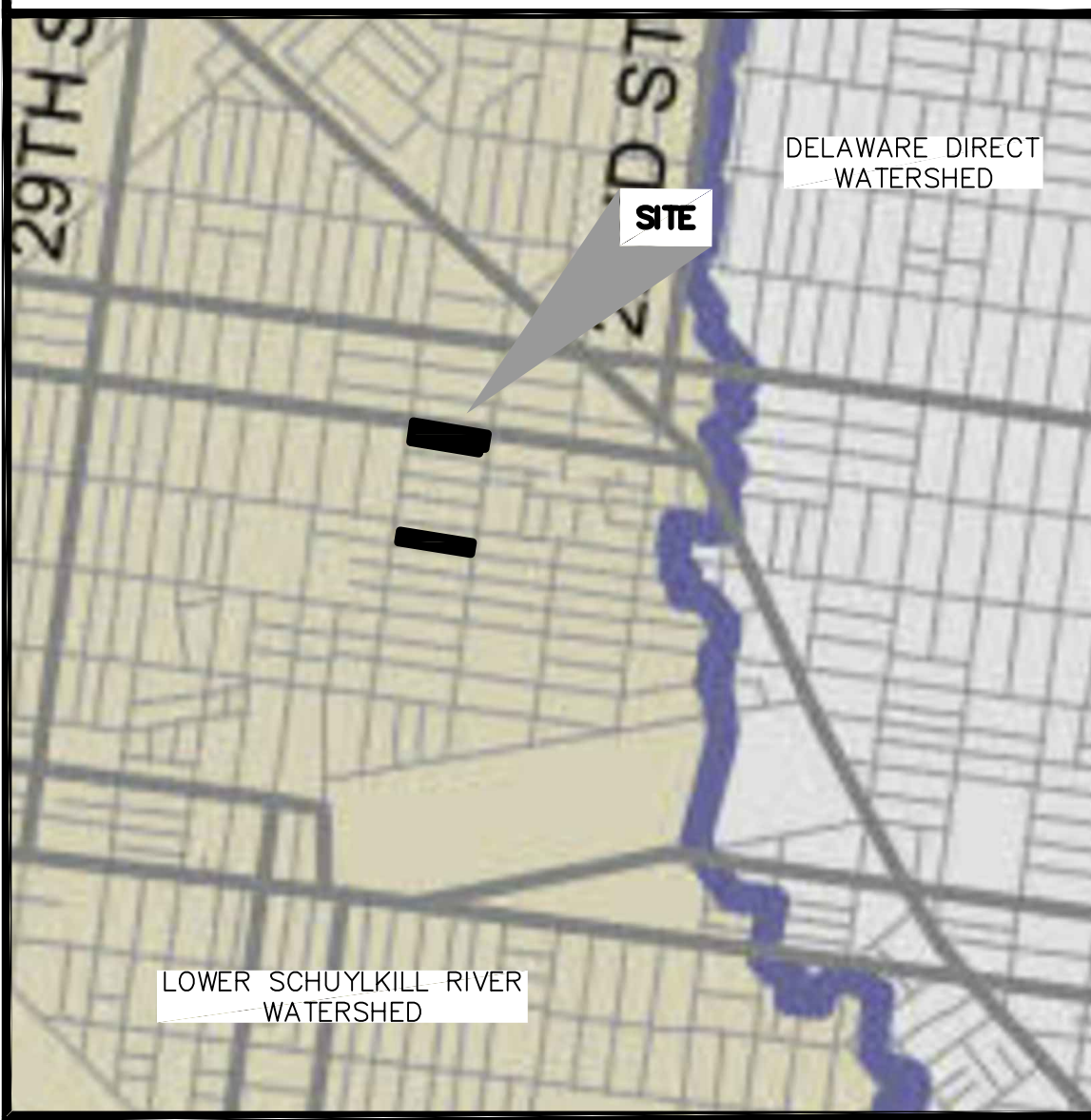


NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION.



LOCATION MAP

PHILADELPHIA NJ-PA USGS QUAD MAP  
SCALE: 1"=2000'



WATERSHED MAP

LOWER SCHUYLKILL RIVER  
SCALE: 1"=1000'

General Notes

- Owner**  
Philadelphia Housing Authority  
2013 Ridge Ave.  
Philadelphia, PA 19121
- Applicant**  
Penrose PH, LLC  
c/o Lindsey Samsi, Senior Developer  
1301 North 31<sup>st</sup> Street  
Philadelphia, PA 19121
- Project site being known as 2400-48 W Oxford Street, 1527-31 N 25<sup>th</sup> Street, 2401-39 Redner Street and designated as Map Registry No. 012N120434. Map registry #s obtained from atlas.phila.gov.
  - Project boundary and existing conditions shown based upon map entitled "Boundary and Topographic Survey, 1528 N. 24<sup>th</sup> Street, 1503-1513, 1515-1525 N. 25<sup>th</sup> Street, 2441-2449 Jefferson Street, 2406-2412, 2414-2452 Nassau Street situated in City of Philadelphia, Philadelphia County, Pennsylvania" prepared by MidAtlantic Engineering Partners, LLC, dated 08/11/21.
  - Horizontal Datum: NAD 83 Vertical Datum: NAVD 88  
(Vertical Datum adjusted to City of Philadelphia Datum with a 4.8' correction factor)
  - The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
  - All construction to be in accordance with the City of Philadelphia Streets Department Specifications & PennDOT Standard Specifications for Road and Bridge Construction, latest edition. All signage and striping to be in accordance with The Manual on Uniform Traffic Control Devices (MUTCD).
  - Existing corner curb ramps are to be upgraded to current ADA standards.
  - Existing concrete curbing and/or walks that will be removed shall be removed from an existing expansion joint or saw cut for removal at an existing construction joint.
  - Sidewalk/walkway risers must be greater than 4" and less than 7".
  - All sidewalks shall conform to state and federal barrier free design standards.
  - All proposed parking, both open air and garage, require Streets Department Approval.
  - All contractors must call the PA One Call System (800-242-1776) in accordance with the Underground Facilities Control Act law three working days prior to any subsurface activity.

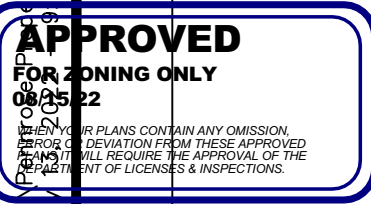
LAND DEVELOPMENT PLAN  
SHARSWOOD PHASE III  
2400-48 W OXFORD ST  
1527-31 N 25TH ST, 2401-39 REDNER ST  
ZONING PLAN  
SITUATED IN  
CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PENNSYLVANIA

321 West State Street  
Media, PA 19063  
610-565-0020

Sheet Number  
**Z-D201**



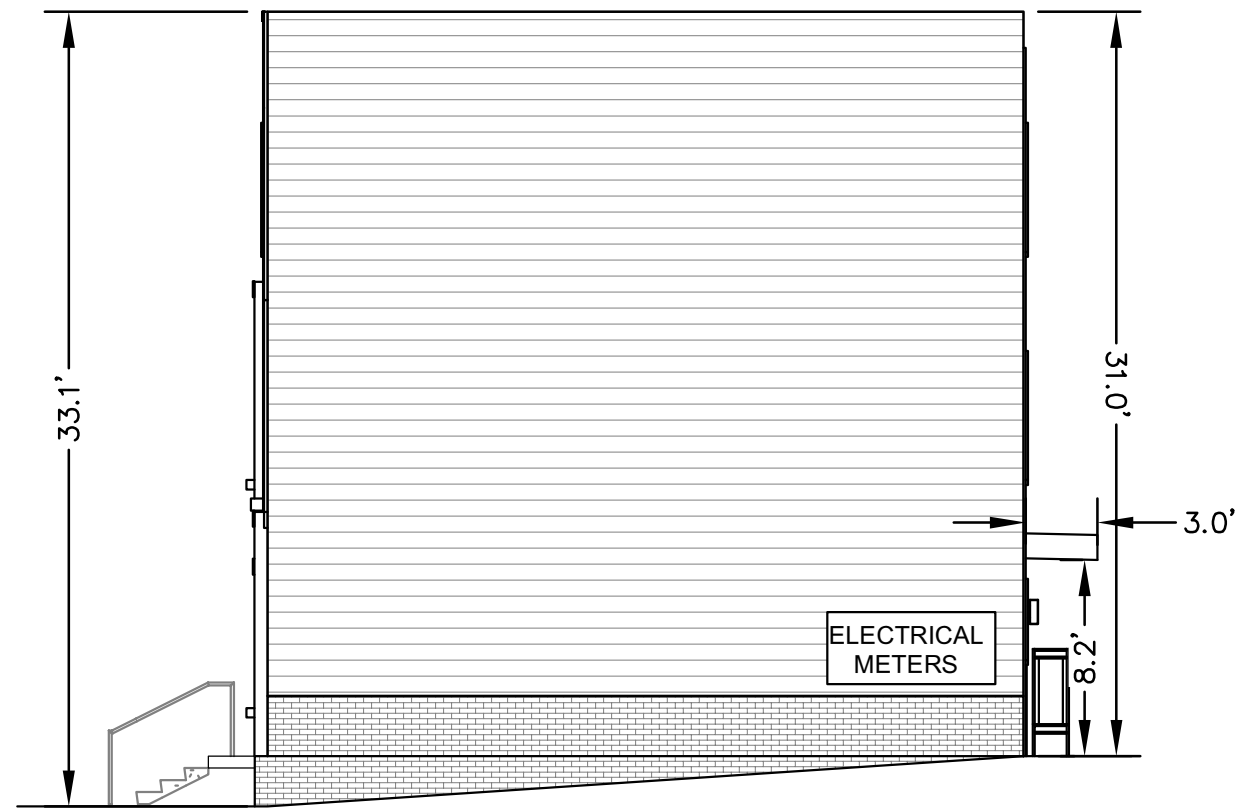
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Plot time: 05/13/2022 10:00:00 AM  
Electronic by L&L User:



BUILDING 1 NORTH ELEVATION PART A



BUILDING 1 EAST ELEVATION



BUILDING 1 WEST ELEVATION



BUILDING 1 NORTH ELEVATION PART B



BUILDING 1 SOUTH ELEVATION PART A



BUILDING 2 WEST ELEVATION



BUILDING 2 NORTH ELEVATION



BUILDING 1 SOUTH ELEVATION PART B



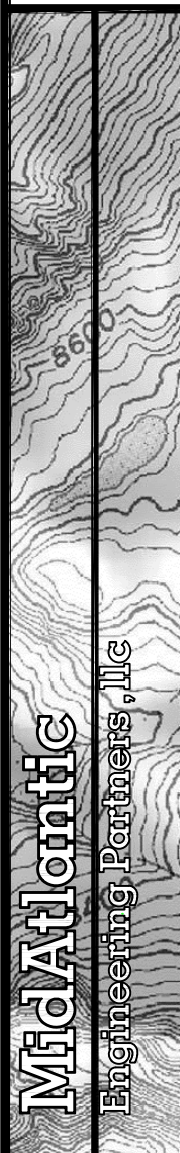
BUILDING 2 SOUTH ELEVATION



BUILDING 2 EAST ELEVATION



LAND DEVELOPMENT PLAN  
SHOREWOOD PHASE II  
2400-48 W OXFORD ST.  
1527-31 N 25TH ST, 2401-39 REDNER ST  
ZONING PLAN ELEVATIONS  
SITUATED IN  
CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PENNSYLVANIA



321 West State Street  
Media, PA 19063  
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Sheet Number  
Z-D202



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