

# Zoning Permit

Permit Number ZP-2025-005462

|                                                                |                         |                          |
|----------------------------------------------------------------|-------------------------|--------------------------|
| LOCATION OF WORK<br>857 N 40TH ST, Philadelphia, PA 19104-1544 | PERMIT FEE<br>\$821.00  | DATE ISSUED<br>7/17/2025 |
|                                                                | ZBA CALENDAR            | ZBA DECISION DATE        |
|                                                                | ZONING DISTRICTS<br>RM1 |                          |

|                                |                                                       |
|--------------------------------|-------------------------------------------------------|
| PERMIT HOLDER<br>857861N40 LLC | 121 HIGHGROVE CRESENT 857861N40 LLC LAKEWOOD NJ 08701 |
|--------------------------------|-------------------------------------------------------|

|                                    |                                 |
|------------------------------------|---------------------------------|
| OWNER CONTACT 1<br>Igor glitterman | 4510 16th Ave Brooklyn NY 11204 |
|------------------------------------|---------------------------------|

|                 |  |
|-----------------|--|
| OWNER CONTACT 2 |  |
|-----------------|--|

|                                                        |
|--------------------------------------------------------|
| TYPE OF WORK<br>New construction, addition, GFA change |
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|                                                                                                                                                                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| APPROVED DEVELOPMENT<br>FOR THE ERECTION OF AN ATTACHED STRUCTURE, ROOF DECK AND ROOF DECK ACCESS STRUCTURE. SIZE & LOCATION AS SHOWN ON THE APPLICATION/PLANS. |
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|                                                                  |
|------------------------------------------------------------------|
| APPROVED USE(S)<br>Residential - Household Living - Multi-Family |
|------------------------------------------------------------------|

|                                                                                                            |
|------------------------------------------------------------------------------------------------------------|
| THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA) |
|------------------------------------------------------------------------------------------------------------|



## CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
  - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
  - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
  - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
  - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

# Zoning Permit

**Permit Number** ZP-2025-005462

## ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

## PARCEL

857 N 40TH ST Philadelphia, PA 19104-1544

## ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR MULTI-FAMILY HOUSEHOLD LIVING WITH FIVE (5) DWELLING UNITS.

This permit is subject to the following specific conditions.

## CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

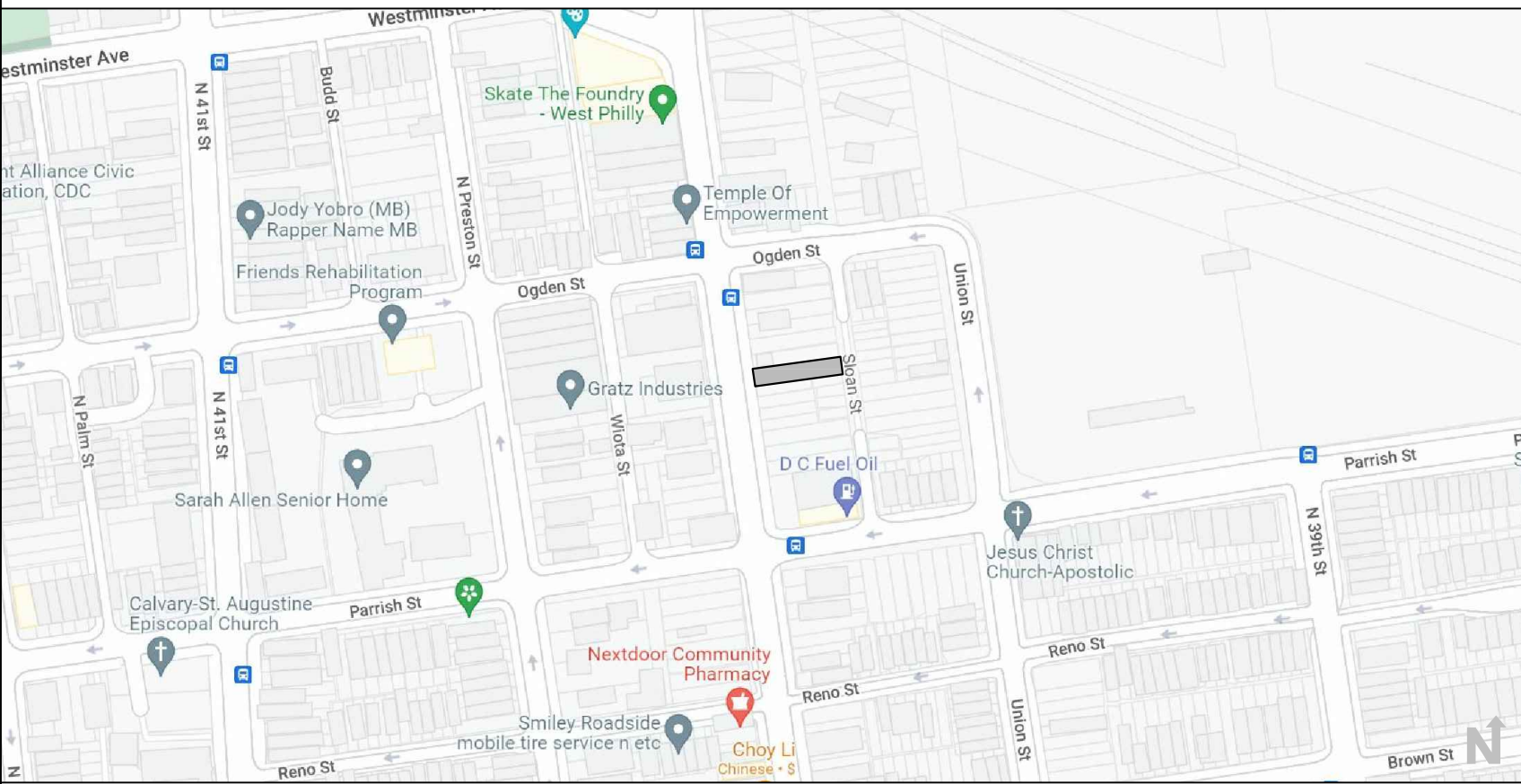
See § 14-303 of the Philadelphia Zoning Code for more information.



**Tax Exemption(Abatement):** Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment [www.phila.gov/opa](http://www.phila.gov/opa), 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

|                                              |                                                                                                                                                             |
|----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROPERTY ADDRESS                             |                                                                                                                                                             |
| 857 N 40TH ST<br>PHILADELPHIA, PA 19104-1544 |                                                                                                                                                             |
|                                              |                                                                                                                                                             |
| SCOPE OF WORK                                | NEW (3) THREE STORY BUILDING WITH BASEMENT, 2ND & 3RD FLOOR REAR BALCONIES, BAY WINDOW, ROOF DECK, AND PILOT HOUSES FOR THE USE OF A FIVE-FAMILY DWELLINGS. |
| OCCUPANCY TYPE                               | R-2 RESIDENTIAL MULTI-FAMILY DWELLING/ 5 UNITS                                                                                                              |
| CONSTRUCTION TYPE                            | VB                                                                                                                                                          |
| LOT AREA                                     | 2,300 SF                                                                                                                                                    |
| PROJECT AREA                                 | 6,956 SF                                                                                                                                                    |

LOCATION MAP



ZONING CODE SUMMARY

|                                                               |                                |          |                  |
|---------------------------------------------------------------|--------------------------------|----------|------------------|
| APPLICABLE CODE: PHILADELPHIA ZONING CODE, 12TH EDITION, 2021 |                                |          |                  |
| RM-1                                                          | REQUIRED                       | EXISTING | PROPOSED         |
| MIN. LOT WIDTH (FT.)                                          | 16                             | 20'-0"   | 20'-0"           |
| MIN. LOT AREA (SQ. FT.)                                       | 1,440 [1]                      | 2,300 SF | 2,300 SF         |
| MAX. OCCUPIED AREA (% OF LOT AREA)                            | INTERMEDIATE 75; CORNER 80 [2] | 0%       | 75% - 1,724.3 SF |
| MIN. FRONT SETBACK (FT.)                                      | [5][6]                         | 0'-0"    | 6'-0"            |
| MIN. REAR YARD DEPTH (FT.)                                    | 9 [9]                          | 0'-0"    | 17'-10"          |
| MIN. REAR YARD AREA (SQ. FT.)                                 | 144 [9]                        | NONE     | 473.4 SF         |
| MAX. HEIGHT (FT.)                                             | 38 [5]                         | 0'-0"    | 33'-11"          |

NOTE FOR TABLE:  
[1] IN THE RM-1 DISTRICT, A LOT CONTAINING AT LEAST 1,920 SQ. FT. OF LAND MAY BE DIVIDED INTO LOTS WITH A MINIMUM LOT SIZE OF 960 SQ. FT., PROVIDED THAT:  
(A) AT LEAST 75% OF LOTS ADJACENT TO THE LOT TO BE DIVIDED ARE 1,000 SQ. FT. OR LESS; AND  
(B) EACH OF THE LOTS CREATED MEETS THE MINIMUM LOT WIDTH REQUIREMENT OF THE ZONING DISTRICT.  
[2] IN THE RM-1 DISTRICT, BUILDINGS ON LOTS LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT.  
[5] IF BUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORIES OF ENCLOSED AREA, STORIES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT. FROM THE MINIMUM DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE DESCRIBED IN § 14-701(2)(B)(6) BELOW; EXCEPT THIS REQUIREMENT SHALL NOT APPLY TO CORNER LOTS.  
[6] IN THE RM-1 DISTRICT, FRONT FACADES SHALL COMPLY WITH THE FOLLOWING: 573  
(A) ON ANY GIVEN STREET, THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE NO GREATER THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE GREATER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE; AND SHALL BE NO LESS THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE LESSER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE.  
(B) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL MATCH THE DISTANCE BETWEEN THE FRONT FACADE ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE ZERO.  
(C) IF THE PROPERTY IS BOUNDED BY TWO OR MORE STREETS, ONLY THE PRIMARY FRONTAGES AS DESIGNATED IN § 14-701(1)(D)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT FACADE REQUIREMENTS OF (A) AND (B) ABOVE.  
[9] IN THE RM-1 DISTRICT, LOTS LESS THAN 45 FT. IN DEPTH SHALL BE EXEMPT FROM REAR YARD AREA REQUIREMENTS BUT SHALL PROVIDE A MINIMUM REAR YARD DEPTH OF 7 FT.

|                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                   |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------|
| APPLICABLE CODES                                                                                                                                                                                                                                                                                                                                                                                                                   | DRAWING INDEX                                     |
| 2018 INTERNATIONAL BUILDING CODE<br>2018 INTERNATIONAL RESIDENTIAL CODE<br>2018 INTERNATIONAL MECHANICAL CODE<br>2018 INTERNATIONAL EXISTING BUILDING CODE<br>2017 NATIONAL ELECTRIC CODE (PER 2018 IBC)<br>2018 INTERNATIONAL PERFORMANCE BUILDING CODE<br>2018 INTERNATIONAL ENERGY CONSERVATION CODE<br>2009 INTERNATIONAL FIRE CODE<br>2018 INTERNATIONAL FUEL GAS CODE<br>2004 PHILADELPHIA PLUMBING CODE<br>2017 ANSI A117.1 | Z1 PLOT PLAN, FRONT ELEVATION, PHOTO, AND DETAILS |

STAMP AREA

In accordance with the terms and provisions of Section 14-701 (1) (d) and 14-803 (1) (c) of the Philadelphia Code pertaining to Commission selection of

REAR LOT LINE, PRIMARY FRONTAGE, AND REAR STREET

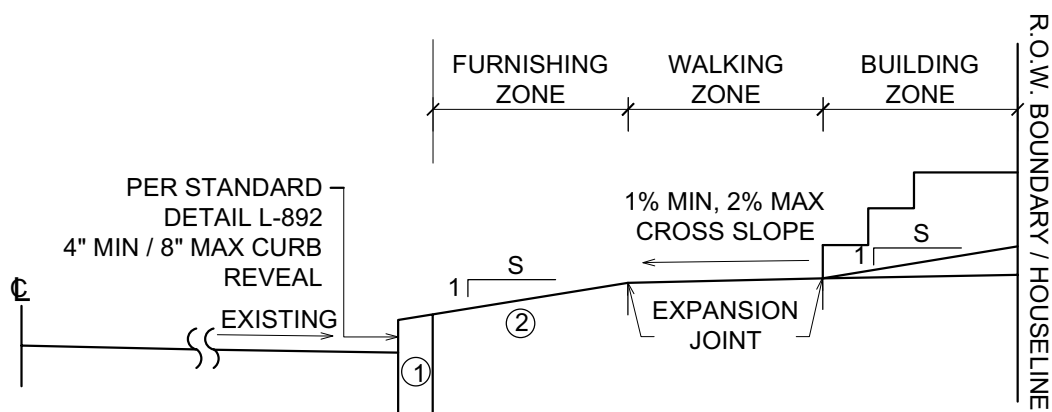
REAR LOT LINE OPPOSITE: NA  
PRIMARY FRONTAGE: 40th Street  
REAR STREET: NA

Applied Electronically By: BRIAN WENRICH E-7097  
June 4, 2025 Ledger No.:

Philadelphia City Planning Commission



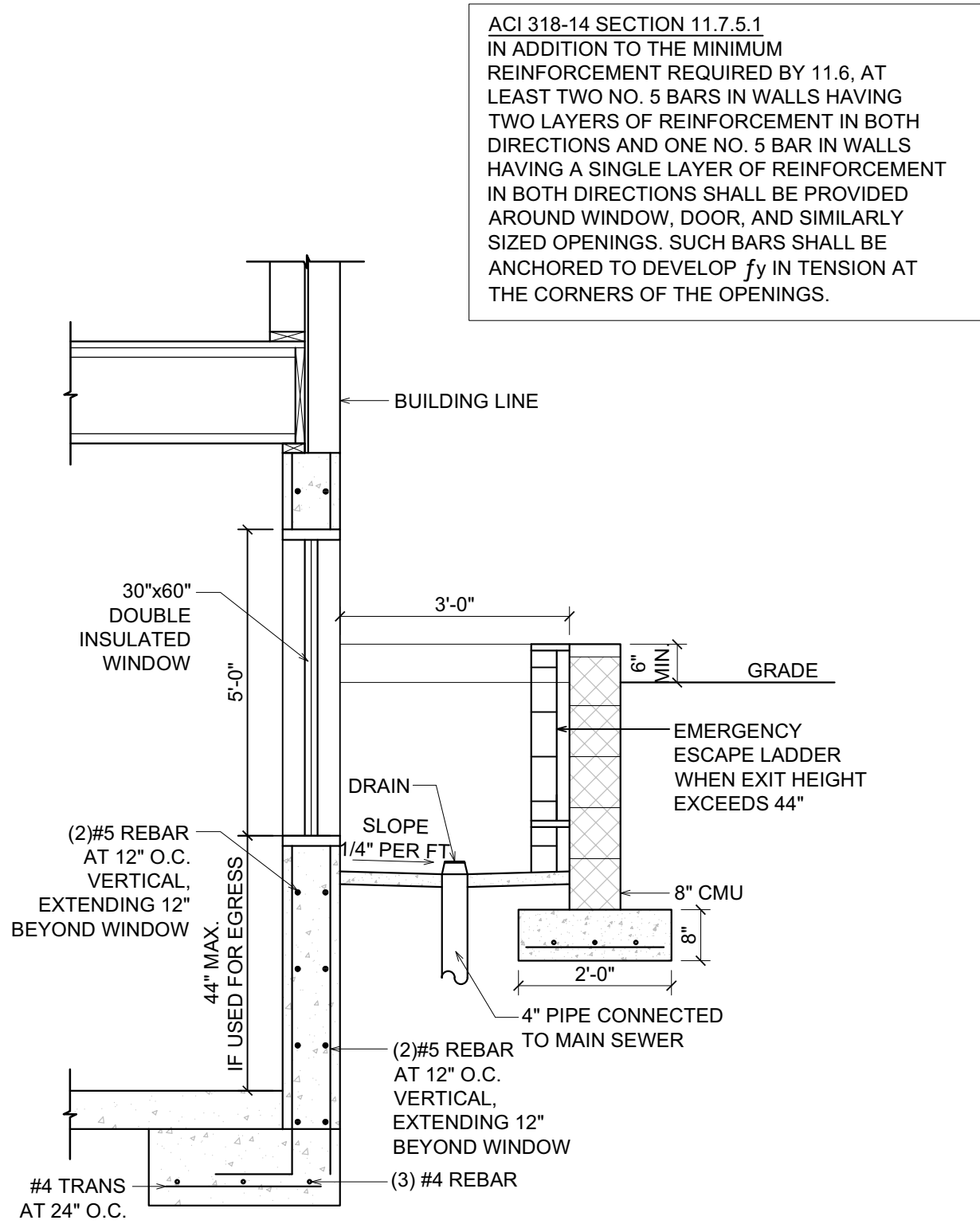
1 STREET PHOTO  
SCALE: N.T.S.



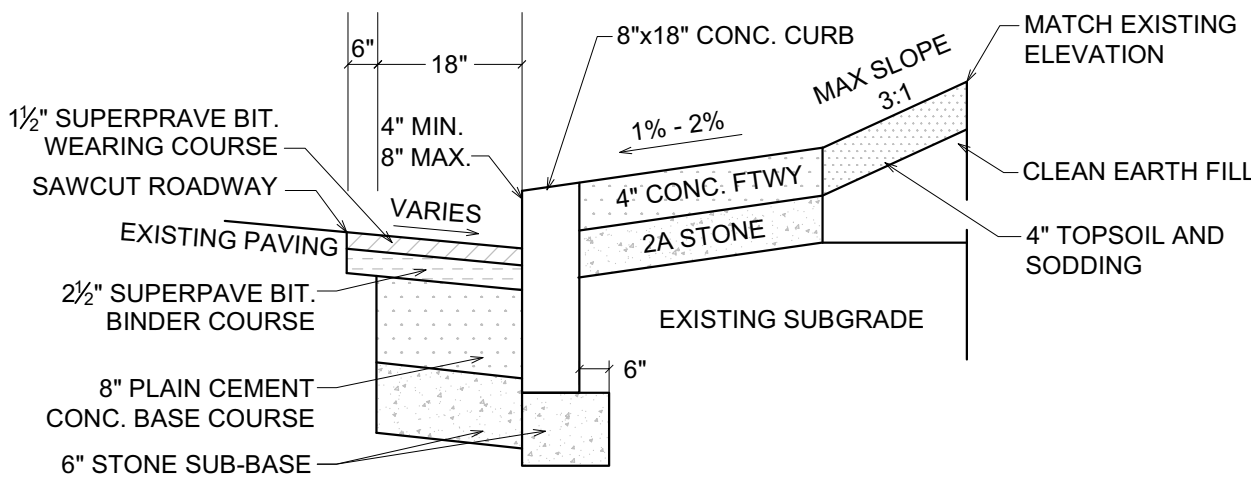
|                                                      |                     |
|------------------------------------------------------|---------------------|
| FURNISH ZONE FINISH                                  | S                   |
| ZONES CONTRAST IN COLOR, MATERIALS AND/OR VEGETATION | 20 - 100<br>5% - 1% |
| NEW CONSTRUCTION (BUILDING & FOOTWAY)                | 50 - 100<br>2% - 1% |
| PREFERRED                                            | 50 - 100<br>2% - 1% |

ORDER OF PRIORITY  
RAISE CURB REVEAL (6" PREF. AT PARKING LANES, ROADWAY CROSS SLOPES REQUIRED WHERE CURB REVEAL EXCEEDS 6")  
MODIFY FURNISHING AND BUILDING ZONES, (PER TABLE) (NOT APPLICABLE FOR FULL BLOCK RECONSTRUCTION).  
NOTE: BUILDING ZONE MODIFICATIONS CANNOT CONFLICT WITH CURRENT BUILDING CODES AND THEREFORE ONLY APPLY WHERE ENCROACHMENTS RESTRICT PEDESTRIAN FLOW, AND DOORS ARE NOT PRESENT AT THE HOUSEZONE.

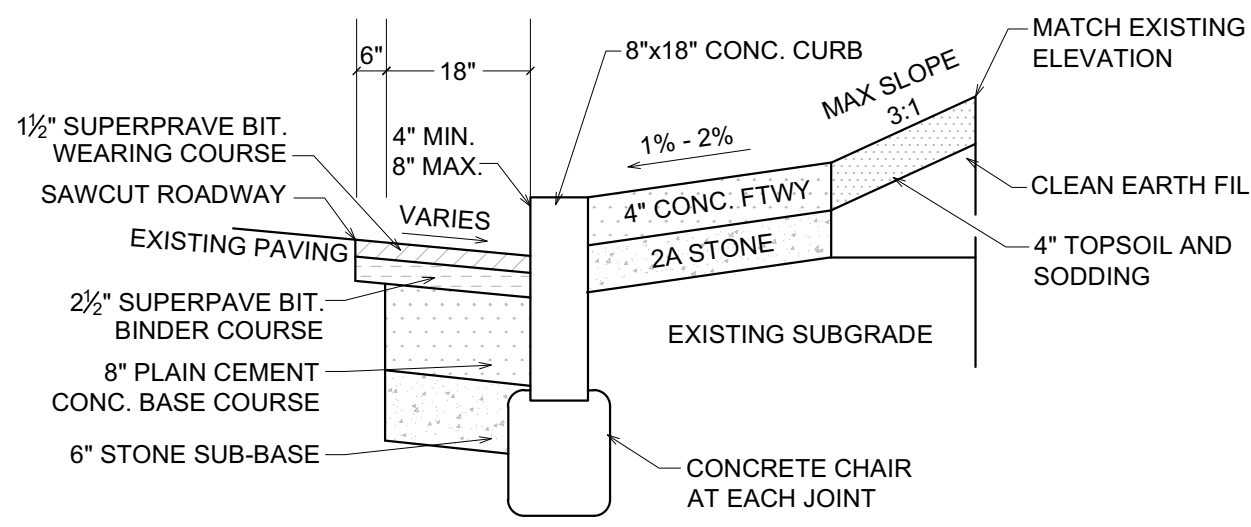
2 ROAD HALF SECTION SIDEWALK GRADING  
SCALE: 1/2"=1'-0"



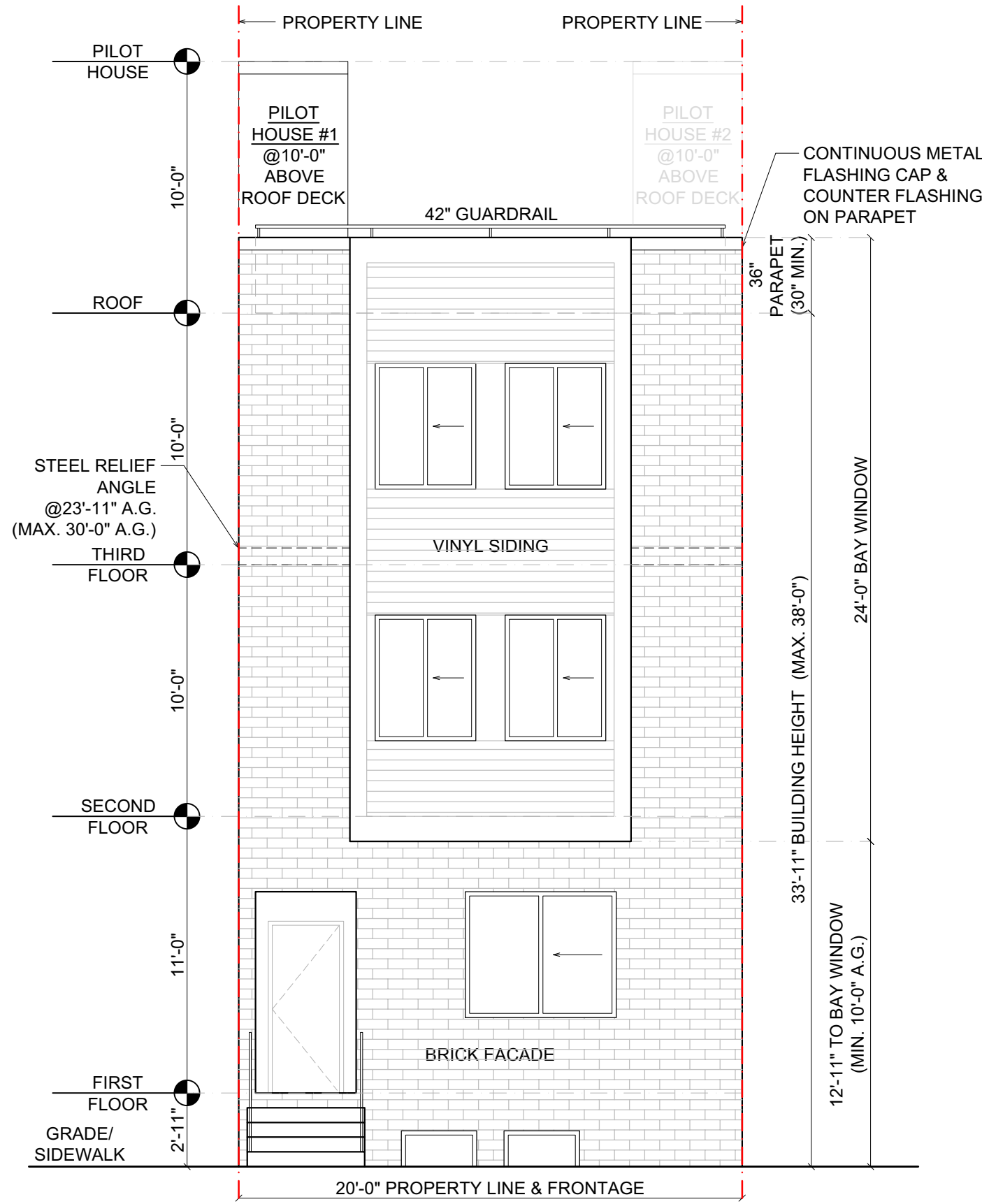
3 EGRESS WELL DETAIL  
SCALE: 1/2"=1'-0"



4 TYPICAL CONCRETE CURB  
SCALE: 1/2"=1'-0"



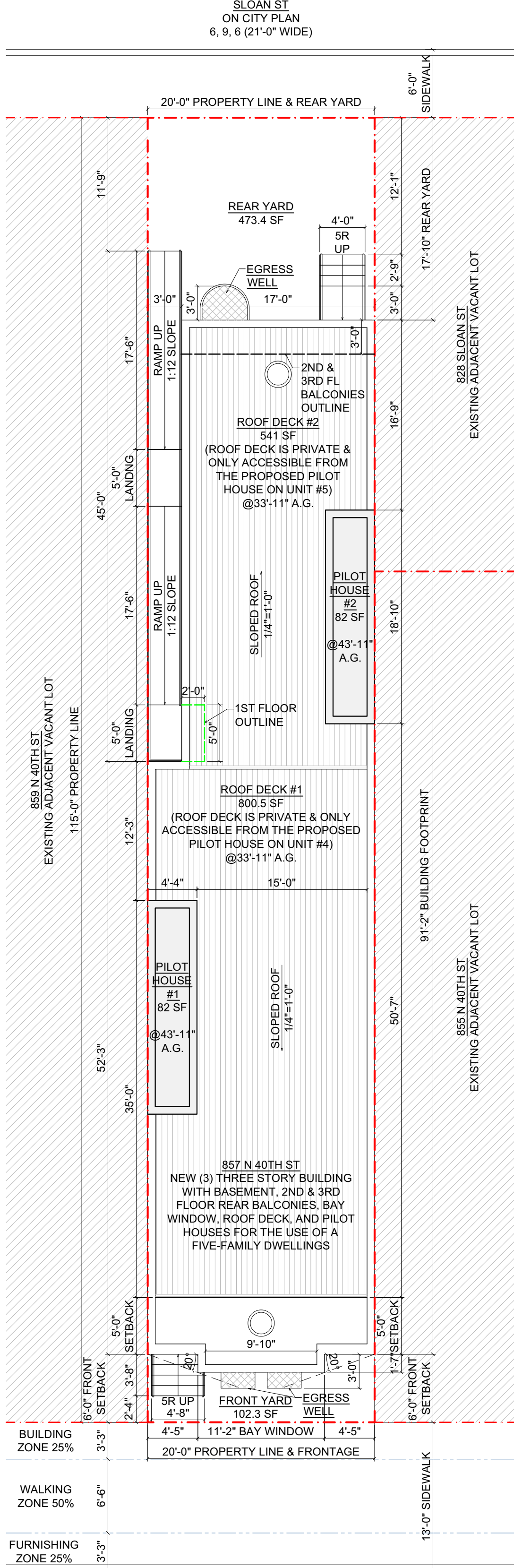
5 TYPICAL GRANITE CURB  
SCALE: 1/2"=1'-0"



6 FRONT ELEVATION  
SCALE: 3/16"=1'-0"

|                                                                                                                                                                                                                 |          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|
| OPENING AREA                                                                                                                                                                                                    |          |
| FRONT YARD                                                                                                                                                                                                      | 102.3 SF |
| REAR YARD                                                                                                                                                                                                       | 473.4 SF |
| TOTAL OPEN AREA                                                                                                                                                                                                 | 575.7 SF |
| LOT AREA                                                                                                                                                                                                        | 2,300 SF |
| 575.7 SF/ 2,300 SF x 100 = 25%                                                                                                                                                                                  |          |
| ACCORDING TO PHILADELPHIA CODE CHAPTER 14-202 (13), OPEN AREA: THE TOTAL AREAS OF THE LOT THAT ARE NOT COUNTED AS OCCUPIED AREA, ALLEYS, EASEMENTS, AND SHARED DRIVEWAYS SHALL BE INCLUDED AS PART OF OPEN AREA |          |

|        |                   |
|--------|-------------------|
| LEGEND |                   |
|        | PROPERTY LINE     |
|        | 1ST FLOOR OUTLINE |



NOTE:  
FRONT SETBACK TO BE MATCH WITH CLOSEST ADJACENT LOT (863 N 40TH ST HAS A FRONT SETBACK OF 6'-0")  
N 40TH ST  
ON CITY PLAN - LEGALLY OPEN 13, 34, 13 (60'-0" WIDE) TWO WAYS

7 PLOT PLAN  
SCALE: 1/8"=1'-0"

|      |  |
|------|--|
| SEAL |  |
|      |  |

|                                                                                                                                                                                                                                        |                |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|
| GENERAL NOTE                                                                                                                                                                                                                           |                |
| THIS DOCUMENT IS FOR GRAPHIC PURPOSES ONLY. IT IS NOT A CONTRACT. CONTRACTORS AND OTHER TRADES SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL PRESENT AND EXISTING CONDITIONS, DIMENSIONS, ETC., BEFORE PROCEEDING WITH THE WORK. |                |
| DATE                                                                                                                                                                                                                                   | 11/3/2022      |
| REVISION                                                                                                                                                                                                                               | 1ST SUBMISSION |
| DRAWN BY: EP<br>CHECKED BY: CM                                                                                                                                                                                                         |                |
| SIGNATURE                                                                                                                                                                                                                              |                |

JT RAN  
EXPEDITING

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FAX: (688) 588-0617

PROJECT DESCRIPTION  
NEW (3) THREE STORY  
MULTI-FAMILY DWELLING

LOCATION  
857 N 40TH ST  
PHILADELPHIA, PA 19104

DRAWING TITLE  
ZONING

DRAWING NO.  
Z1

SCALE:  
AS NOTED